



CITY OF COLUMBUS

DEPARTMENT OF BUILDING AND ZONING SERVICES

One Stop Shop Zoning Report Date: Tue Oct 18 2016

General Zoning Inquiries: 614-645-8637

SITE INFORMATION

Address: 450 E 18TH AVE COLUMBUS OH 43201

Mailing Address: 442 E NORTHWOOD AVE

COLUMBUS OH 43201-1350

Owner: TALBOTT RICHARD A TR

Parcel Number: 010013969

ZONING INFORMATION

Zoning: 387, Commercial, C4

effective 11/24/1947, Height District H-35

Board of Zoning Adjustment (BZA): N/A

Commercial Overlay: N/A

Graphic Commission: N/A

Area Commission: University Area Commission

Planning Overlay: University

Historic District: N/A

Historic Site: No

Council Variance: N/A

Flood Zone: OUT

Airport Overlay Environs: N/A

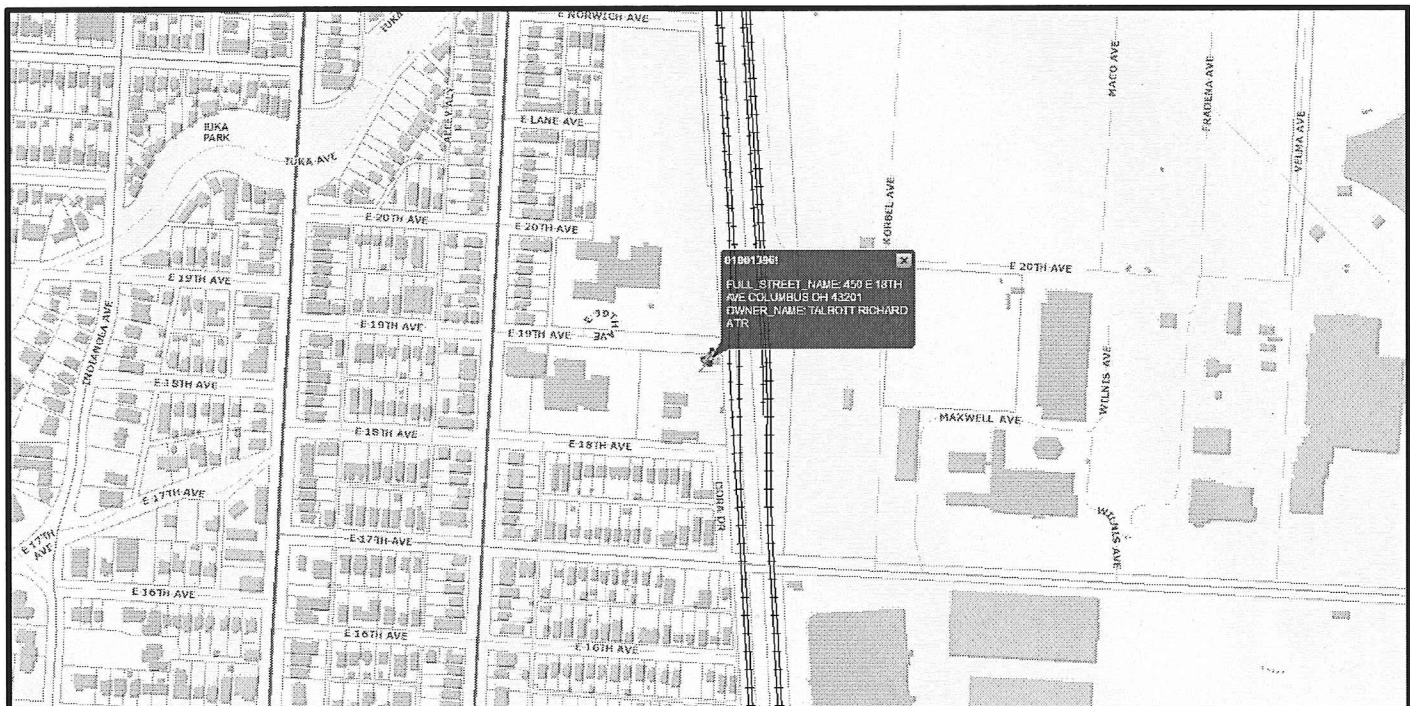
PENDING ZONING ACTION

Zoning: N/A

Board of Zoning Adjustment (BZA): N/A

Council Variance: N/A

Graphic Commission: N/A



Board of Zoning Adjustment ApplicationDEPARTMENT OF BUILDING
AND ZONING SERVICES757 Carolyn Avenue, Columbus, Ohio 43224
Phone: 614-645-7433 • www.bzs.columbus.gov

OFFICE USE ONLY

Application Number: BZA16-138 Date Received: 10/12/16
 Application Accepted by: D. Reiss Fee: \$1,900.00
 Commission/Civic: University
 Existing Zoning: C-4
 Comments: 12/20/16

TYPE(S) OF ACTION REQUESTED (Check all that apply):☒ Variance ☐ Special Permit

Indicate what the proposal is and list applicable code sections:

Verizon Wireless co-location on existing tower located on parcel #010-013969 requiring a need toobtain variances for the district setback (3356.11 and 3312.27) requirements, landscaping requirements
(3389.14 B.3) existing tower residential setback requirements (3389.14 B.5)**LOCATION**Certified Address: 450 E. 18th Ave. City: Columbus Zip: 43201Parcel Number (only one required): 010-013969**APPLICANT** (If different from Owner):Applicant Name: Verizon Wireless Phone Number: 614-570-8544 Ext.: _____Address: 7575 Commerce Court City/State: Lewis Center, OH Zip: 43035Email Address: Dan.Noble@VerizonWireless.com Fax Number: _____**PROPERTY OWNER(S)** ☐ Check here if listing additional property owners on a separate pageName: Richard A. Talbott, Trustee Phone Number: 614-271-9212 Ext.: _____Address: 442 E. Northwood Ave. City/State: Columbus, OH Zip: 43201Email Address: _____ Fax Number: 614-771-9297**ATTORNEY / AGENT** (Check one if applicable): ☐ Attorney ☒ AgentName: James R. Hartmeyer/ SBA Network Services Phone Number: 740-624-2740 Ext.: _____Address: 301 Main Street, Suite A City/State: Zanesville, OH Zip: 43701Email Address: jhartmeyer@sbsite.com Fax Number: 740-454-7177**SIGNATURES** (All signatures must be provided and signed in blue ink)APPLICANT SIGNATURE: [Signature]PROPERTY OWNER SIGNATURE: Carol A. TalbottATTORNEY / AGENT SIGNATURE: [Signature], agent**PLEASE NOTE: Incomplete information will result in the rejection of this submittal.**

Applications must be submitted by appointment. Call 614-645-4522 to schedule.

Please make checks payable to the Columbus City Treasurer

Board of Zoning Adjustment Application

757 Carolyn Avenue, Columbus, Ohio 43224
Phone: 614-645-7433 • www.bzs.columbus.gov

AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (1) NAME James R. Hartmeyer

of (1) MAILING ADDRESS 301 Main Street, Suite A, Zanesville, OH 43701

deposes and states that (he/she) is the applicant, agent, or duly authorized attorney for same and the following is a list of the name(s) and mailing address(es) of all the owners of record of the property located at

(2) per ADDRESS CARD FOR PROPERTY 450 E. 18th Ave.

for which application for a rezoning, variance, special permit or graphics plan was filed with the Department of Building and Zoning Services, on (3) _____

(THIS LINE TO BE FILLED OUT BY CITY STAFF)

SUBJECT PROPERTY OWNERS NAME
AND MAILING ADDRESS

(4) Richard A Talbott, Trustee
442 E. Northwood Ave.
Columbus, OH 43201

APPLICANT'S NAME AND PHONE #
(same as listed on front application)

James R. Hartmeyer, Agent
740-624-2740

AREA COMMISSION OR CIVIC GROUP
AREA COMMISSION ZONING CHAIR
OR CONTACT PERSON AND ADDRESS

(5) University Area Review Board
Dan Ferdelman (614-645-6096)
50 West Gay Street, Columbus, OH 43215-9040

and that the following is a list of the **names** and **complete mailing addresses**, including **zip codes**, as shown on the **County Auditor's Current Tax List or the County Treasurer's Mailing List**, of all the **owners of record of property within 125 feet** of the exterior boundaries of the property for which the application was filed, **and** all of the owners of any property within 125 feet of the applicant's or owner's property in the event the applicant or the property owner owns the property contiguous to the subject property:

(6) PROPERTY OWNER NAME	(6a) PROPERTY ADDRESS	(6b) PROPERTY OWNER MAILING ADDRESS
<u>447 E. 18th LLC</u>	<u>455 Eighteenth Ave.</u>	<u>4438 Indianola Ave., Columbus, OH 43214</u>
<u>John L. Morrison</u>	<u>425 Eighteenth Ave.</u>	<u>130 F Broadmeadows Blvd., Cols., OH 43215</u>
<u>Xenos Christian Fellowship</u>	<u>1932-1934 Fourth St.</u>	<u>1340 Community Park Dr., Cols., OH 43229</u>
<u>Robert C. and Holly L. Borghese</u>	<u>443 E. 18th Ave.</u>	<u>913 Overbrook Service Dr., Cols., OH 43224</u>
<u>Christopher M. and Jessica Small</u>	<u>437 E. 18th Ave.</u>	<u>437 E. Eighteenth Ave, Columbus, OH 43201</u>

☒ (7) Check here if listing additional property owners on a separate page.

(8) SIGNATURE OF AFFIANT

Sworn to before me and signed in my presence this 11th day of October, in the year 2016

Heather Deem
(8) SIGNATURE OF NOTARY PUBLIC

Notary Seal Here
HEATHER DEEM
Notary Public
for the State of Ohio
My Commission Expires
December 28th, 2019

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BZA16-138
450 East 18th Avenue

APPLICANT: Verizon Wireless
O James R. Hartmeyer, Agent
01 Main Street, Suite A
Zanesville, OH 43701

PROPERTY OWNER:
Richard A. Talbott, TR
442 E. Northwood Ave.
Columbus, OH 43201-1350

University Area Review Board
C/O Dan Ferdelman
Development Department / Planning
50 West Gay Street
Columbus, OH 43215-9031

Surrounding Property Owners

447 E 18th LLC
4438 Indianola Ave.
Columbus, OH 43214

John L. Morrison
130 F Broadmeadows Blvd.
Columbus, OH 43214

Xenos Christian Fellowship Inc.
1340 Community Park Dr.
Columbus, OH 43229

Robert C. Borghese
Holly L. Borghese
913 Overbrook Service Drive
Columbus, OH 43224

Christopher M. Small
Jessica E. Small
437 E. 18th Ave
Columbus, OH 43201

Board of Education
Columbus City Schools
270 East State Street
Columbus, OH 43215

Lemonade LLC
PO Box 20521
Columbus, OH 43220

Pennsylvania Lines LLC
110 Franklin Road SE
Roanoke, VA 24042-0028

Board of Zoning Adjustment Application

DEPARTMENT OF BUILDING
AND ZONING SERVICES

757 Carolyn Avenue, Columbus, Ohio 43224
Phone: 614-645-7433 • www.bzs.columbus.gov

STATEMENT OF HARDSHIP

APPLICATION #

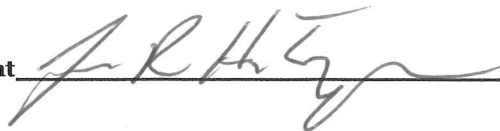
3307.09 Variances by Board.

- A. The Board of Zoning Adjustment shall have the power, upon application, to grant variances from the provisions and requirements of this Zoning Code (except for those under the jurisdiction of the Graphics Commission and except for use variances under the jurisdiction of the Council). No variance shall be granted unless the Board finds that all of the following facts and conditions exist:
1. Special circumstances or conditions apply to the subject property that do not apply, generally, to other properties in the same zoning district.
 2. The special circumstances or conditions are not the result of the actions of the property owner or applicant.
 3. The special circumstances or conditions make it necessary that a variance be granted to preserve a substantial property right of the applicant which is possessed by owners of other property in the same zoning district.
 4. The grant of a variance will not be injurious to neighboring properties and will not be contrary to the public interest or the intent and purpose of this Zoning Code.
- B. In granting a variance, the Board may impose such requirements and conditions regarding the location, character, and other features of the proposed uses or structures as the Board deems necessary to carry out the intent and purpose of this Zoning Code and to otherwise safeguard public safety and welfare.
- C. Nothing in this section shall be construed as authorizing the Board to affect changes in the Zoning Map or to add to the uses permitted in any district.

I have read Section 3307.09, Variances by Board, and believe my application for relief from the requirements of the Zoning Code satisfies the four criteria for a variance in the following ways:

The current tower was built by T-Mobile in 2005 and a building permit was obtained. There is no record that any variances were obtained for the site. The current tower does not meet the required setback to the residentially zoned school property on the north side of 19th Ave. The fence and equipment does not meet the district setback from the right of way line of 19th Ave. In this situation, 19th Ave. is not open and the tower does meet the setback requirements from the nearest residentially used property. Granting of the district setback variance will allow Verizon to utilize an existing structure and reduce the need for additional tower structures in the area. Since 19th Ave. is not open, there is no impact to neighboring properties or to traffic sight lines. Expansion of the compound to the west is the only realistic option. The propane tanks along the south line of the existing compound would necessitate an additional "spark zone". Extension of natural gas service from the school entrance on 19th Ave. will be more easily accomplished. The setback variance will allow Verizon to match the existing fence and to install their equipment near the base of the tower, facilitating the installation of the antenna feedlines on the tower. A variance for the landscaping requirement is also requested. Naturally existing vegetation screens the site from the railroad and the tree line along the north side of 19th Ave. screens the equipment from the school. Landscaping vegetation in the salvage yard would struggle to survive and the equipment is not visible from any residences or street traffic. The requested variances will allow the continuation of the current use and permit an additional carrier to utilize the existing tower, as required by section 3389.14 B.6 of the zoning code.

Signature of Applicant



Date

10/11/2016

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7575 COMMERCE COURT
LEWIS CENTER, OH 43035

SITE NAME: FAIRGROUNDS NORTHWEST SITE NUMBER: CLMB-313

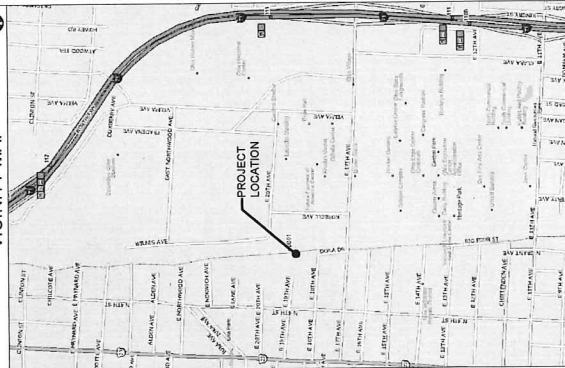
PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED ON EXISTING MONOPOLE
TOWER WITH PROPOSED 12'-0" X 20'-0" CONCRETE PAD AT BASE.

CONSULTANT TEAM

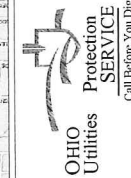
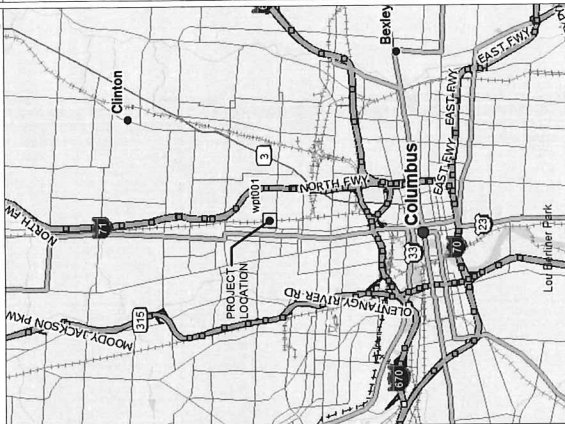
PROJECT CONSULTANT:
TERRA CONSULTING GROUP, LTD.
6000 BUSSE HIGHWAY
PARK RIDGE, IL 60088
(847) 688-6400

SURVEYOR:
PRECISION SURVEYING SERVICES, LLC.
CONSULTING SURVEYORS
9055 S.R. 56 S.E.
MT. STERLING, OH 43143
OFFICE: (740) 945-1472

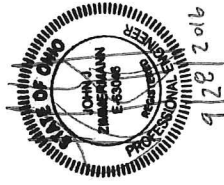
VICINITY MAP



REGIONAL MAP



SITE DATA TABLE:
TOTAL SITE AREA:
0.014 AC (617.59 SQ. FT.)
TOTAL DISTURBED AREA:
0.00 AC
PRE-DEVELOPED IMPERVIOUS:
0.00 AC
POST-DEVELOPED IMPERVIOUS:
0.014 AC (617.59 SQ. FT.)



SHEET	DESCRIPTION	REVISION
T-1	TITLE SHEET	1, 2
LP-1	OVERALL LOCATION PLAN	2
LP-2	LOCATION PLAN	0.2
C-1	ENLARGED SITE PLAN	1, 2
C-2	SITE GRADING PLAN	0.2
C-3	CONCRETE SLAB FOUNDATION PLAN	0
C-4	FENCE DETAILS	0
C-5	GENERAL CIVIL NOTES	0.2
ANT-1	SITE ELEVATION & ANTENNA DETAILS	0
ANT-2	ANTENNA MOUNTING DETAILS	0
B-1	EQUIPMENT PAD PLAN AND SECTION	0
B-2	EQUIP. PAD LIGHTING LAYOUT & CABINET DETAILS	0
E-1	UTILITY ROUTING PLAN	0
E-2	TEMPORARY UTILITY ROUTING DETAILS	0
E-3	PERMANENT UTILITY ROUTING DETAILS	0
E-4	PANEL SCHEDULE & LC MOUNTING DETAIL	0
G-1A	EQUIPMENT PAD GROUNDING PLAN	0
G-2	GROUNDING DETAILS	0
G-3	GROUNDING & SITE DETAILS	0
G-4	GROUNDING DETAILS	0

PROJECT INFORMATION	
SITE NAME:	FAIRGROUNDS NORTHWEST
P.L.N. #:	010-013969
SITE ADDRESS:	480 E. 18th AVE. COLUMBUS, OH 43201
LATITUDE:	N 40° 00' 10.86" (FROM 1-A)
LONGITUDE:	W 82° 59' 45.33" (FROM 1-A)
ZONING:	CITY OF COLUMBUS
TELCO:	AT&T
COMPANY:	AEP
POWER:	COLUMBIA GAS
NATURAL GAS:	COLO
CONSTRUCTION:	125' HIGH MONOPOLE TOWER
STRUCTURE:	110' A.G.L.
TYPE:	VERIZON WIRELESS
VZW ANTENNA:	7575 COMMERCE CT.
CL HEIGHT:	LEWIS CENTER, OH 43035
APPLICANT:	SBA COMMUNICATIONS
PROPERTY OWNER:	MIKE MCNAMARA 630-805-7630
CONSTRUCTION MANAGER:	BRENT SEYMORE 614-315-5393
REAL ESTATE MANAGER:	DAN NOBLE 614-570-8544

SPECIAL NOTES

HANDICAPPED REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED
PLUMBING REQUIREMENTS:
FACILITY HAS NO PLUMBING OR REFRIGERANTS
FACILITY HAS NO PLUMBING OR REFRIGERANTS
FACILITY SHALL MEET ALL FAA AND FCC REQUIREMENTS
CONSTRUCTION REQUIREMENTS:
ALL WORK MUST CONFORM TO VERIZON WIRELESS CONSTRUCTION INSTALLATION STANDARDS & ALL APPLICABLE CODES AND ORDINANCES.

ATTACHMENTS

1 OF 3 SURVEY
2 OF 3 SURVEY
3 OF 3 SURVEY
NTC NOTICE TO CONTRACTOR
ENVIRONMENTAL REQUIREMENTS
☒ NOTICE TO CONTRACTOR ATTACHED
☐ NO ENVIRONMENTAL RESTRICTIONS

REVISIONS	
NO.	DATE
1	07/07/16
2	07/07/16
3	07/07/16
4	07/07/16
5	07/07/16
6	07/07/16
7	07/07/16
8	07/07/16
9	07/07/16
10	07/07/16

CLMB-313
LOC #281233
SBA OH40225-T
FAIRGROUNDS
NORTHWEST
450 E. 18th AVE.
COLUMBUS, OH 43201

DRAWN BY:	JAY
CHECKED BY:	MS
DATE:	7/1/16
PROJECT #:	61033

SHEET TITLE	TITLE SHEET
SHEET NUMBER	T-1



REVISIONS	
DATE	DESCRIPTION
BY	
07/07/16	ISSUED FOR REVIEW
JAY	
07/07/16	ISSUED FOR FINAL
PP	
07/09/16	UPDATED ADDRESS, RE-ISSUED FOR FINAL
PP	
9/9/16	CITY COMMENTS
JAY	

CLMB-313
LOC #281233

SBA OH40225-T
FAIRGROUNDS
NORTHWEST

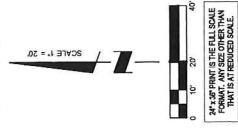
450 E. 18th AVE.
COLUMBUS, OH 43201

DRAWN BY:	JAY
CHECKED BY:	MS
DATE:	7/11/16

SHEET TITLE	OVERALL	LOCATION PLAN
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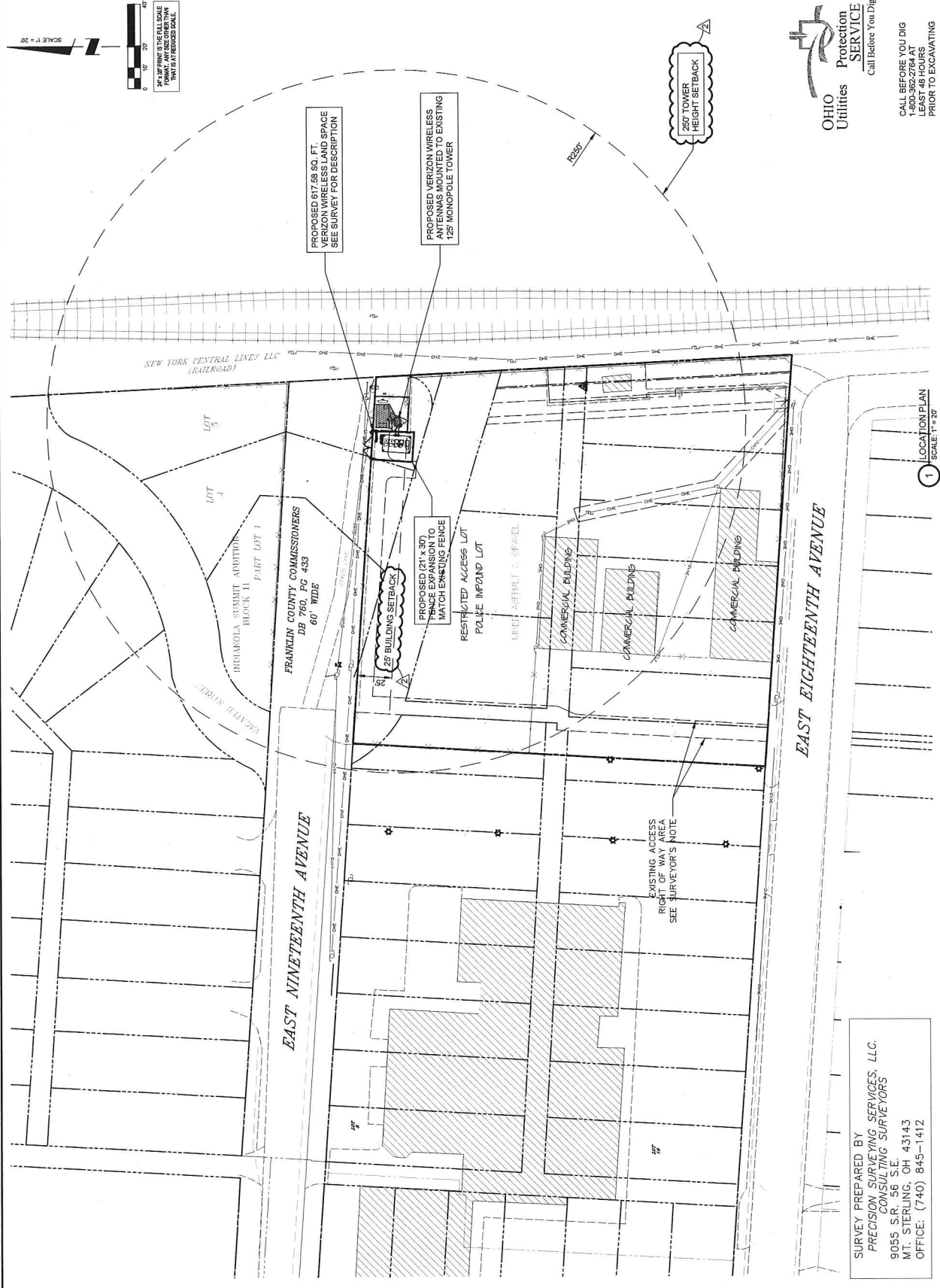
SHEET NUMBER

LP-1

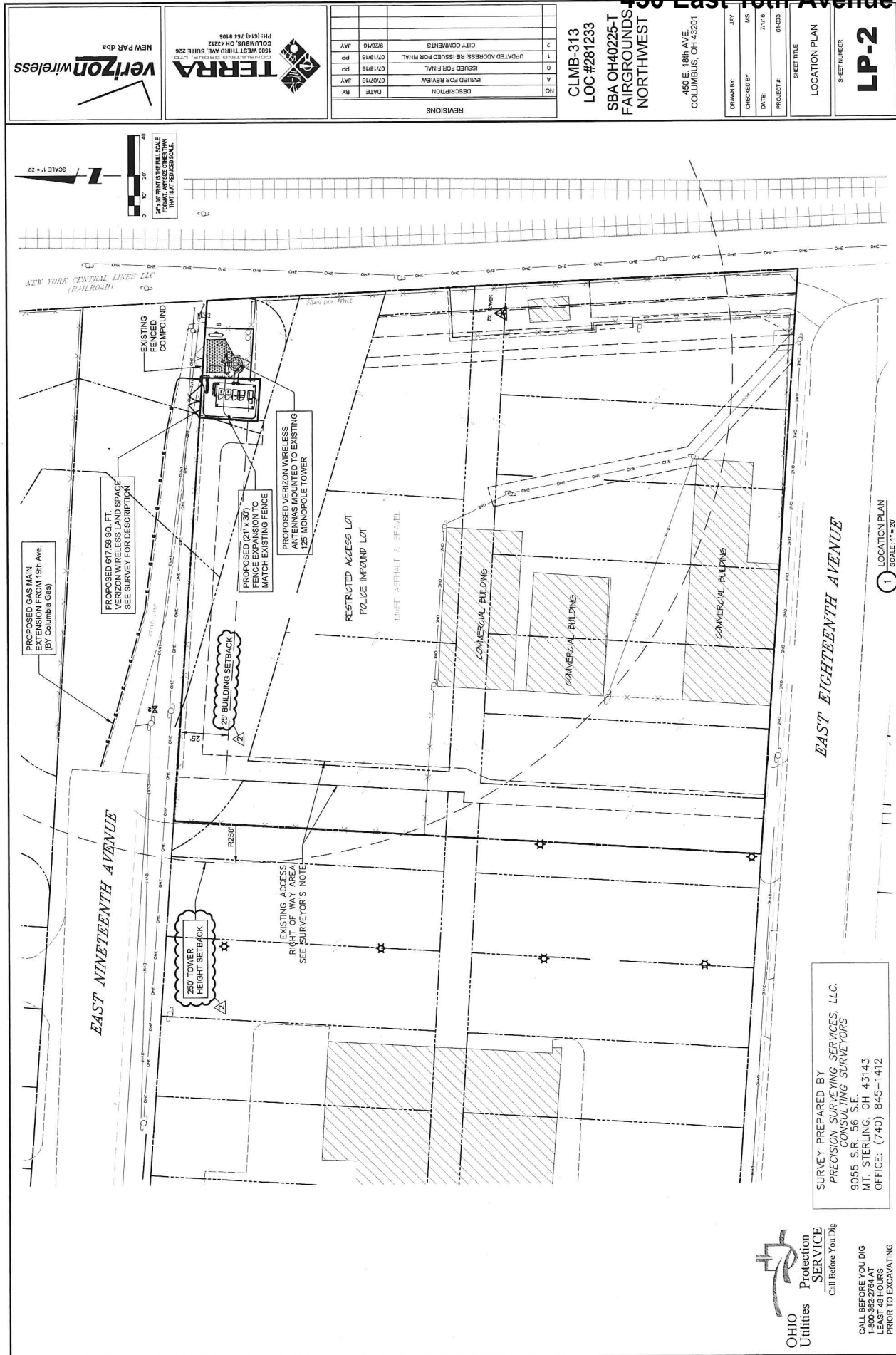




OHIO
Utilities
Protection
SERVICE
Call Before You Dig

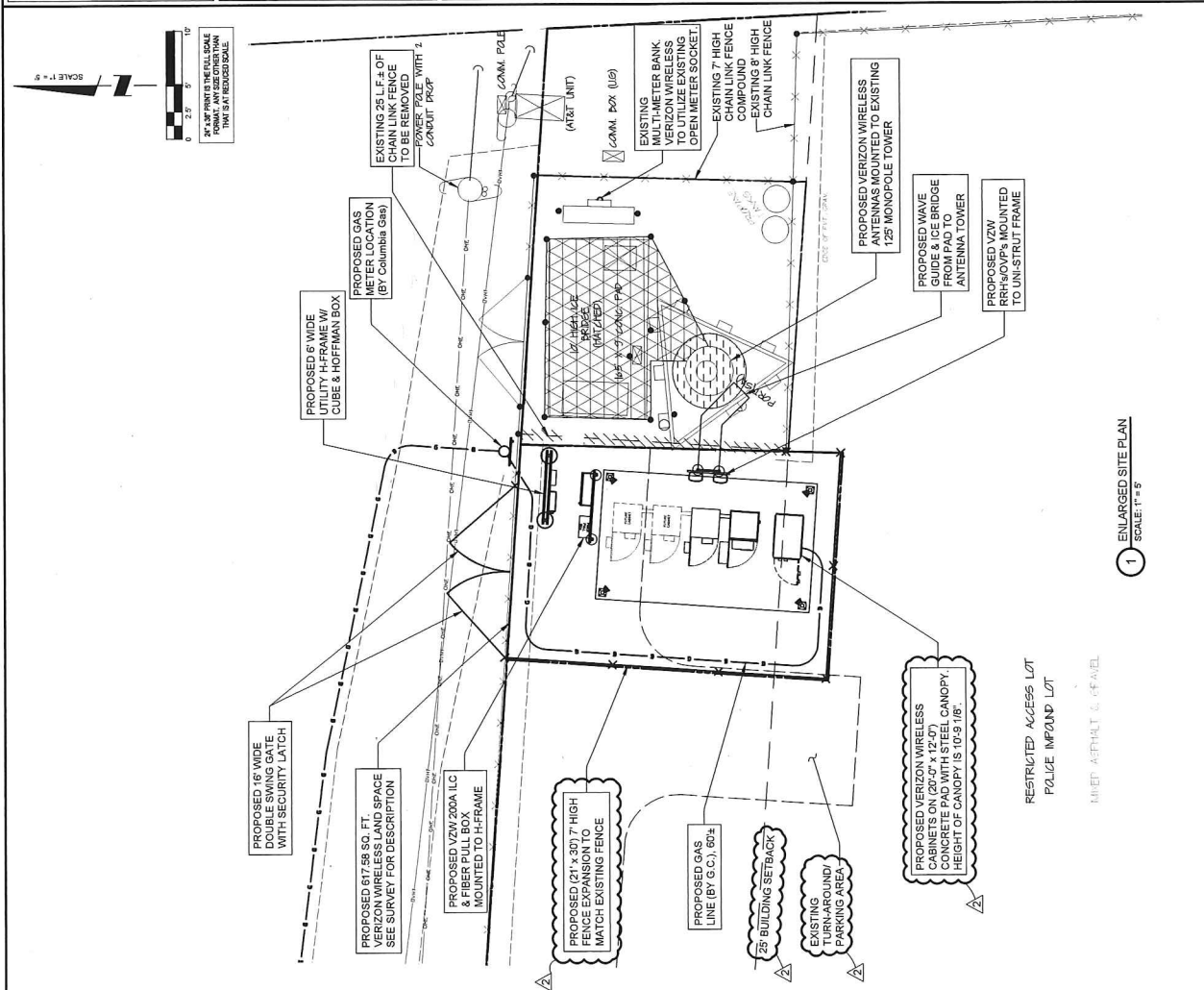
**CALL BEFORE YOU DIG
1-800-362-2764 AT
LEAST 48 HOURS
PRIOR TO EXCAVATING**



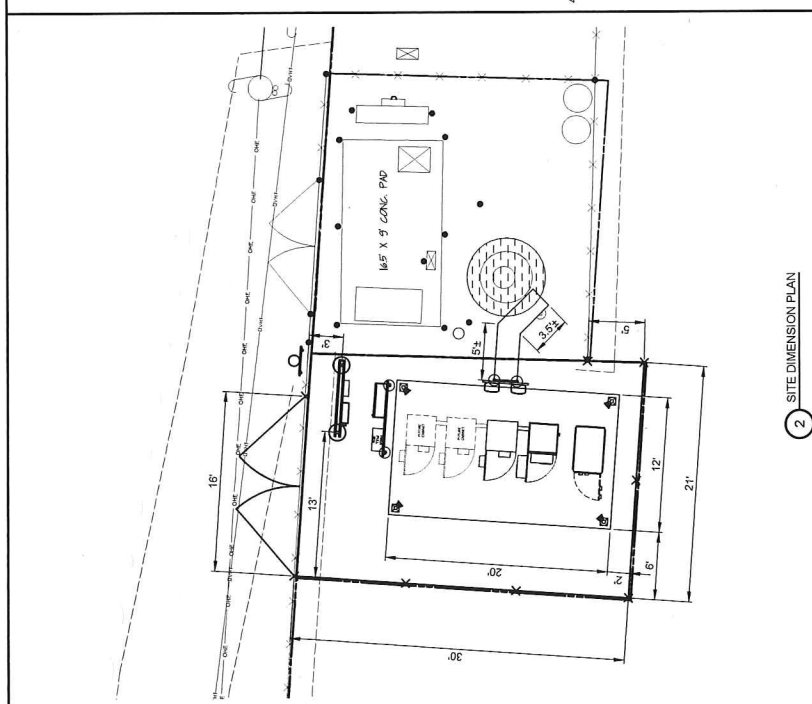
SURVEY PREPARED BY
PRECISION SURVEYING SERVICES, LLC.
CONSULTING SURVEYORS
9055 S.R. 56 S.E.
MT. STERLING, OH 43143
OFFICE: (740) 845-1412



 NEW PAR dba		 PH: (614) 754-9105 COLUMBUS, OH 43212 1500 WEST THIRD AVE. SUITE 226 COLUMBUS, OH 43221		<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>07/09/16</td> <td>JAV</td> <td>ISSUED FOR REVIEW</td> </tr> <tr> <td>2</td> <td>07/09/16</td> <td>PP</td> <td>ISSUED FOR FINAL</td> </tr> <tr> <td>3</td> <td>07/09/16</td> <td>PP</td> <td>UPDATED ADDRESS, REISSUED FOR FINAL</td> </tr> <tr> <td>4</td> <td>07/09/16</td> <td>JAV</td> <td>CITY COMMENTS</td> </tr> </table>		NO.	DATE	BY	DESCRIPTION	1	07/09/16	JAV	ISSUED FOR REVIEW	2	07/09/16	PP	ISSUED FOR FINAL	3	07/09/16	PP	UPDATED ADDRESS, REISSUED FOR FINAL	4	07/09/16	JAV	CITY COMMENTS	CLMB-313 LOC #281233 SBA OH40225-T FAIRGROUNDS NORTHWEST		450 E. 18th AVE. COLUMBUS, OH 43201		DRAWN BY: JAV CHECKED BY: MS DATE: 7/1/16 PROJECT #: 61-033		SHEET TITLE ENLARGED SITE PLAN		SHEET NUMBER C-1	
NO.	DATE	BY	DESCRIPTION																																
1	07/09/16	JAV	ISSUED FOR REVIEW																																
2	07/09/16	PP	ISSUED FOR FINAL																																
3	07/09/16	PP	UPDATED ADDRESS, REISSUED FOR FINAL																																
4	07/09/16	JAV	CITY COMMENTS																																



1 ENLARGED SITE PLAN
SCALE: 1" = 5'



2 SITE DIMENSION PLAN

LEASE SITE
4" NO. 2 1/2" OF NO. 304 AGGREGATE BASE, 2" NO. 57 LIMESTONE FINISHED SURFACE

GRAVEL MATERIAL

THE CONTRACTOR SHALL INCLUDE AS PART OF THE BID, THE COST OF REMOVAL OF ANY SURFACE VEGETATION AND ORGANIC SOILS OR OTHER DELETERIOUS MATERIALS AND THE REPLACEMENT WITH ENGINEERED BACKFILL FOR THE AGGREGATE ACCESS DRIVE AND LEASE SITE, IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.



CALL BEFORE YOU DIG
1-800-4-A-DIG
AT LEAST 48 HOURS
PRIOR TO EXCAVATING

SURVEY PREPARED BY
PRECISION SURVEYING SERVICES, LLC.
9055 S. CONSULTING SURVEYORS
SUITE 200
MT. STERLING, OH 43143
OFFICE: (740) 845-1412

NEW PAR DBA
verizon wireless

TERRA
CONSULTING GROUP, LLC
1500 WEST THIRD AVE, SUITE 226
COLUMBUS, OH 43212
PH: (614) 754-8105

NO	DATE	DESCRIPTION
1	07/16/16	ISSUED FOR REVIEW
2	07/16/16	ISSUED FOR FINAL
3	07/16/16	ISSUED FOR FINAL
4	07/16/16	ISSUED FOR FINAL
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7	07/16/16	ISSUED FOR FINAL
8	07/16/16	ISSUED FOR FINAL
9	07/16/16	ISSUED FOR FINAL
10	07/16/16	ISSUED FOR FINAL

CLMB-313
LOC #281233

SBA OH40225-T
FAIRGROUNDS
NORTHWEST

450 E 18th AVE.
COLUMBUS, OH 43201

DRAWN BY: JAY

CHECKED BY: MS

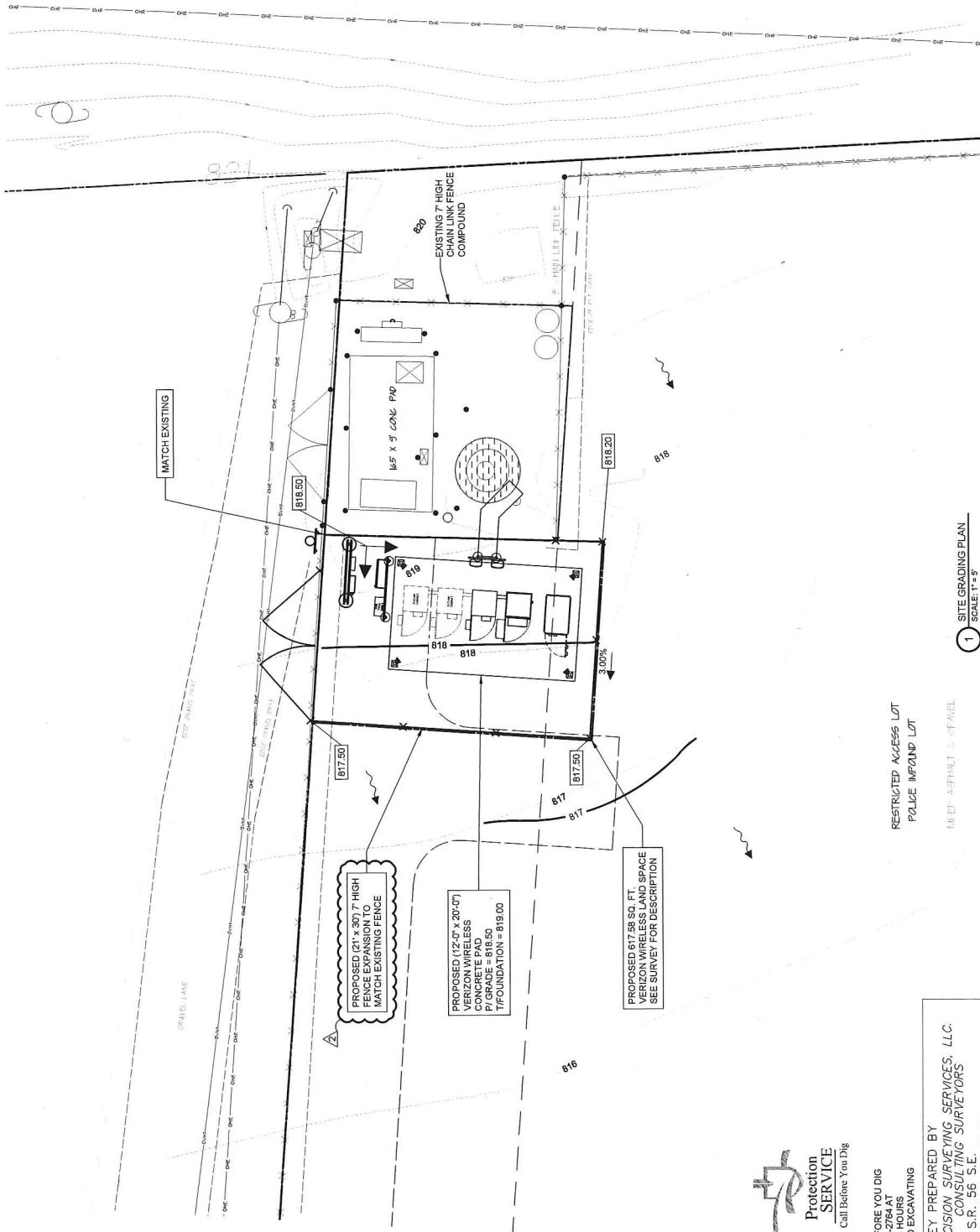
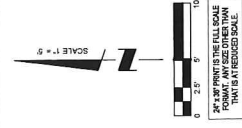
DATE: 7/16/16

PROJECT #: 61033

SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER

C-2



1 SITE GRADING PLAN
SCALE: 1" = 5'

RESTRICTED ACCESS LOT
PAVEMENT INFILL LOT

100% ASPHALT & GRAVEL

OHIO
Utilities
Protection
SERVICE
Call Before You Dig

CALL BEFORE YOU DIG
1-800-362-2764 AT
LEAST 48 HOURS
PRIOR TO EXCAVATING

SURVEY PREPARED BY:
PRECISION SURVEYING SERVICES, LLC.
9055 S. CONSULTING SURVEYORS
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verizon wireless

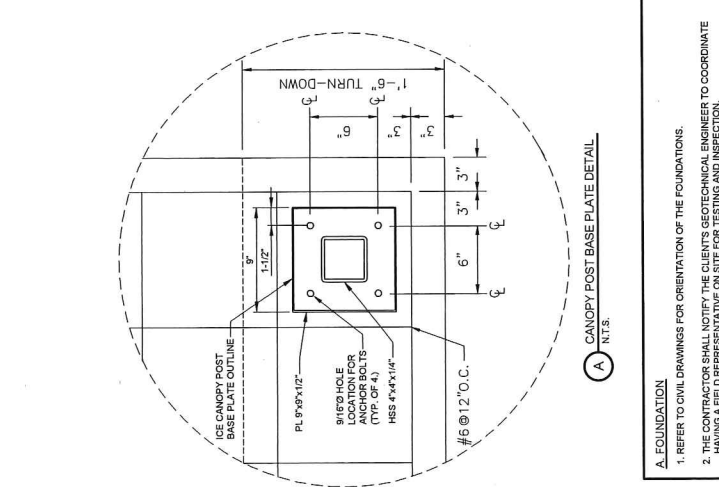
NEW PAR.DBA

TERRA
CONCRETE & STEEL
COLUMBUS, OH 43212
PH: (614) 751-8108

NO.	DATE	DESCRIPTION
1	07/19/16	ISSUED FOR REVIEW
2	07/19/16	ISSUED FOR FINAL
3	07/19/16	RE-DESIGNED FOR FINAL
4	07/19/16	CITY COMMENTS
5	07/19/16	RE-DESIGNED FOR FINAL
6	07/19/16	RE-DESIGNED FOR FINAL
7	07/19/16	RE-DESIGNED FOR FINAL
8	07/19/16	RE-DESIGNED FOR FINAL
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19	07/19/16	RE-DESIGNED FOR FINAL
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46	07/19/16	RE-DESIGNED FOR FINAL
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98	07/19/16	RE-DESIGNED FOR FINAL
99	07/19/16	RE-DESIGNED FOR FINAL
100	07/19/16	RE-DESIGNED FOR FINAL

CLMB-313
LOC #281233SBA OH40225-T
FAIRGROUNDS
NORTHWEST450 E. 18th AVE.
COLUMBUS, OH 43201DRAWN BY: JAV
CHECKED BY: MS
DATE: 7/19/16
PROJECT #: 01-033SHEET TITLE
FOUNDATION PLAN
SLAB
CONCRETE
SHEET NUMBER

C-3

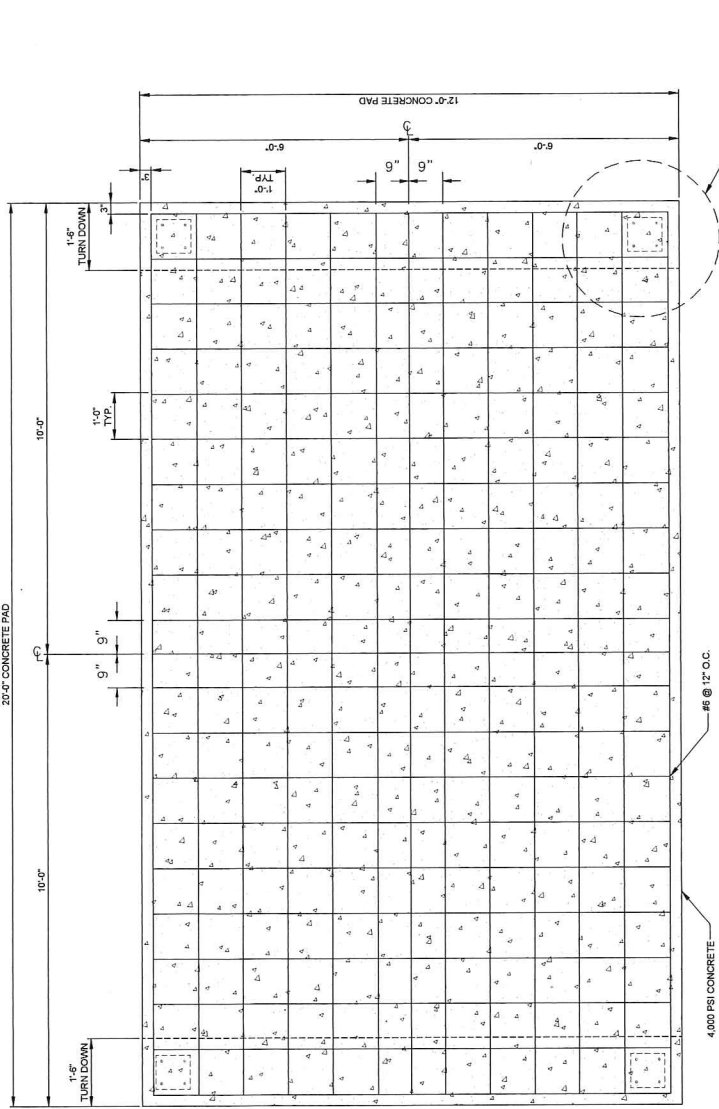


A. FOUNDATION

1. REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATIONS.
2. THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
3. FOOTINGS SHALL BE SET ON UNIFORM SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 3000 PSF.
4. REFER TO GEOTECHNICAL REPORT # T.B.D., DATED T.B.D., BY CTL ENGINEERING, INC.
5. SUBGRADE PREPARATION:
 - A. REMOVE ALL SOIL CONTAINING TOPSOIL, ORGANIC MATERIALS, AND/OR FILL MATERIALS EXCEPT AS INDICATED IN THE FOUNDATION PLAN.
 - B. PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR VEHICLE (20 TON LOAD). CONTRACTOR SHALL UNDERCUT AND REPLACE WITH UNIFORM SOIL OR COMPACTED FILL MATERIAL AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.
 - C. BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION BETWEEN RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
6. FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.
7. ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
8. CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL TOLERANCES AS INDICATED IN THE FOUNDATION PLAN.
9. REPAIRS TO CORNERS OF THE PAD FOUNDATION USING #2 SOLID BARE TINED COPPER GROUND WIRE, MECHANICAL GROUND W/ (3) DIRECT BURY GROUND CLAMPS (NS) GROUND CLAMP H/1 OR EQUAL) TO REBAR AND CADWELD TO PAD GROUND REINFORCEMENT. SEE DETAILS ON SHEET G-1A.

B. CONCRETE NOTES

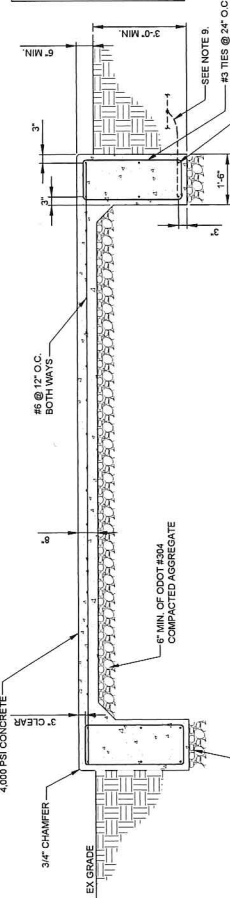
1. ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318-08.
2. EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH A MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED.
3. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A195.



1. EQUIPMENT FOUNDATION PLAN

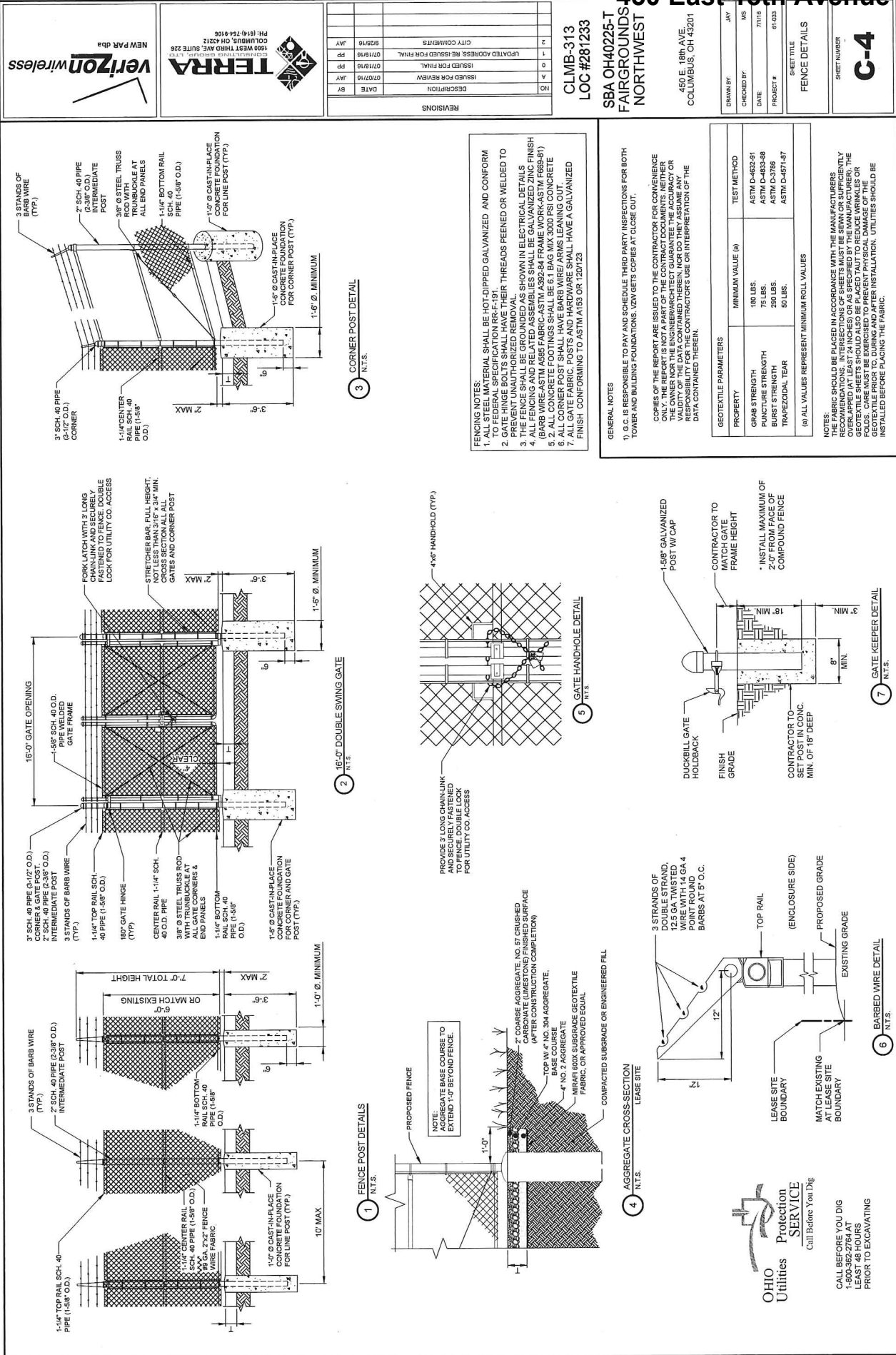
N.T.S.

NOTE:
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND REMOVING SUCH MATERIALS. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS REQUIRE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVED ENGINEERED FILL, FOUNDATION DEPTH AND OVERLAP REQUIREMENTS SHALL BE VERIFIED WITH THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.



2. CONCRETE PAD ELEVATION

N.T.S.



Call Before You Dig
OHIO
Utilities
Protection
SERVICE

CALL BEFORE YOU DIG
1-800-362-2764 AT
LEAST 48 HOURS
PRIOR TO EXCAVATING

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE FOLLOWING CODES, SPECIFICATIONS, STANDARDS, AND REGULATIONS:
- A. LESSEE CONTRACT DOCUMENTS AND THE PROJECT SPECIFICATIONS.
 - B. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 - C. ASHRAE 90.1-2010 BUILDING CODE (BOB), 2011 NATIONAL ELECTRIC CODE (NEC).
 - D. AMERICAN CONCRETE INSTITUTE (ACI).
 - E. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
 - F. ELECTRONIC INDUSTRIES ASSOCIATION STANDARDS (EIA/TIA 222-C-325).
2. THE FACILITY IS AN UNOCCUPIED SPECIALIZED MOBILE RADIO FACILITY.
3. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A GUIDE ONLY. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
4. PRIOR TO THE SUBMISSION OF THE BIDS, THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND FAMILIARIZE HIMSELF WITH THE CONTENTS OF THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
5. THE CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO EXCAVATE AND TO PLACE AND CONSTRUCT THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
6. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS OWN PERSONAL SUPERVISOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
8. THE CONTRACTOR SHALL ACQUIRE SURVEYOR SERVICES TO PROVIDE STAKING AND TO IDENTIFY EASEMENT BOUNDARIES, LEASE BOUNDARIES, TOWER FOUNDATION CENTER BOUNDARIES, SHELTER CORNERS, FENCE BOUNDARIES, AND TO PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS TO THE OWNER AFTER COMPLETION OF THE JOB.
9. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION.
10. KEEP THE CONSTRUCTION SITE CLEAN, HAZARD FREE, AND DISPOSE OF ALL EXCESS MATERIALS AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
11. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS-BUILT DRAWINGS TO THE OWNER AFTER COMPLETION OF THE JOB.
12. MEANS AND METHODS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, THE DESIGN AND PLACEMENT OF FORMS AND SHORING ARE THE RESPONSIBILITY OF THE CONTRACTOR.
13. ALL EXCAVATION AND ERECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STATE DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
14. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
15. ALL DIRT WILL BE DISPOSED OF OFFSITE BY THE CONTRACTOR.
16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, AND TRAFFIC CONTROL DEVICES AND MEASURES TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
17. THE CONTRACTOR BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE ARCHITECT, AND ALL OTHERS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
18. EXISTING UTILITIES, IF ANY, ARE SHOWN AS A GUIDE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
19. ALL ADDENDA, IF ANY, MUST BE ACKNOWLEDGED WITH THE BID.

CONCRETE AND STEEL REINFORCEMENT

1. ALL CONCRETE SHALL BE NORMAL WEIGHT AND SHALL ACHIEVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE. CEMENT SHALL CONFORM TO ASTM C150 TYPE II.
2. MIX AND DELIVER CONCRETE IN ACCORDANCE WITH ASTM C94. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
3. MAXIMUM AGGREGATE SIZE SHALL NOT EXCEED 3/4".
4. SLUMP OF CONCRETE SHALL BE 2" TO 5".
5. ALL REINFORCING STEEL SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A618 GRADE 60.
6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.
7. NO ADMIXTURES SHALL BE USED WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER.
8. ALL CONSTRUCTION AND EXPANSION JOINTS SHALL BE INSTALLED PER THE DRAWINGS.
9. ALL REINFORCING STEEL SHALL BE INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
10. UNLESS NOTED OTHERWISE ALL REINFORCING STEEL SHALL BE LAPPED PER ACI CODE - 318.0A.
11. ALL FORMWORK SHALL BE RIGID, TIGHT, LEVEL, PLUMB AND SUFFICIENTLY SHORED TO RESIST CONSTRUCTION LOAD CONDITIONS.
12. CURING OF CONCRETE SHALL BE PER ACI 308.11, STANDARD SPECIFICATIONS FOR CONCRETE.
13. PLACE CONCRETE IN ACCORDANCE WITH ACI 304.03.
14. COLD WEATHER CONCRETING SHALL BE PER ACI 308.10.
15. WELDING OF REINFORCING STEEL ARE PROHIBITED.
16. PRIOR TO THE PLACEMENT OF THE CONCRETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
17. PROVIDE TEST CYLINDERS AS FOLLOWS:
- A. EQUIPMENT SLAB AND FOUNDATION:
 - 1 CYLINDER AT 7 DAYS
 - 1 CYLINDER AT 28 DAYS
 - 1 CYLINDER AT 56 DAYS
 - 1 CYLINDER AT 84 DAYS
18. ALL REBAR PLACES SHALL BE CLASS 'B'; NO WELDING WILL BE ALLOWED

EXCAVATIONS, BACKFILL AND COMPACTION

1. THE OWNER HAS CAUSED A GEOTECHNICAL EXPLORATION TO BE PERFORMED AT THE SITE.
2. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTENTS OF THE CONTRACT DOCUMENTS, SPECIFICATIONS, AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
3. THE CONTRACTOR SHALL EXCAVATE 8" BELOW GRADE AND SPRAY WITH WETTED CONTROL AND PLACE GEOTEXTILE FABRIC CLASS 2 AGGREGATE BASE AND CLEAN ROCK AROUND ENTIRE EXCAVATION AREA.
4. ALL FILL MATERIALS REQUIRING COMPACTION SHALL BE PLACED IN LIFTS NOT EXCEEDING 6" VERTICAL AND NOT EXCEEDING 12" HORIZONTAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
5. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING FOR THE EXCAVATION WORK IN ACCORDANCE WITH THE APPLICABLE SAFETY ORDINANCES.
6. LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT.
7. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
8. CONTRACTOR IS RESPONSIBLE FOR ALL Dewatering costs associated with this project. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Columbus and the State of Ohio. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Columbus and the State of Ohio.

EARTHWORK, GRADING, AND PAVING

1. ALL PROPOSED ADJACENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
2. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MIN. 95 PERCENT OF MODIFIED PROCTOR DENSITY.
3. THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF COLUMBUS AND THE STATE OF OHIO.
4. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL RELATED UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
6. UPON COMPLETION OF THE PAVING, THE CONTRACTOR WILL ENSURE THAT POSITIVE DRAINAGE EXISTS ADJACENT TO ALL CONSTRUCTED IMPROVEMENTS.
7. THE PROOF-ROLL SHALL BE OBSERVED BY A SOILS ENGINEER OR OTHER QUALIFIED PERSONNEL.
8. THE CONTRACTOR SHALL MEET THE LATEST EDITION OF THE "MANUAL OF PRACTICE FOR THE DESIGN AND CONSTRUCTION OF HIGHWAY STRUCTURES" AND MATERIAL SPECIFICATIONS' MANUAL.

GENERAL STEEL NOTES

1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISI SPECIFICATION FOR FABRICATING, ERECTION AND EJECTION OF STRUCTURAL STEEL FOR BUILDINGS, LATEST EDITION, AND THE AISI CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, LATEST EDITION, EXCEPT AS MODIFIED BELOW OR IN THE SPECIFICATIONS.
2. ALL STRUCTURAL STEEL SHALL BE HOT DIPPED GALVANIZED AND SHALL CONFORM TO ASTM A123, UNLESS NOTED OTHERWISE.
3. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE" LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX, ALL DAMAGE TO GALV. SHALL BE REPAIRED.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS AND EXISTING CONDITIONS.
5. IF CONDITIONS VARY FROM THOSE ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
6. THE CONTRACTOR SHALL OBSERVE ALL SAFETY RULES DICTATED BY CODE AND GOOD PRACTICE.
7. SHOULD UNFORESEEN CONDITIONS OR OTHER CAUSE NECESSITATE THE CONSTRUCTION DETAILS TO BE MODIFIED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PERFORMING THESE CHANGES.
8. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING:
- A. WIDE FLANGE SECTIONS: ASTM A992, GRADE 50.
 - B. CHANNEL SECTIONS: ASTM A992, GRADE 50.
 - C. PIPE: ASTM A53 TYPE E GRADE B (33 KSI YIELD)
 - D. HOLLOW STRUCTURAL SECTIONS (HSS): ASTM 500 GRADE B
 - E. BOLTS: ASTM A325

SOIL EROSION AND SEDIMENT CONTROL

1. REASONABLE CARE MUST BE TAKEN TO MINIMIZE SOIL EROSION. REFER TO PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND CONSTRUCTION SERVICES, PREPARED BY THE U.S. SOIL AND CONSERVATION SERVICE.
2. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.
3. STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE PERIMETER. STOCKPILES SHALL BE COVERED WITH A GEOTEXTILE OR VEGETATION TO CONTROL BOTH WATER AND WIND EROSION.
4. STRAW BALES FIRMLY ANCHORED SHALL BE PLACED AROUND ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS TO RECEIVE SILT RUNOFF DURING THE COURSE OF CONSTRUCTION.
5. SILT FENCE WILL BE CONSTRUCTED ALONG THE WEST PROPERTY LINE ACROSS THE ENTIRE CONSTRUCTION AREA.
6. HAVE PROTECTIVE SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THE PROJECT.
7. REPAIR SOIL EROSION CONTROL DEVICES WITH SOD AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
8. ALL ADJACENT ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
9. ADDITIONAL SOIL EROSION CONTROL MEASURES SHALL BE UNDERTAKEN AS NECESSARY TO PREVENT SOIL EROSION. THE ENGINEERING INSPECTOR DURING THE COURSE OF CONSTRUCTION.



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REVIEW
2	UPDATED FOR FINAL
3	CITY COMMENTS
4	ISSUED FOR FINAL
5	ISSUED FOR FINAL
6	ISSUED FOR FINAL
7	ISSUED FOR FINAL
8	ISSUED FOR FINAL
9	ISSUED FOR FINAL
10	ISSUED FOR FINAL

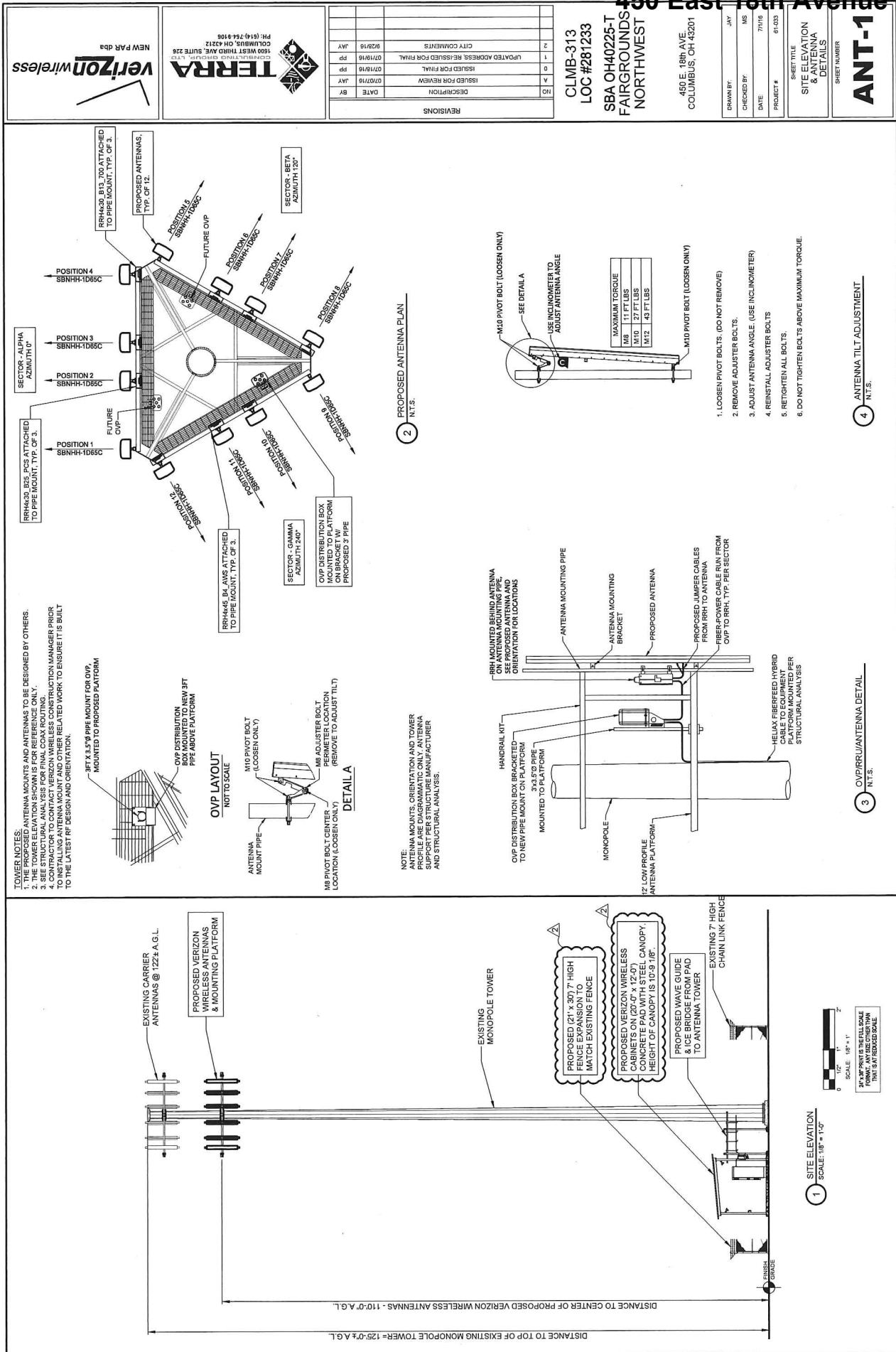
CLMB-313
LOC #281233
SBA OH40225-T
FAIRGROUNDS
NORTHWEST

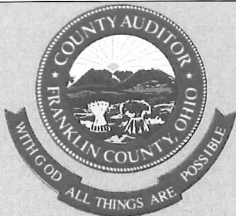
450 E. 18th AVE.
COLUMBUS, OH 43201

DRAWN BY	JAY
CHECKED BY	MS
DATE	7/1/16
PROJECT #	91-033

SHEET TITLE
GENERAL CIVIL NOTES

SHEET NUMBER
C-5





CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: S

DATE: 10/6/16



Disclaimer

Scale = 100



This map is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this map are notified that the public primary information sources should be consulted for verification of the information contained on this map. The county and the mapping companies assume no legal responsibilities for the information contained on this map. Please notify the Franklin County GIS Division of any discrepancies.



City of Columbus Address Plat

BZA16-138
450 East 18th Avenue



CERTIFIED HOUSE NUMBERS

The House Numbers Contained on This Form
are Herein Certified for Securing
of Building & Utility Permits

Parcel ID: 010-013969

Project Name: VERIZON WIRELESS ANTENNA

House Number: 450

Street Name: E 18TH AVE

Lot Number: N/A

Subdivision: INDIANOLA SUMMIT ADD

Work Done: NEW

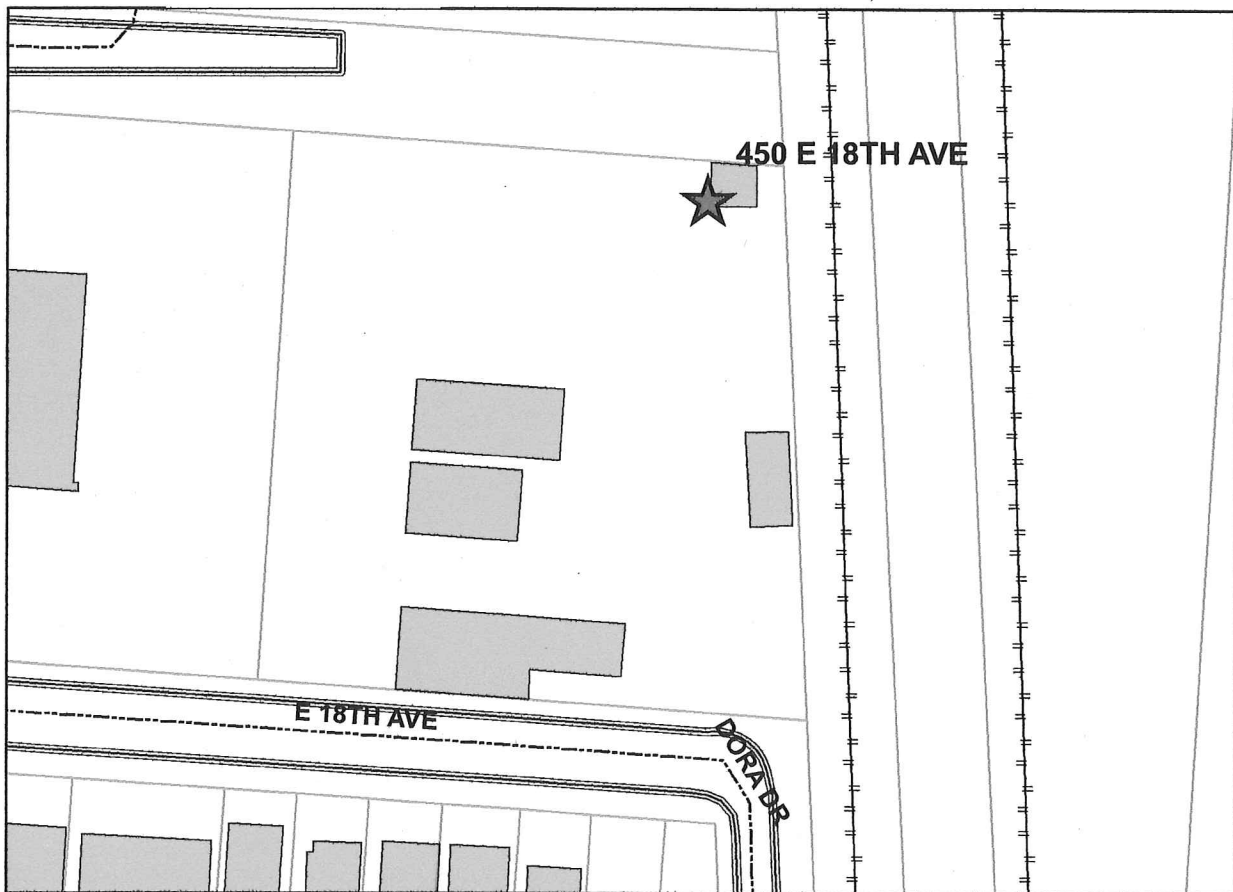
Complex: N/A

Owner: TALBOTT RICHARD A TR

Requested By: SBA NETWORK SERVICE (RANDY HARTMEYER)

Printed By: *Rodney Amarian*

Date: 7/19/2016



FRANK D. WILLIAMS, ADMINISTRATOR
DIVISION OF INFRASTRUCTURE MANAGEMENT
COLUMBUS, OHIO

SCALE: 1 inch = 100 feet

GIS FILE NUMBER: 9016755

October 7, 2016

James R. Hartmeyer
SBA Network Services
301 Main Street, Suite A
Zanesville, OH 43701

RE: Tower Site Colocation

Mr. Hartmeyer,

Verizon Wireless is planning to co-locate on the existing SBA owned tower situated on my property at 432 E. 18th Ave. (parcel #010-013969). I authorize you, as an employee of SBA Network Services and an Agent to Verizon Wireless, to make application for and to take the necessary actions to obtain the zoning approvals, variances and building permits required for this project.

Thank you.

A handwritten signature in cursive script, reading "Carol Talbott", written over a horizontal line.

Carol Talbott
For
Richard A. Talbott, Trustee (deceased)
442 E. Northwood Ave.
Columbus, OH 43201

Board of Zoning Adjustment Application

757 Carolyn Avenue, Columbus, Ohio 43224
Phone: 614-645-7433 • www.bzs.columbus.gov

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION # _____

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) James R. Hartmeyer
of (COMPLETE ADDRESS) SBA Network Services, 301 Main St., Suite A, Zanesville, OH 43701
deposes and states that (he/she) is the APPLICANT, AGENT, OR DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application and their mailing addresses:

NAME	COMPLETE MAILING ADDRESS
Verizon Wireless	7575 Commerce Court, Lewis Center, OH 43035
SBA Communications	8051 Congress Ave., Boca Raton, FL 33487-1307
Richard A. Talbott, Trustee	442 E. Northwood Ave., Columbus, OH 43201

SIGNATURE OF AFFIANT

Sworn to before me and signed in my presence this 11 day of October, in the year 2016

Annie M. White

SIGNATURE OF NOTARY PUBLIC

4-15-20 Notary Seal Here
My Commission Expires



ANNIE M. WHITE
Notary Public, State of Ohio
My Commission Expires
4-15-20

PLEASE NOTE: Incomplete information will result in the rejection of this submittal.
Applications must be submitted by appointment. Call 614-645-4522 to schedule.
Please make checks payable to the Columbus City Treasurer