

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
APRIL 13, 2016**

1. **APPLICATION:** **Z16-025**
 Location: **831 HILLIARD & ROME ROAD (43228)**, being 35.9± acres on the west side of Hilliard & Rome Road, 450± feet south of Fisher Road (240-006855 & 240-002540).

 Existing Zoning: R, Rural District (Annexation Pending).
 Request: CPD, Commercial Planned Development District.
 Proposed Use: Home improvement store.
 Applicant(s): Thomas O'Neil; 5151 Menard Drive; Eau Claire, WI 54703.
 Property Owner(s): LJKJ Rome Hilliard, LLC; c/o Julie Hoffman (HER Realtors), Agent; 4087 Trueman Blvd; Hilliard, OH 43026.

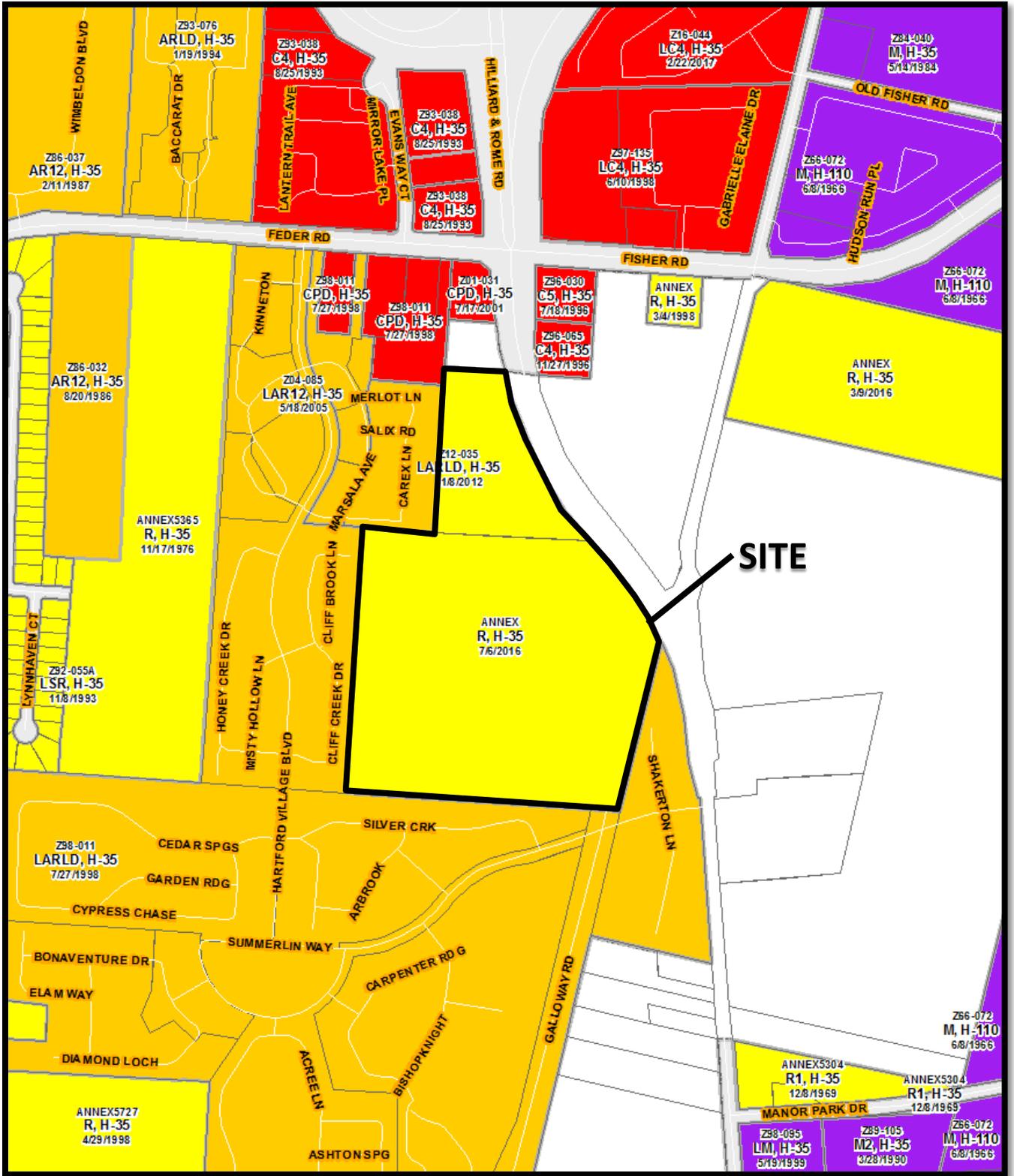
 Planner: Michael Maret; 614-645-2749; mjmaret@columbus.gov

BACKGROUND:

- The 35.9± acre site consists of a large undeveloped tract of land, comprised of two parcels, recently annexed from Prairie Township, and now zoned R, Rural District. The applicant is requesting the CPD, Commercial Planned Development District to develop this vacant site with retail and commercial uses in two separate subareas. A building materials supply dealer is proposed within Subarea I, with C-4 district uses also permitted. Within Subarea II, C-4 & C-5 district uses would be permitted for unspecified retail or commercial uses.
- The site is bordered to the north, south, and west by apartments in the L-AR-12, and L-ARLD, Limited Apartment Residential districts. Also to the north are commercial businesses in the CPD, Commercial Planned Development District. To the west is agricultural land in Prairie Township's R, Rural District.
- The site is located within the boundaries of the *Trabue / Roberts Area Plan* (2011) which recommends "community mixed uses" for this location.
- The CPD text includes use, setback, access, frontage, screening, landscaping, building design, and site plan commitments. Variances to reduce minimum parking, screening, landscaping, building setback, and maneuvering requirements are also included within the text.
- The *Columbus Thoroughfare Plan* identifies Hilliard & Rome Road as a 4-2D arterial requiring a minimum of 60 feet of right-of-way from centerline.

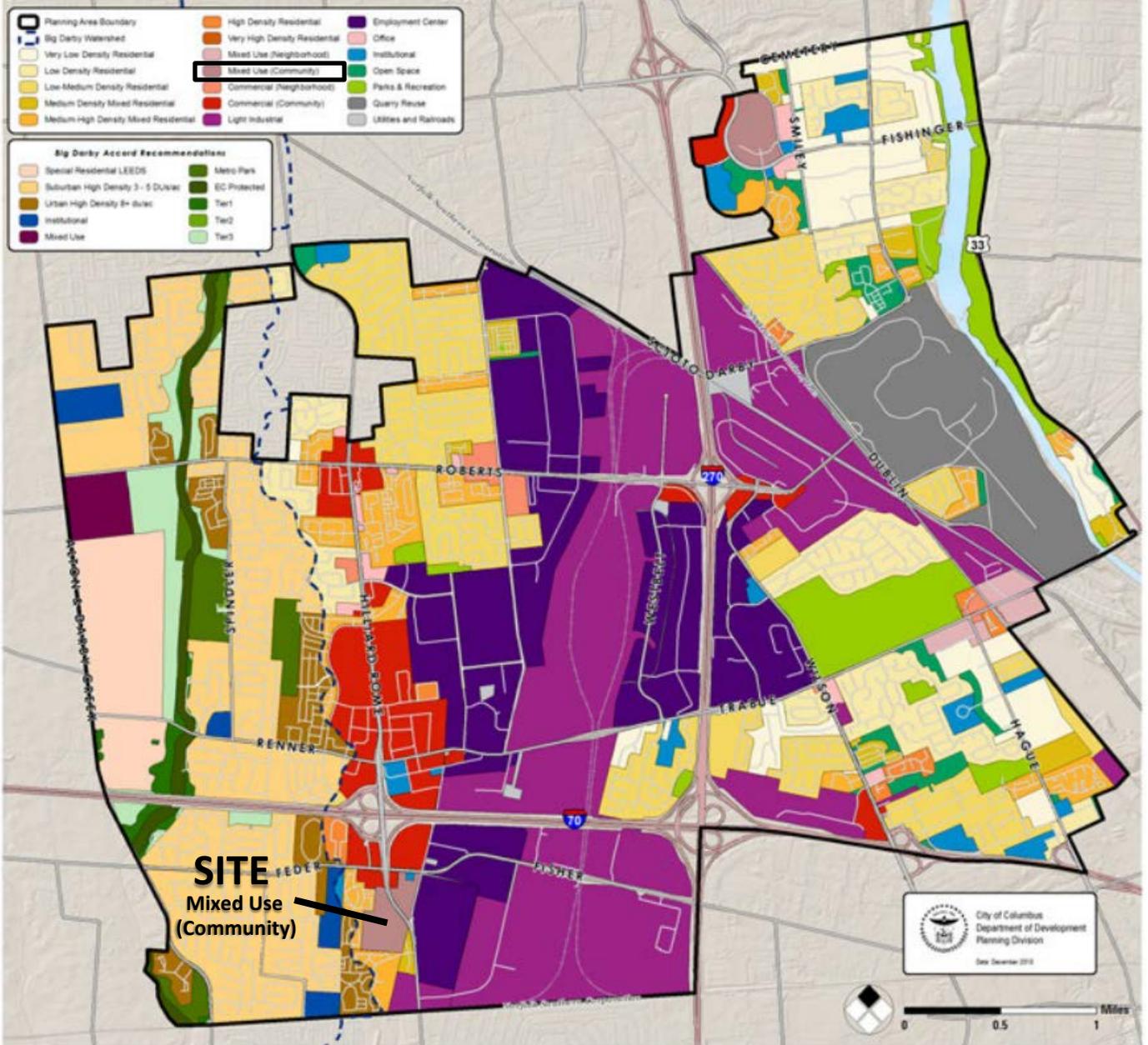
CITY DEPARTMENTS' RECOMMENDATION: Approval

The requested CPD, Commercial Planned Development District would permit the development of home improvement store with outparcel development on the site. Staff considers this development compatible with the density and development standards of adjacent commercial and apartment developments.



Z16-025
 831 Hilliard & Rome Road
 Approximately 35.9 acres
 R (Annexation Pending) to CPD

Trabue/Roberts Area Plan Future Land Use Plan



Z16-025
831 Hilliard & Rome Road
Approximately 35.9 acres
R (Annexation Pending) to CPD



Z16-025
831 Hilliard & Rome Road
Approximately 35.9 acres
R (Annexation Pending) to CPD

COMMERCIAL PLANNED DEVELOPMENT TEXT

PROPOSED DISTRICTS: Commercial Planned Development (CPD)
PROPERTY ADDRESS: 831 Hilliard & Rome Road
OWNER: LJKJ Rome Hilliard LLC; Ruth Ann Hoffman; Roy Lee Hoffman
APPLICANT: Menard, Inc., a Wisconsin corporation
DATE OF TEXT: 04/29/16
APPLICATION NUMBER: Z16-025

INTRODUCTION

The subject area is being divided into subareas to reflect zoning classifications and standards, which are thought to be appropriate for each subarea. The development of Subarea I is planned as a Menards home improvement and building materials supply dealer, with said development tentatively scheduled for construction during the 2018 construction season. The development of parts or all of Subarea II is planned as ancillary commercial retail development, with said development tentatively scheduled for construction during the 2019 construction season and later.

Any subarea may be the subject of a rezoning application filed with the City of Columbus and nothing contained herein shall prevent the current or future owners of the property from filing and processing a rezoning application on any subarea.

The applicable development requirements contained in this text shall not apply to the subarea until the time of development of that subarea.

SUBAREA I – 20.51+/- ACRES

1. **PERMITTED USES:** The following uses shall be permitted within Subarea I: Those uses listed in Chapter 3356 (C-4, Commercial District).

2. **DEVELOPMENT STANDARDS:** Except as otherwise noted herein, the applicable development standards of Chapter 3356, C-4, Commercial District shall apply to Subarea I.

A. Density, Height, Lot and/or Setback commitments.

1. Setback from Hilliard & Rome Road shall be two hundred (200) feet for all parking, loading and maneuvering areas and five hundred (500) feet for buildings, unless and until such time as Hilliard & Rome Road is relocated in accordance with the City of Columbus Transportation Plan, at which time the setbacks shall be reduced to correspond to the road relocation.

2. Setback from residential properties shall be twenty-five (25) feet for parking, loading and maneuvering areas and twenty-five (25) feet for buildings. That being said, the property line for the lot comprising Subarea I and the lots comprising Subarea II may straddle the internal, private frontage drive.

B. Access, Loading, Parking and/or other Traffic related commitments.

1. Access to Hilliard & Rome Road shall be by one right-in / right-out turning movement intersection to the north and one full-turning movement signalized intersection to the south, subject to the approval of the Franklin County Engineer Office.

2. A bike rack will be installed adjacent to the building in Subarea I.

3. Upon development of Subarea I, the developer shall make the following roadway improvements:

- a. Install a traffic signal at the proposed Menards store access point approximately 1200' south of the Hilliard & Rome Road and Fisher Road / Feder Road Intersection.
 - Due to the signal being at a private drive, Menard, Inc. understands it will be required to sign an agreement with Franklin County for the future maintenance costs and electrical costs for this signal.
- b. Construct a 439' northbound left turn lane at the proposed Menards store signal.
- c. Construct an additional southbound through lane on Hilliard & Rome Road beginning at the current southbound merge point (south of Fisher Road / Feder Road). This additional southbound thru lane will end at the southbound right turn lane at Summerlin Way. Final design will be coordinated with the City of Columbus Fisher Road / Feder Road Intersection Improvement Project to provide a fluid continuation of the 2 southbound through lanes.
- d. Construct a two-way left turn lane from the City of Columbus Fisher Road / Feder Road Intersection Improvement Project to Summerlin Way, where it will terminate into the existing southbound left turn lane at Summerlin Way.

C. Buffering, Landscaping, Open space and/or Screening commitments.

1. The lumberyard shall be screened with a treated lumber pallet racking structure surrounding the lumberyard area.
2. The developer shall install a mixture of evergreen and deciduous trees along the length of the treated lumber pallet racking located to the west. These trees shall be planted in a staggered configuration in order to provide a series of visual interruptions along the length of the treated lumber pallet racking. Trees will be planted at a minimum density of 1 tree every 30'.
3. A 14' tall board on board fence with a planting strip 10' in width will be provided in the setback adjacent to the residential properties, excepting the rear of the accessory structure located along the west property line which shall constitute the buffering "fence" in that area. The tree buffer will be provided between the fence and the adjacent residential properties. Trees will be planted at a minimum density of 1 tree every 30'.

D. Building Design / Exterior Façade Commitments.

1. The building constructed on Subarea I shall be designed in conformance with the Store Elevation Plan.

E. Dumpsters, Lighting, Outdoor display areas and/or other environmental commitments.

1. Buildings and landscaping may be up lit or down lit provided that such lighting does not spill over into the public right of way or the residential property to the west or south. Pedestrian friendly decorative lighting shall be permitted on the wrought iron fence adjacent to the garden center located on the northwest side of the Menards building.
2. Outdoor display areas shall include a propane tank display and sales area in front of the building, (provided however that four (4) feet of sidewalk shall remain available to pedestrians), and a propane fueling station. The propane fueling station shall lie within the parking field.
3. All light poles shall be black in color (above any base) and the poles shall be constructed of metal.

F. Graphics and Signage commitments.

1. All signage and graphics shall conform to the Columbus City Code as it applies to the C-4, Commercial District, or a Graphics Plan shall be submitted for approval by the Columbus Graphics Commission.

G. Miscellaneous Commitments.

1. The Subject Site shall be developed in accordance with the submitted site plan. The site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time of development and engineering plans are completed. Any slight adjustment to the plan shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.

2. The Building shall be developed in accordance with the submitted building elevation plan. The building elevations may be slightly adjusted to reflect engineering, topographical or other site data developed at the time of development and engineering plans are completed. Any slight adjustment to the elevations shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.

SUBAREA II – 15.38+/- ACRES

1. **PERMITTED USES:** The following uses shall be permitted within Subarea II: Those uses listed in Chapter 3356 (C-4, Commercial District) and in Chapter 3357 (C-5, commercial district).

2. **DEVELOPMENT STANDARDS:** Except as otherwise noted herein, the applicable development standards of Chapter 3356, C-4, Commercial District shall apply to Subarea II.

A. Density, Height, Lot and/or Setback commitments.

1. Setback from Hilliard & Rome Road shall be ten (10) feet for all parking, loading and maneuvering areas and twenty five (25) feet for buildings.

2. Setback from residential properties shall be twenty-five (25) feet for parking, loading, and maneuvering lanes and twenty-five (25) feet for buildings. Setback from property lines other than the west and south property line of Subarea II shall be ten (10) feet for parking, loading, and maneuvering lanes and twenty-five (25) feet for buildings. That being said, the property line for the lot comprising Subarea I and the lots comprising Subarea II may straddle the internal, private frontage drive.

B. Access, Loading, Parking and/or other Traffic related commitments.

1. Access to Hilliard & Rome Road shall be by one right-in / right-out turning movement intersection to the north and one full-turning movement signalized intersection to the south, subject to the approval of the Franklin County Engineer Office.

2. Parking and stacking are not permitted between the principle buildings in Subarea II and a street right-of-way line. Circulation aisles are permitted between the principle buildings and street right-of-way line. Subarea II development plans should include parking lot screening as listed in Chapter 3372.807 to screen parking.

C. Buffering, Landscaping, Open space and/or Screening commitments.

1. A street tree row shall be established along Hilliard & Rome Road at such time as each individual lot adjacent thereto develops. Said street tree row shall contain trees planted at a maximum of forty (40) feet on center. Such trees shall be a minimum of two and one half (2½) inches in caliper. Said street trees shall be located outside of the right-of-way for Hilliard & Rome Road.

2. 6' screening that is a minimum of 90% opaque shall be provided in the setback adjacent to the residential properties. In the event a fence or wall is utilized to meet the screening requirement, a planting strip 10' in width will be provided between the fence and the adjacent residential property lines. Trees will be planted at a minimum density of 1 tree every 30'.

D. Building Design / Exterior Façade Commitments.

1. Not applicable.

E. Dumpsters, Lighting, Outdoor display areas and/or other environmental commitments.

1. Buildings and landscaping may be up lit or down lit provided that such lighting does not spill over into the public right of way or the residential property to the west or south.

2. All light poles shall be black in color (above any base) and the poles shall be constructed of metal.

F. Graphics and Signage commitments.

1. All signage and graphics shall conform to the Columbus City Code as it applies to the C-4, Commercial District, or a Graphics Plan shall be submitted for approval by the Columbus Graphics Commission.

G. Miscellaneous Commitments.

1. The Subject Site shall be developed in accordance with the submitted site plan. The site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time of development and engineering plans are completed. Any slight adjustment to the plan shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.

CPD CRITERIA WHICH APPLIES TO BOTH SUBAREA I AND II

1. NATURAL ENVIRONMENT:

The site is undeveloped.

2. EXISTING LAND USES:

To the north along Hilliard & Rome Road, commercial uses; to the south and west multi-family development; to the east across Hilliard & Rome Road agricultural uses.

3. TRANSPORTATION AND CIRCULATION:

N/A

4. VISUAL FORM OF THE DEVELOPMENT:

The site shall be developed in accordance with the zoning text.

5. VIEW AND VISIBILITY:

In the development of the subject property and the location of the buildings and access points consideration has been given to the visibility and safety of the motorists and pedestrians.

6. PROPOSED DEVELOPMENT:

Commercial as permitted under this text.

7. EMISSIONS:

No adverse affects from emissions shall result from the proposed development.

8. BEHAVIOR PATTERNS:

The proposed development would serve the growing Columbus residential population as well as the motorists who use Hilliard & Rome Road and I-70 to get to their place of employment.

VARIANCES REQUESTED WITH RESPECT TO EITHER SUBAREA I OR II

- A. To reduce the minimum amount of parking otherwise required by code to 400 parking spaces within Subarea I.
- B. To allow the 14' fence that is setback 25' from the adjacent residential property lines to constitute the screening buffer otherwise required no further than 20' from the property line within Subarea I.
- C. To allow the minimum amount of storefront and parking lot shade trees within Subarea I to be comprised of both shade trees and ornamental trees.
- D. To reduce the building setback on Hilliard & Rome Road from 80 to 25 feet within Subarea II.
- E. To allow maneuvering areas to be divided by parcel lines if lot splits occur between subareas or within subareas.

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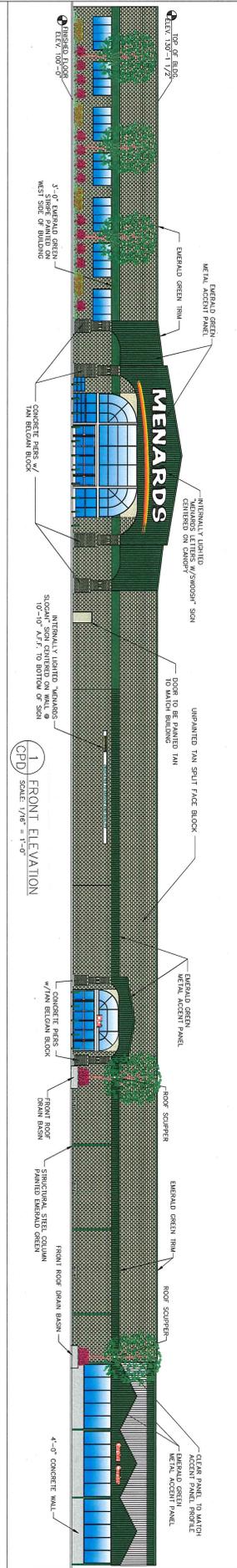
The undersigned, being the applicant in the subject application, does hereby agree on behalf of the owner and the applicant, singularly and collectively for themselves, their successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions or commitments shall in any manner act to negate, nullify, alter or modify any more restrictive provision of the Columbus City Code.

Application Number: Z16-025
Applicant: Menard, Inc., a Wisconsin Corporation

By: _____

Printed Name: Thomas W. O'Neil

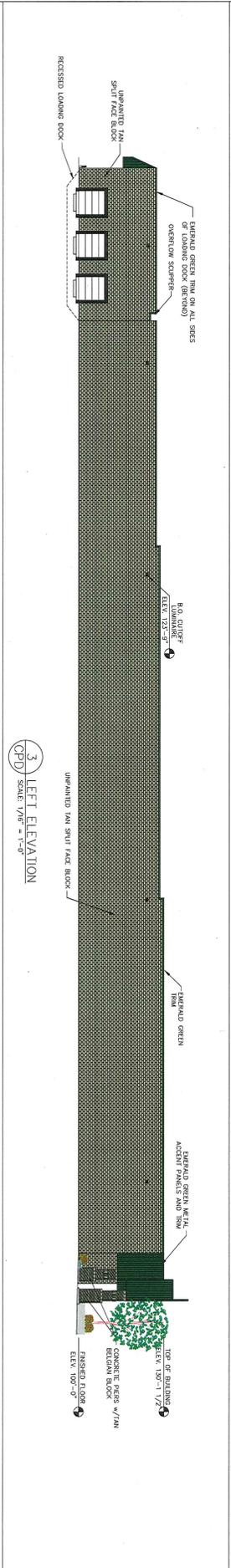
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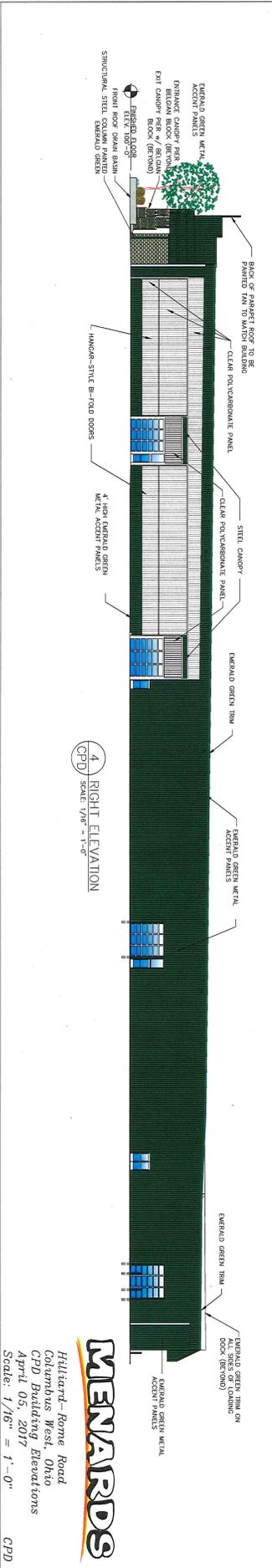
1 FRONT ELEVATION
CPD SCALE 1/8" = 1'-0"



2 REAR ELEVATION
CPD SCALE 1/8" = 1'-0"



3 LEFT ELEVATION
CPD SCALE 1/8" = 1'-0"



4 RIGHT ELEVATION
CPD SCALE 1/8" = 1'-0"



Hilliard-Rome Road
Columbus West, Ohio
CPD Building Elevations
April 05, 2017
Scale: 1/16" = 1'-0"

CPD