

**STAFF REPORT  
DEVELOPMENT COMMISSION  
ZONING MEETING  
CITY OF COLUMBUS, OHIO  
MAY 12, 2016**

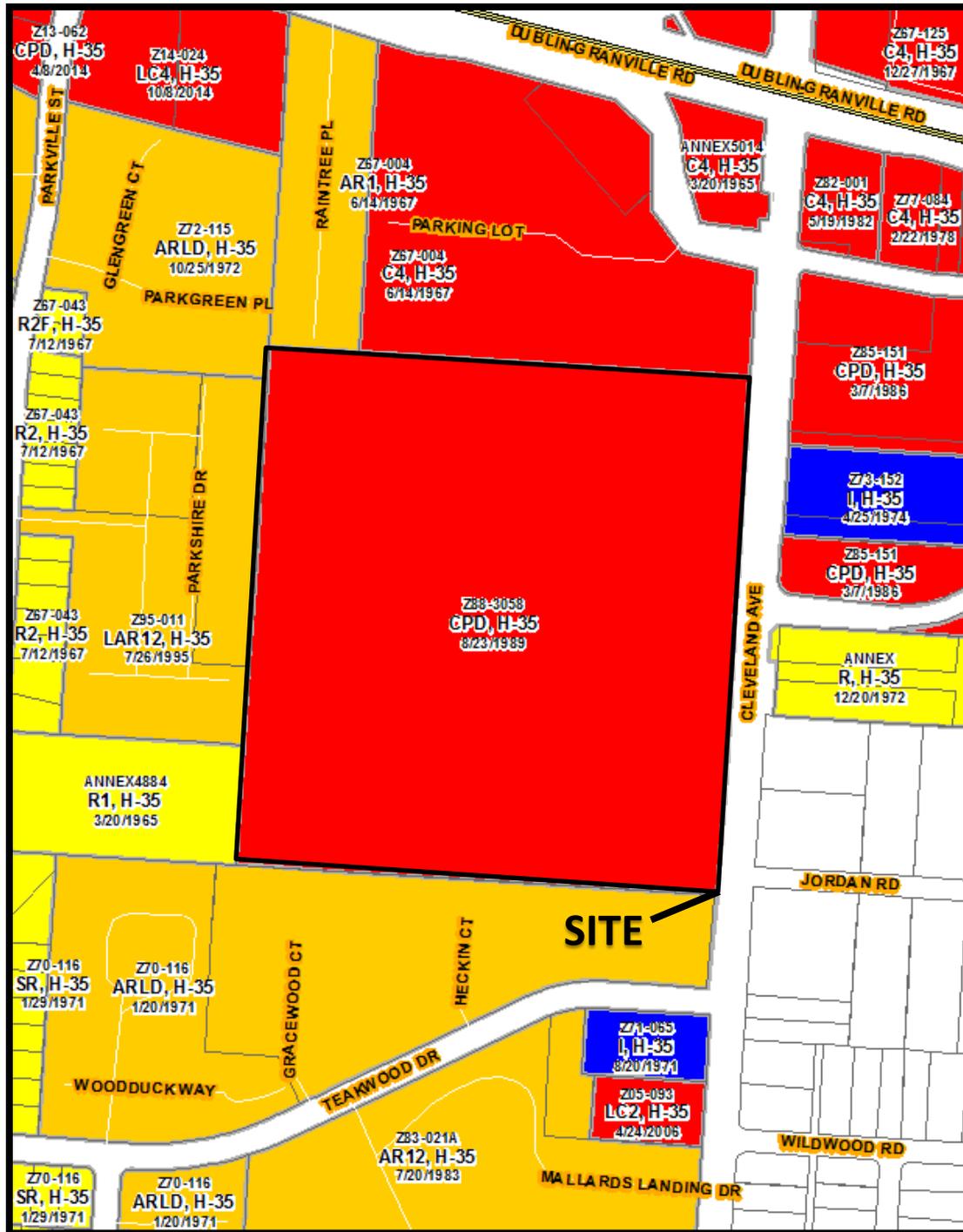
- 3. APPLICATION: Z16-009**  
**Location:** **5555 CLEVELAND AVENUE (43219)**, being 28.61± acres located on the west side of Cleveland Avenue, 240± feet north of Teakwood Drive (010-143750; Northland Community Council).  
**Existing Zoning:** CPD, Commercial Planned Development District.  
**Request:** CPD, Commercial Planned Development District.  
**Proposed Use:** COTA park and ride location.  
**Applicant(s):** Central Ohio Transit Authority; c/o Perry Payne; Resource International, Inc.; 6530 Presidential Gateway; Columbus, OH 43231.  
**Property Owner(s):** Meijer Stores, LP; 2929 Walker Avenue Northwest; Grand Rapids, MI 49544.  
**Planner:** James Burdin; 614-645-1341; [jeburdin@columbus.gov](mailto:jeburdin@columbus.gov)  
Shannon Pine; 614-645-2208; [spine@columbus.gov](mailto:spine@columbus.gov)

**BACKGROUND:**

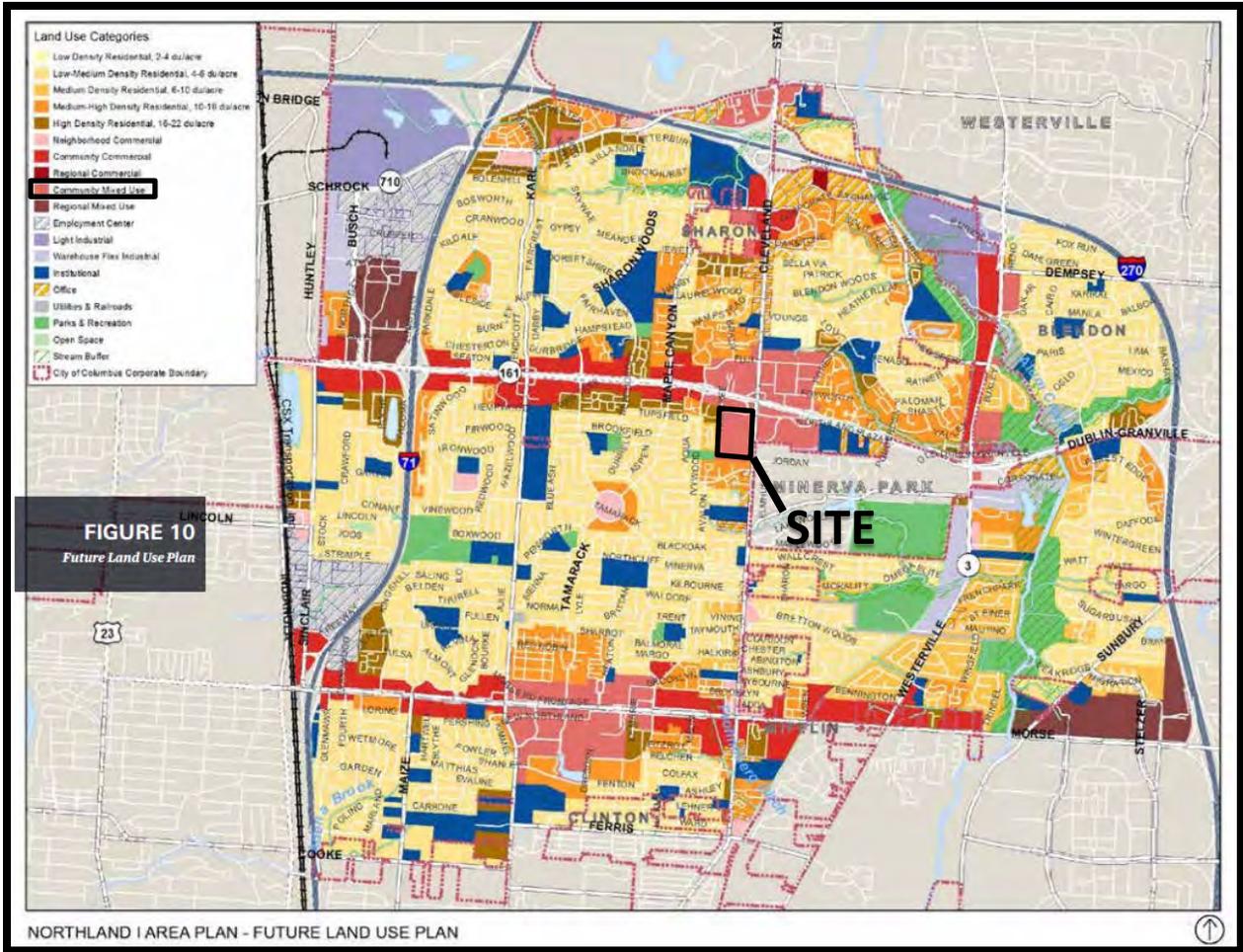
- The 28.61± acre site is developed with commercial building zoned in the CPD, Commercial Planned Development District. The applicant proposes the CPD, Commercial Planned Development District to update the development text and site plan to permit a COTA park and ride facility.
- The site is bordered to the north and east by various commercial and institutional uses in the C-4, Commercial District; the CPD, Commercial Planned Development District; the I, Institutional District; the R, Rural District; and the Village of Minerva Park. To the south and west are single- and multi-unit residential development in the ARLD, Apartment Residential District; the L-AR-12, Limited Apartment Residential District; and R-1, Residential District.
- The site is located within the boundaries of the *Northland Plan, Volume I* (2014), which recommends community-scale mixed uses for this location.
- The development text allows uses permitted in the C-4, Commercial District with several restrictions. The text includes provisions for lighting, screening, and landscaping, and includes commitments to a site plan and elevations. The text also requests variances to landscaping, screening, and setback requirements.
- The site is located within the boundaries of the Northland Community Council, whose recommendation is for approval as requested conditions have been met by the applicant.
- The *Columbus Thoroughfare Plan* identifies Cleveland Avenue as a 4-2 arterial requiring a minimum of 50 feet of right-of-way from the centerline.

**CITY DEPARTMENTS' RECOMMENDATION:** Approval.

The requested CPD zoning classification would update the existing site plan and development text to allow a portion of the existing parking lot (Subarea A) to be redeveloped as a COTA park and ride facility. The text and site plan for Subarea B have been updated to reflect the current code and existing conditions. The *Northland Plan Volume 1* recommends mixed uses for this site and recommends the promotion of multimodal transportation, with an emphasis on encouraging transit access in the area. While staff prefers to avoid variances to landscaping and screening requirements where possible, the applicant has demonstrated that the conditions provided, including plantings, fencing, screening trees, and a canopy over the passenger boarding area, will mitigate a deviation from the code.



Z16-009  
 5555 Cleveland Avenue  
 Approximately 28.61 acres  
 CPD to CPD



Z16-009  
 5555 Cleveland Avenue  
 Approximately 28.61 acres  
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Z16-009  
5555 Cleveland Avenue  
Approximately 28.61 acres  
CPD to CPD

**DEVELOPMENT TEXT**

**CPD, COMMERCIAL PLANNED DEVELOPMENT DISTRICT**

**28.606 Acres**

**EXISTING DISTRICT:** CPD, Commercial Planned Development

**PROPOSED DISTRICT:** CPD, Commercial Planned Development District

**PROPERTY ADDRESS:** 5555 Cleveland Avenue, Columbus, Ohio 43224

**OWNER:** Meijer Stores Limited Partnership (Meijer)

**APPLICANT:** Central Ohio Transit Authority (COTA)

**DATE OF TEXT:** April 28, 2016

**APPLICATION NUMBER:** Z16-009

**INTRODUCTION:**

This property consists of approximately 28.606 acres located on the west side of Cleveland Avenue approximately 580 feet south of Dublin-Granville Road (SR 161) The property is currently zoned CPD. The existing building on the property is currently occupied by a retail business. There are two sub areas: Sub Area A (1.667 acres) and Sub Area B (26.939 acres) as shown on the Northland Transit Center Overall Site Plan. The details of the two areas are shown on the Lot Split Plan prepared by Resource International, Inc. dated March 19, 2016 and as described in the document Property Descriptions for Subareas A and B attached.

The applicant (COTA) has purchased Sub Area A from the owner (Meijer) located on the east side of the owners property and fronting on Cleveland Avenue. The parcel will be used to construct a transit center. The transit center will include parking for transit riders, bus lanes and a building.

Sub Area B is owned by Meijer and was originally zoned CPD by case number Z85-093 and rezoned as CPD by case number Z88-3058. The provisions of zoning case Z88-3058 are included in Sub-Area B.

**SUB-AREA A**

**1. PERMITTED USES:**

The permitted uses in, on or upon the subject property shall be those allowed in C-4 Regional Scale Commercial as set forth in Columbus Zoning Code §3356.01: excepting there from assembly hall, stand-alone parking lot, convenience store, cabaret (i.e. a dance hall type operation with minimal food service), bars, nightclubs, automobile sales room, garage repair shop, new and secondhand car lot, testing or experimental laboratory, and veterinary hospital.

**2. DEVELOPMENT STANDARDS:**

Except as otherwise noted herein, the applicable development standards of Chapter §3356 shall apply. In addition, the following general and specific development standards shall apply.

**A. Density, Height, Lot and/or Setback Commitments.**

The parking setback along the west property line shall be zero. The parking setback line shall be a minimum of 10 feet from the Cleveland Avenue right-of-way. The parking setback line shall be a minimum of 5 feet from the north and south property lines. The building set back from the Cleveland

Avenue right of way line shall be a minimum of 40 feet. The maximum height of the building shall comply with the Height District of 35 feet as established for the existing CPD district on this property.

**B. Access, Loading, Parking and/or other Traffic Related Commitments.**

1. Access will be as shown on the Northland Transit Center Rezoning Site Plan. No direct access will be permitted to and from Cleveland Avenue.

2. Cleveland Avenue is listed as a 4-2 arterial in the Columbus Thoroughfare Plan dated 12/2010. This requires a 100 foot minimum right of way. The existing right of way is 90 feet. COTA will dedicate an additional 10 feet of land along and parallel to the existing right of way for the entire frontage of the COTA property as shown on the Northland Transit Center Rezoning Site Plan.

**C. Buffering, Landscaping, Open Space and/or Screening Commitments.**

The landscaping for the site shall be developed in general conformance with the attached Northland Transit Center Planting Plan (L1.01).

**D. Building Design and/or Interior-Exterior Treatment Commitments.**

1. The building and canopy will be developed in accordance with the submitted building elevations titled Northland Transit Center Exterior Elevations (A2.1 and A2.2) Northland Transit Center Canopy Drawing (A1.5). The building elevations may be slightly adjusted to reflect engineering, architectural, topographical or other site data developed at the time development, engineering and architectural plans are completed. Any slight adjustment to the building elevations shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.

**E. Lighting, Outdoor Display Areas and/or Other Environmental Commitments.**

1. Lighting fixtures will be installed at the locations illustrated on the Northland Transit Center Planting Plan (L1.01) and shall not exceed 18 feet in height.

**F. Graphics and Signage Commitments.**

1. All graphics shall conform to Article 15 of the Columbus City Code, as it applies to the C-4 Commercial District. Any variance to the applicable requirements of the C-4 District shall be submitted to the Columbus Graphics Commission.

**G. Other CPD Requirements**

1. Natural Environment: The subject property is located on the west side of Cleveland Avenue approximately 580 feet south of Dublin-Granville Road (SR 161). The redevelopment of this property will complement the existing uses including business and residents by providing a connection to the public transportation system. Characteristics of the site will be similar to the existing. Drainage will be controlled on site. Landscaping and screening will enhance the visibility of the site.

2. Existing Land Use: Sub-Area A is currently developed as parking.

3. Circulation: Access will be as shown on the Site Plan. The current access for the Meijer store will remain. Transit center traffic will use the same access points. No new access will be allowed directly to Cleveland Avenue.

4. Visual Form of the Environment: The COTA property will be developed to enhance the area in keeping with the standards of facilities owned and operated by COTA. There will be no revisions to the remaining property owned by Meijer.

5. Visibility: Consideration has been given to the visibility and safety of motorists and pedestrians during the planning of development of the subject property and the location of access points.

6. Proposed Development: COTA bus transit center.

7. Behavior Patterns: The proposed improvements will service the public by providing a safe place to access the Central Ohio Transit Authority bus system.

8. Emissions: Emissions from the subject property will not substantially affect the environment of the surrounding neighborhoods.

#### **H. Miscellaneous Commitments.**

1. The site shall be developed in general conformance with the attached Northland Transit Center Rezoning Site Plan. The Site Plan may be slightly adjusted to reflect engineering, topographical, or other site data developed at the time of development and when engineering plans are complete. Any slight adjustment to the Site Plan is subject to review and approval by the Director of the Department of Building and Zoning Services or a designee, upon submission of the appropriate data regarding the proposed adjustment.

2. In the event that uses or development standards are proposed to be changed, nothing herein shall prevent the current or future owners from filing a rezoning application on either Subarea separately, so long as a complete Subarea is the subject of the rezoning application.

#### **3. VARIANCES:**

A. Minimum Parking Lot Trees. Columbus City Code §3312.21(A) contains a requirement that one shade tree be provided for every 10 parking spaces or fraction thereof. The number of shade trees shall be 6 as set forth on the Northland Transit Center Planting Plan (L1.01) which is one shade tree per 10.33 parking spaces. The number of passenger parking spaces provided is the maximum available for the site. Parking area and drive space is limited by the adjoining property (Meijer) and the need for bus landings to accommodate the anticipated ridership. The configuration of the bus drive is such that the buses can maneuver properly and safely. The pedestrian crosswalk aisles limit the available space in the east corners of the parking lot. There will be 6 trees planted in the parking lot area, 3 trees in front of the site, 2 trees along the north side of the site and 4 existing trees will remaining on the property along the south side of the site.

B. Minimum Soil Area around Trees. Columbus City Code §3312.21(A)(2) contains a requirement that each tree be surrounded by a minimum radius of four feet of soil area. Two proposed trees in the passenger parking lot will have 78 square feet of soil area. The pedestrian crosswalk aisles limit the available space in the east corners of the parking lot. The remaining trees have 152 square feet or more of planting area.

C Headlight Screening. Columbus City Code §3312.21(D)(1) contains requirements for headlight screening by either plantings or other means including opaque panels and fences. The screening will be as set forth on the Northland Transit Center Planting Plan (L1.01) Northland Transit Center Canopy Drawing (A1.5). Headlight screening will include the plantings along the frontage of Cleveland Avenue, the canopy to be installed along the passenger boarding area and a picket fence between the vehicle parking area and the bus driving lane. Plantings in the frontage area will include grasses, shrubs ranging from 18 to 24 inches high and 3 Armstrong red maple trees. A canopy over the passenger boarding area will include translucent panels in alternate segments of the east wall of the canopy structure. These panels will comprise half of the wall area. A 4 foot high “picket” fence will be installed along the east side of the passenger parking lot between the lot and the bus drive. This fence will also serve as a part of the overall screening plan.

D. Building and Canopy Setback Requirements: Columbus City Code §3356.11 contains a certain requirement for building setback from the right of way of one half the width of the right of way. The right

of way width is 105 feet with a setback of 52.5 feet. The setback for the canopy and building will be 14 feet for the canopy and 40 feet for the building as set forth on the Site Plan.

**SUB-AREA B**

The following is a modified version of the text from the last zoning application for this Subarea (Z88-3058) as approved by ordinance 681-89 dated July 26, 1989. Applicable commitments that have not been codified are being carried-over in this text.

**1. PERMITTED USES:**

The permitted uses in, on or upon the subject property shall be those allowed in C-4 Regional Scale Commercial as set forth in Columbus Zoning Code §3356.01: excepting there from assembly hall, stand-alone parking lots, convenience stores, cabaret (i.e. a dance hall type operation with minimal food service), bars, nightclubs, automobile sales room, garage repair shop, new and secondhand car lot, testing or experimental laboratory, and veterinary hospital.

**2. DEVELOPMENT STANDARDS:**

Except as otherwise noted herein, the applicable development standards of Chapter §3356 shall apply. In addition, the following general and specific development standards shall apply.

**A. Density, Height, Lot and/or Setback Commitments.**

The building will not exceed thirty-five (35) feet in height. A forty (40) foot setback for buildings, parking, and circulation from Cleveland Avenue shall be maintained. Along the northern property line, a thirty (30) foot setback west of the entrance road shall be maintained.

**B. Access, Loading, Parking and/or other Traffic Related Commitments.**

1. Existing site access shall be maintained. Any future access or changes to the existing access shall be approved by the Department of Public Service, Traffic Management Division.
2. Any necessary right of way dedication for Subarea B will be dedicated at such time as the Meijer Property (Subarea B) is redeveloped.
3. A four foot minimum width sidewalk shall be maintained along the Cleveland Avenue frontage.

**C. Buffering, Landscaping, Open Space and/or Screening Commitments.**

The south part of the entire lot is the area which relates to residential uses and as shown on the site/landscaping plan, will be heavily landscaped. The frontage will be landscaped as shown on the plan. Said landscaping shall provide a forty (40) foot setback for buildings, parking, and circulation and screen all parking areas along and from Cleveland Avenue to a 75% opacity at an elevation of four and one-half (4 1/2) feet above road level. Said screening shall consist of mounding and evergreen and/or deciduous plant materials. Along the Cleveland Avenue frontage designated street trees with a minimum mature height of twenty-five (25) feet shall be maintained thirty (30) feet on center. A six (6) foot wood fence will be maintained along the northern property line as shown on the plan and along said line there will be a thirty (30) foot setback west of the entrance road. A six foot wood fence along the west property line and existing deciduous trees shall be maintained to completely shield the parking areas. Mounding and landscaping will be maintained on the Cleveland Avenue frontage. The landscape and mounding shall conform to that shown on the existing plan.

Loading: Loading areas shall be screened by opaque material and/or structures and/or landscaping to a minimum height of seven (7) feet.

**D. Building Design and/or Interior-Exterior Treatment Commitments.**

N/A

#### **E. Dumpsters, Lighting, Outdoor Display Areas and/or Other Environmental Commitments.**

All light poles and standards shall be brown in color and shall either be constructed of wood stained brown or brown metal and not exceed twenty-eight (28) feet in height.

#### **F. Graphics and Signage Commitments.**

Current signage is approximately 20' in height and setback from the Cleveland Avenue R.O.W. at 25'0". All graphics shall conform to Article 15 of the Columbus City Code, as it applies to the C-4 Commercial District. Any variance to the applicable requirements of the C-4 District shall be submitted to the Columbus Graphics Commission. NOTE: There will be no more than one freestanding ground graphic. No other freestanding graphic will be located on the premises.

#### **G. Other CPD Requirements**

1. Natural Environment: The subject property is located on the west side of Cleveland Avenue approximately 580 feet south of Dublin-Granville Road (SR 161). The property is presently developed with a 210,500± square-foot grocery/general store and parking lot.
2. Existing Land Use: The property is presently developed with a 210,500± square-foot grocery/general store and parking lot. Landscaping and screening has been incorporated into the existing development.
3. Traffic and Circulation: Access will be as shown on the Site Plan. The current access for the Meijer store will remain. Roadway and intersection improvements were made at the time of development, and there is a traffic signal at the main entrance to the subject property.
4. Visual Form of the Environment: Landscaping and screening has been incorporated into the existing development and shall remain. No revisions to property owned by Meijer are proposed.
5. Visibility: Consideration has been given to the visibility and safety of motorists and pedestrians during the planning of development of the subject property and the location of access points.
6. Proposed Development: Maintain existing retail development.
7. Behavior Patterns: The site is located at a major destination point for the Northland area retail shopper. It is also at a location where traffic volumes already exist, many of which are moving to or from existing retail opportunities. The retail use emphasizes existing patterns.
8. Emissions: Emissions from the subject property will not substantially affect the environment of the surrounding neighborhoods.

#### **H. Miscellaneous Commitments.**

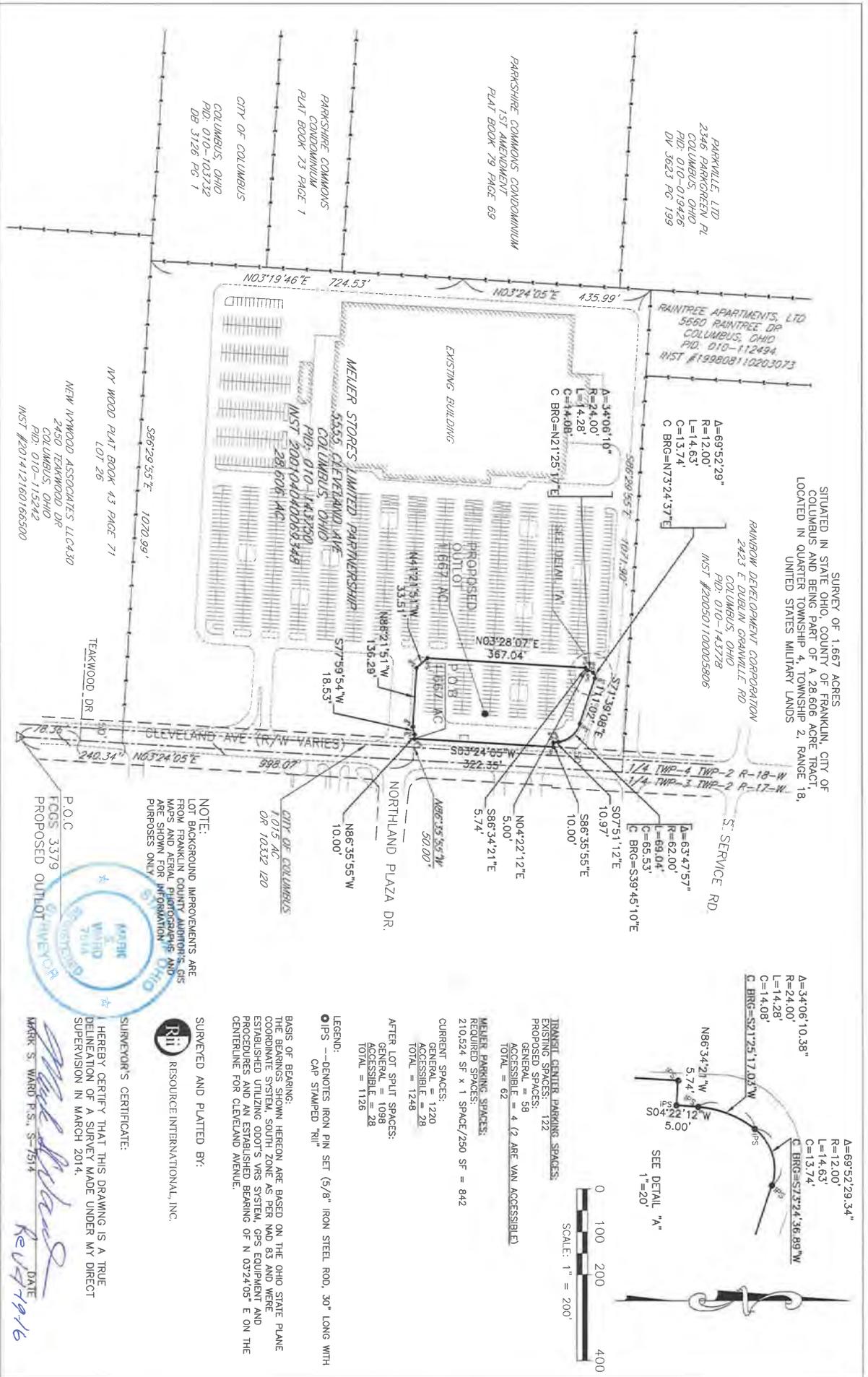
1. The site shall be maintained in general conformance with the attached Overall Site Plan. The Site Plan may be slightly adjusted to reflect engineering, topographical, or other site data developed at the time of development and when engineering plans are complete. Any slight adjustment to the Site Plan is subject to review and approval by the Director of the Department of Building and Zoning Services or a designee, upon submission of the appropriate data regarding the proposed adjustment.
2. In the event that uses or development standards are proposed to be changed, nothing herein shall prevent the current or future owners from filing a rezoning application on either Subarea separately, so long as a complete Subarea is the subject of the rezoning application.

The undersigned, being the owner of the subject property together with the applicant in the subject application, or their authorized representatives, do hereby agree singularly and collectively for themselves,

their heirs, successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions or commitments shall in any manner act to negate, alter or modify any more restrictive provision of the Columbus City Codes, except as permitted by the Development Text and drawings referenced herein.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_





SITUATED IN STATE OHIO, COUNTY OF FRANKLIN, CITY OF COLUMBUS AND BEING PART OF A 28.606 ACRE TRACT, LOCATED IN QUARTER TOWNSHIP 4, TOWNSHIP 2, RANGE 18, UNITED STATES MILITARY LANDS

RAINBOW DEVELOPMENT CORPORATION  
2423 E. DURBIN GRANVILLE RD  
COLUMBUS, OHIO  
P.O. 010-143778  
INST #2009011000059006

PARKVILLE LTD  
2346 PARKGREEN PL  
COLUMBUS, OHIO  
P.O. 010-019426  
DR 3623 PG 199

PARKSHIRE COMMONS CONDOMINIUM  
1ST AMENDMENT  
PLAT BOOK 79 PAGE 69

PARKSHIRE COMMONS  
CONDOMINIUM  
PLAT BOOK 73 PAGE 1  
CITY OF COLUMBUS  
P.O. 010-103732  
DR 3126 PG 1

NEW WOOD ASSOCIATES, LLC A30  
2430 TEAKWOOD DR  
COLUMBUS, OHIO  
P.O. 010-115242  
INST #201412160166500

NOTE:  
LOT BACKGROUND IMPROVEMENTS ARE FROM FRANKLIN COUNTY AUDITOR'S GIS MAPS AND AERIAL PHOTOGRAPHS AND ARE SHOWN FOR INFORMATION PURPOSES ONLY



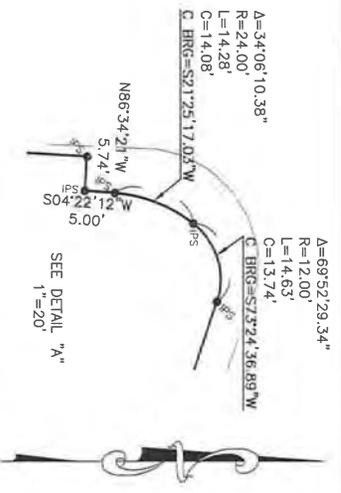
SURVEYOR'S CERTIFICATE:  
HEREBY CERTIFY THAT THIS DRAWING IS A TRUE DELINEATION OF A SURVEY MADE UNDER MY DIRECT SUPERVISION IN MARCH 2014.  
*Mark S. Ward*  
DATE: 03-19-16

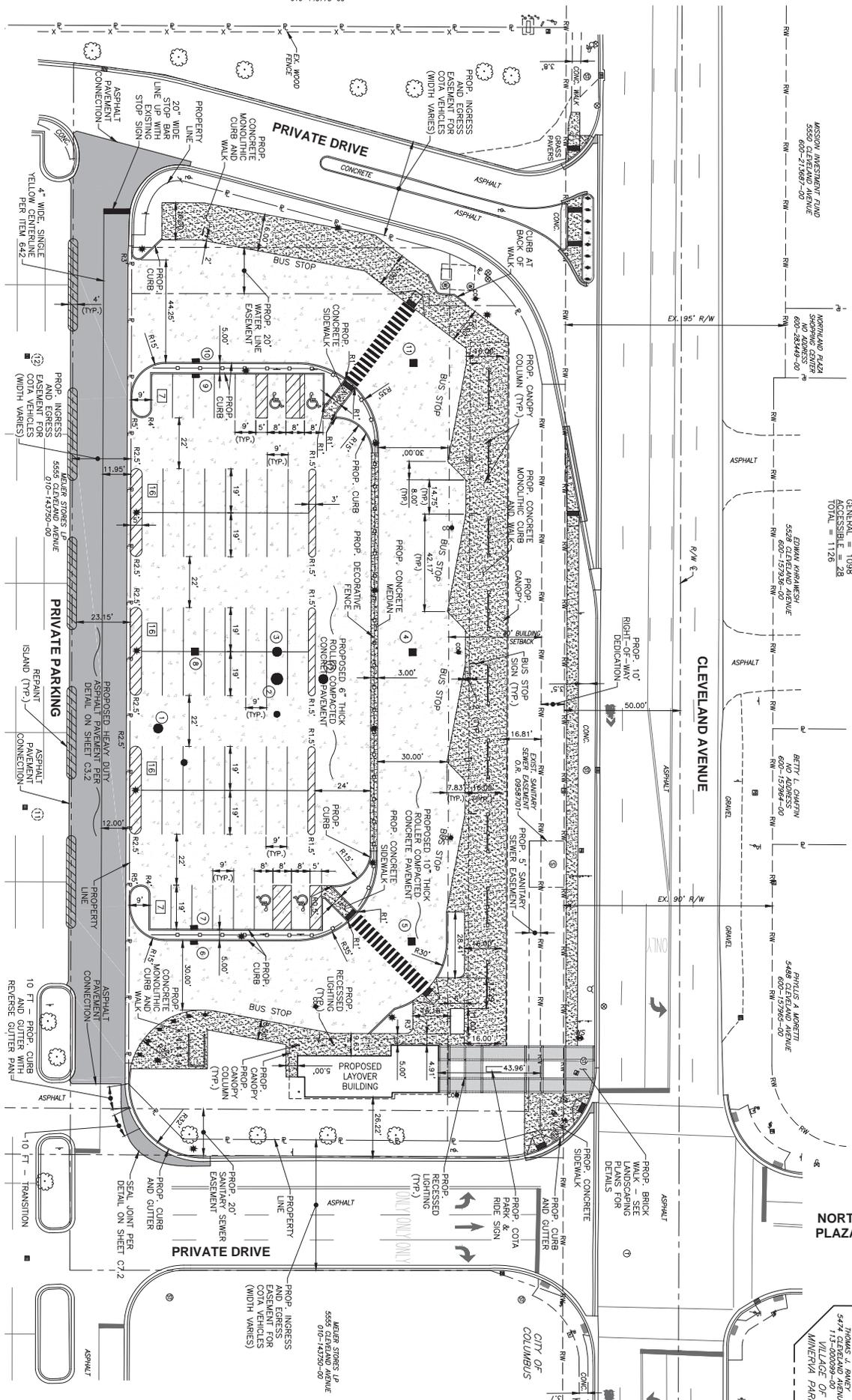
LEGEND:  
● IPS - DENOTES IRON PIN SET (5/8" IRON STEEL ROD, 30" LONG WITH CAP STAMPED "RI")  
BASIS OF BEARING:  
THE BEARING HEREON ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE AS PER MND 63 AND WERE ESTABLISHED UTILIZING ODOT'S VRS SYSTEM, GPS EQUIPMENT AND PROCEDURES AND AN ESTABLISHED BEARING OF N 03°24'05" E ON THE CENTRELINE FOR CLEVELAND AVENUE.

AFTER LOT SPLIT SPACES:  
GENERAL = 1220  
ACCESSIBLE = 28  
TOTAL = 1248

MEIUR PARKING SPACES:  
REQUIRED SPACES:  
210,524 SF x 1 SPACE/250 SF = 842

TRANSIT CENTER PARKING SPACES:  
EXISTING SPACES: 122  
PROPOSED SPACES: 4  
GENERAL = 58  
ACCESSIBLE = 4 (2 ARE VAN ACCESSIBLE)  
TOTAL = 62





SUBAREA A - TRANSIT CENTER PARKING SPACES:  
EXISTING SPACES: 122  
PROPOSED SPACES:  
GENERAL: 58  
ACCESSIBLE: 4 (2 ARE VEH. ACCESSIBLE)  
TOTAL = 62

SUBAREA B - MEIJER PARKING SPACES:  
REQUIRED SPACES:  
210,524 SF x 1 SPACE/290 SF = 842  
CURRENT SPACES:  
GENERAL: 1220  
ACCESSIBLE: 28  
TOTAL = 1248

AFTER LOT SPLIT SPACES:  
GENERAL = 1098  
ACCESSIBLE = 28  
TOTAL = 1126

SITE DATA  
TOTAL AREA SUBAREA A  
26,939 ACRES  
TOTAL AREA SUBAREA B  
65,312 SF  
PAVED AREA SUBAREA A  
792,441 SF  
PAVED AREA SUBAREA B  
1,667 ACRES

PROJECT NOTE:  
THE PROPOSED PROJECT WILL COMPLY WITH SECTIONS  
3321.07 LANDSCAPE, 3321.03 LIGHTING, 3312.21  
SCREENS, 3312.23 STRIPING/PARKING, 3312.43  
SCRENS, 3312.49 WHEEL STOPS/CURB OF THE  
COLUMNS, 017 CODE.



NORTHLAND  
TRANSIT CENTER  
REWORKING SHEET PLAN

RESOURCE INTERNATIONAL INC.  
6350 PRESIDENTIAL GATEWAY  
COLUMBUS, OHIO 43230  
PHONE: (614) 823-9849 FAX: (614) 823-1999  
www.resourceinternational.com

Drawing Issue & Revision Status			
Mark	Date	Issued By	Description





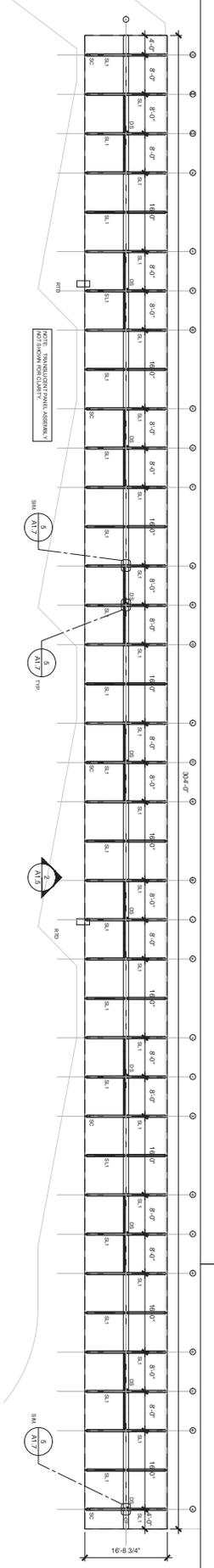
- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. IF DIMENSIONS CANNOT BE DETERMINED ON DOCUMENTS, CONTACT THE ARCHITECT PRIOR TO COMMUNICATION OF WORK.
  - COORDINATE THE EXACT LOCATION AND NUMBER FOR PLUMBING, HVAC, AND ELECTRICAL SHEET/CONTRACTORS.

**CANOPY JOINED NOTES:**

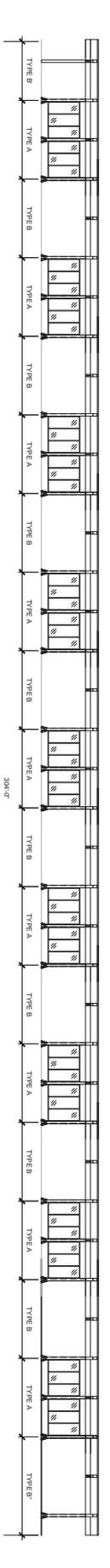
DIVISION 08 - OPENINGS  
 DIVISION 10 - SPECIALTIES  
 DIVISION 10 - ALUMINUM CANOPY ASSEMBLY

**CANOPY MATERIALS AND FINISHES:**

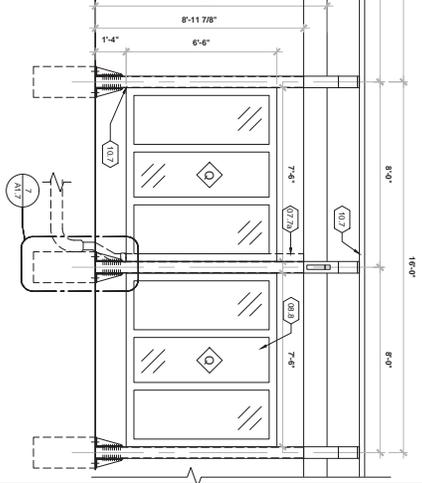
ALUMINUM PANEL ASSEMBLY  
 ALUMINUM PANEL ASSEMBLY  
 ALUMINUM PANEL ASSEMBLY  
 ALUMINUM PANEL ASSEMBLY



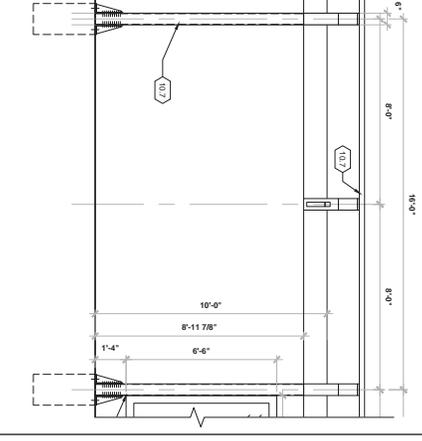
**1 CANOPY PLAN DETAIL**  
 SCALE: 3/32\"/>



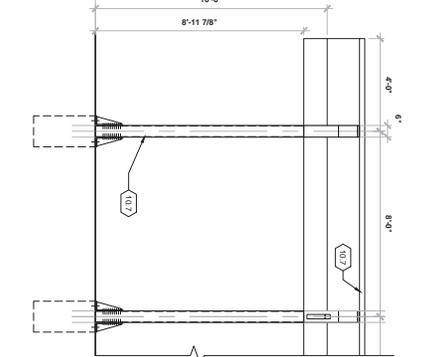
**2 CANOPY ELEVATION**  
 SCALE: 3/32\"/>



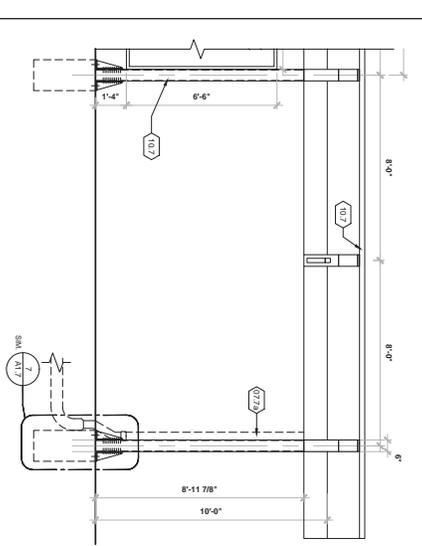
**3 CANOPY SEGMENT TYPE A**  
 SCALE: 3/8\"/>



**4 CANOPY SEGMENT TYPE B**  
 SCALE: 3/8\"/>



**5 CANOPY SEGMENT TYPE B'**  
 SCALE: 3/8\"/>



**6 CANOPY SEGMENT TYPE B''**  
 SCALE: 3/8\"/>

Drawing Issue & Revision Status			
Mark	Date	Issued By	Description
	03/25/16	OHM	Permit Set

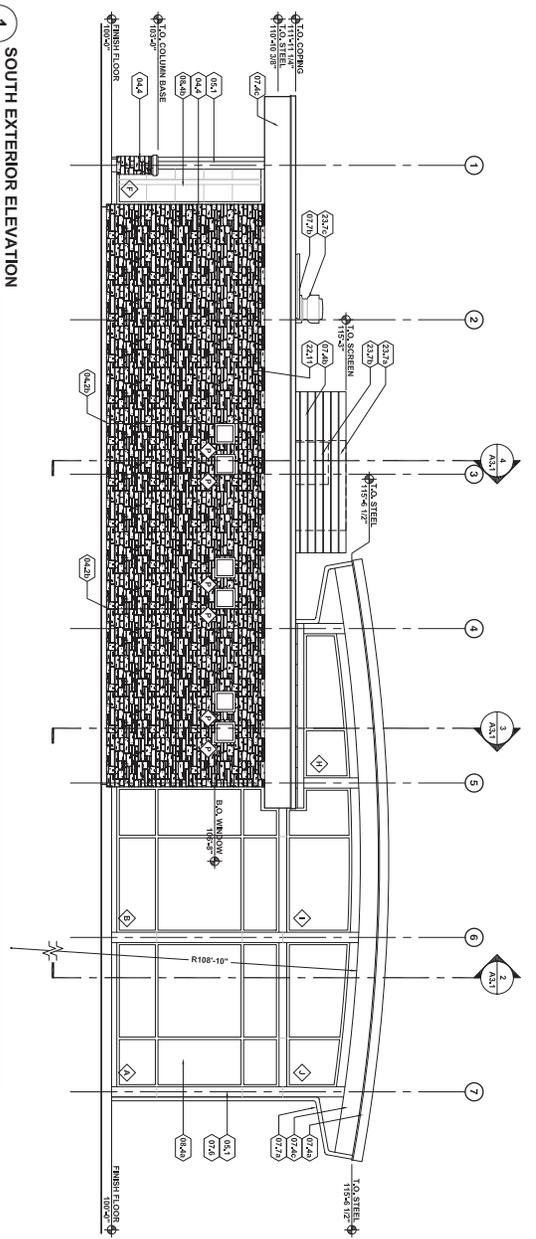


101 mill street, suite 200  
 gahanna, ohio 43230  
 phone: 614.418.0600  
 www.ohm-advisors.com

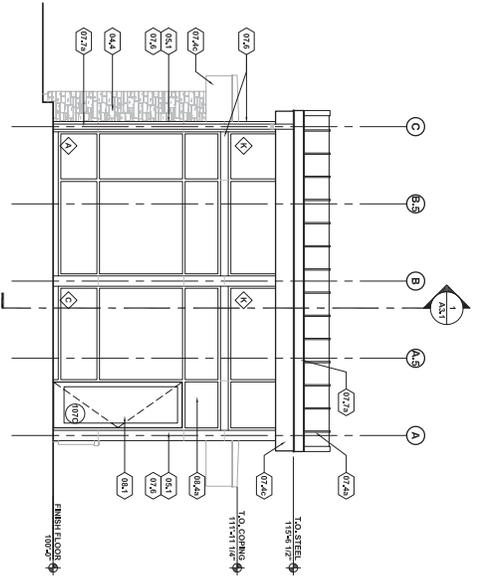
**OHM**

CLEVELAND AVENUE  
 BRT PROJECT  
 NORTHLAND TRANSIT CENTER

TRANSIT CENTER  
 CANOPY DRAWINGS  
**A1.5**



1 SOUTH EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"



2 EAST EXTERIOR ELEVATION  
SCALE: 1/8"=1'-0"

- EXTERIOR ELEVATIONS GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. IF DIMENSIONS CANNOT BE DETERMINED ON DOCUMENTS AND/OR DIMENSIONS ARE INCONCLUSIVE, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND REQUIREMENTS.
  - REFER TO EXTERIOR DETAILS AND GENERAL FLASHING NOTES FOR FLASHING REQUIREMENTS.
  - EXACT LOCATION AND NUMBER FOR PUMBS, JACS, AND ELECTRICAL FITTINGS, ACCESSORIES, AND/OR EQUIPMENT WITH PUMBS, JACS, AND ELECTRICAL SHEETS/CONTRACTORS.

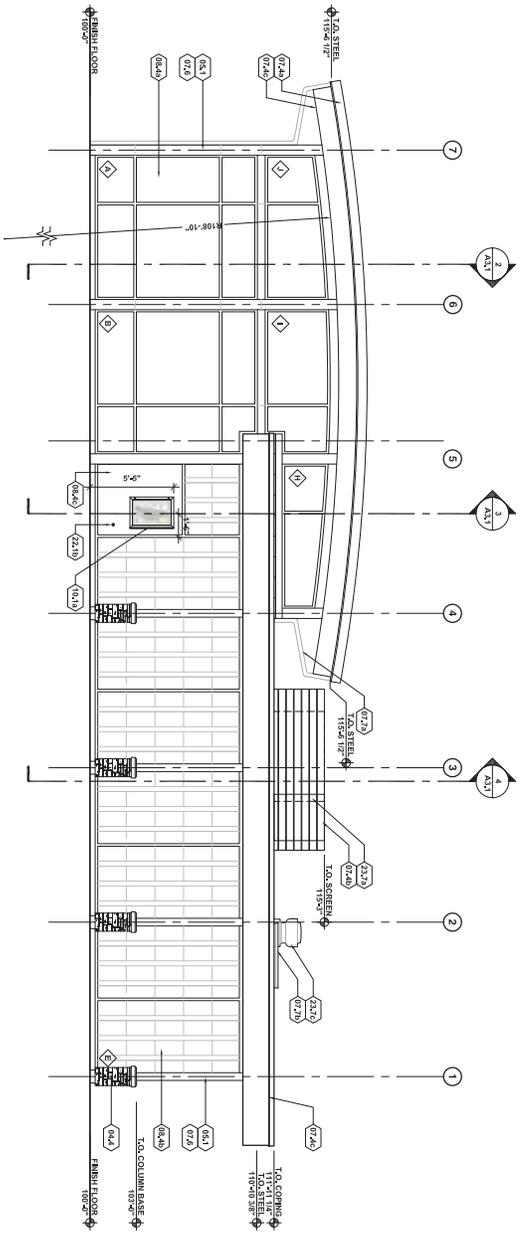
**EXTERIOR MATERIAL LEGEND:**

STONE MASONRY VENEER SYSTEM, APPLY WEATHER SEAL SPECIFICATION SECTION 04 40 00

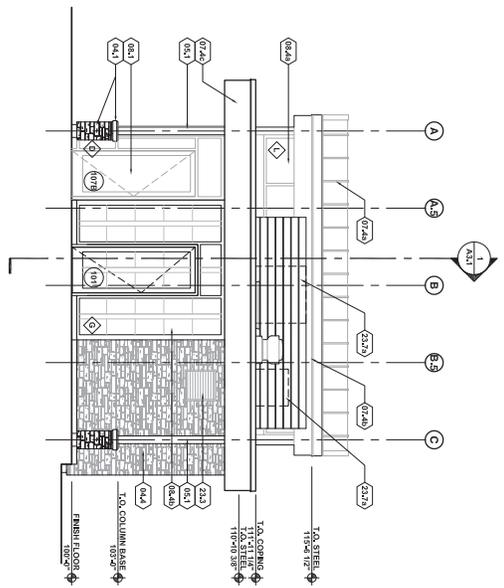
**EXTERIOR ELEVATION CODED NOTES:**

- 0420 UNIT MASONRY CONTROL JOINT  
044 ADHERED STONE MASONRY VENEER
- DIMENSION 02 - METALS**
- 051 STRUCTURAL STEEL COLUMN (REFER TO STRUCTURAL SHEETS)
- DIMENSION 07 - FINISHES & MOISTURE PROTECTION**
- 0720 PRE-FINISHED METAL STANDING SEAM ROOF  
0726 FORMED METAL WALL PANELS AND GATE  
0726 ALUMINUM BRAKE METAL VENT, CO-ORDINATE TO MATCH ALUMINUM GUTTER AND DOWNSPOUT (REFER TO CIVIL DRAWINGS FOR ROOF CONNECTION)
- DIMENSION 08 - OPERINGS**
- 0841 DOOR (REFER TO DOOR SCHEDULE)  
0846 ALUMINUM FRAMED STOREFRONT SYSTEM (REFER TO WINDOW SCHEDULE)  
0846 FIBERGLASS SANDWICH WALL PANEL ASSEMBLY (REFER TO WINDOW SCHEDULE)  
0846 METAL WALL PANEL ASSEMBLY
- DIMENSION 10 - SPECIALTIES**
- 1018 EXTERIOR LOCKABLE MAP DISPLAY SIGNING CASE
- DIMENSION 22 - ENCLINGS**
- 2210 EXTERIOR HOSE REEL (REFER TO PLUMBING SHEETS)  
2211 DOWNSPOUT NOZZLE
- DIVISION 23 - HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)**
- 2320 GRILLE (REFER TO MECHANICAL SHEETS)  
2320 CONDENSER (REFER TO MECHANICAL SHEETS)  
2376 EXHAUST FAN (REFER TO MECHANICAL SHEETS)

Drawing Issue & Revision Status			
Mark	Date	Issued By	Description
	03/25/16	OHM	Permit Set



**1** NORTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"



**2** WEST EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0"

- EXTERIOR ELEVATIONS GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. IF DIMENSIONS CANNOT BE DETERMINED OR DOCUMENTS ARE INCOMPLETE, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS AGAINST THE REQUIREMENTS.
  - REFER TO EXTERIOR DETAILS AND GENERAL FLASHING NOTES FOR FLASHING REQUIREMENTS.
  - EXACT LOCATION AND NUMBER FOR PUMBS, JACS, AND ELECTRICAL FITTINGS, ACCESSORIES, AND/OR EQUIPMENT WITH PUMBS, JACS, AND ELECTRICAL SHEETS/CONTRACTORS.

**EXTERIOR MATERIAL LEGEND:**

STONE MASONRY VENEER SYSTEM, APPLY WEATHER SEAL SPECIFICATION SECTION 44.40.00  
 1, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

**EXTERIOR ELEVATION CODED NOTES:**

- DIVISION 04 - MASONRY
  - 0420 UNIT MASONRY CONTROL JAMB
  - 044 ADHERED STONE MASONRY VENEER
- DIVISION 05 - METALS
  - 051 STRUCTURAL STEEL COLUMN (REFER TO STRUCTURAL SHEETS)
- DIVISION 07 - FINISHES & MOISTURE PROTECTION
  - 0740 PRE-FINISHED METAL STANDING SEAM ROOF
  - 0746 FORMED METAL WALL PANELS AND GATE
  - 0746 PRE-FINISHED ALUMINUM PARAPET
  - 074 ALUMINUM BRAKE METAL VENT, CO-ORDINATE TO MATCH ALUMINUM GUTTER AND DOWNSPOUT (REFER TO CIVIL DRAWINGS FOR ROOF CONNECTION)
  - 0720 ROOF FLASH
- DIVISION 08 - OPERINGS
  - 081 DOOR (REFER TO DOOR SCHEDULE)
  - 0840 ALUMINUM FRAMED STOREFRONT SYSTEM (REFER TO WINDOW SCHEDULE)
  - 0840 FRIGGLASS SANDWICH WALL PANEL ASSEMBLY (REFER TO WINDOW SCHEDULE)
  - 0846 METAL WALL PANEL ASSEMBLY
- DIVISION 10 - SPECIALTIES
  - 101A EXTERIOR LOCKABLE PAVE DISPLAY SWING CASE
- DIVISION 22 - PLUMBING
  - 2210 EXTENSION NOSE (REFER TO PLUMBING SHEETS)
  - 2211 DOWNSPOUT NOZZLE
- DIVISION 23 - HEATING, VENTILATION, AND AIR CONDITIONING (HVAC)
  - 233 GRILLE (SEE UNIT SPECIFIC TO MECHANICAL SHEETS)
  - 2320 CONDENSER (REFER TO MECHANICAL SHEETS)
  - 237C EXHAUST FAN (REFER TO MECHANICAL SHEETS)

Drawing Issue & Revision Status							
Mark	Date	Issued By	Description	Mark	Date	Issued By	Description
	03/25/16	OHM	Permit Set				

101 mill street, suite 200  
 gahanna, oh 43024  
 phone: 614.418.0600  
 www.ohm-advisors.com

CLEVELAND AVENUE  
 BRT PROJECT  
 NORTHLAND TRANSIT CENTER

TRANSIT CENTER  
 EXTERIOR ELEVATIONS  
**A2.2**



Northland Community Council  
Development Committee

Report

March 30, 2016 6:30 PM  
Franklin County Job and Family Services  
(Use south entrance)  
1721 Northland Park Avenue (43229)

**Meeting Called to Order: 6:35 pm by chair Dave Paul**

Members represented:

*Voting: (18):* Albany Park (APHA), Asherton Grove (AGCA), Blendon Chase (BCCA), Clinton Estates (CECA), Cooper Woods (CWCA), Forest Park (FPCA), Friendship Village (FVRA), Karmel-Woodward Park (KWPCA), Maize-Morse Tri-Area (MMTACA), Minerva Park (MP), Northland Alliance (NA), Northland Area Business Association (NABA), Preston Commons (PCHA), Rolling Ridge (RRSHA), Salem (SCA), Sharon Woods (SWCA), Village at Preston Woods (PWCA), Woodstream East (WECA). *Non-voting:* NCC president Emmanuel Remy.

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**Case #1:** Application #Z16-009 (Rezone 28.6 AC± from CPD to CPD for construction of a new COTA Transit Center)  
Perry Payne/Resource International, Inc. *representing*  
Central Ohio Transit Authority  
5495 Cleveland Avenue (portion of Meijer site), 43229 (PID 010-143750)

- *The Committee approved (17-0 w/ 1 abstention) a motion (by MP, second by CWCA) to **RECOMMEND APPROVAL WITH CONDITIONS:***
  1. *That section 1, "Permitted uses," of the CPD text pertaining to both Sub-areas A and B be modified to add "bars" and "nightclubs" to the lists of excepted uses. ("Cabarets" already listed as an excepted use.)*
  2. *That the document presented as "Northland Transit Center Planting Plan L1.01" be incorporated in the application as the landscape site plan described in section 2 C of the text.*

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**Case #2:** Application #CV15-078 (Council variance from §3363.01 to permit residential use in a C4 district)  
Rose and Alex Man (*owners*)  
6000 Beechcroft Road (former Northland Community Center pool site),  
43229 (PID 010-104134)

- *After presentation by and discussion with the applicants, the applicants requested to **TABLE** consideration of the application by the Committee to a future meeting date.*
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Next meeting: April 27, 2015