

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
APRIL 13, 2016**

- 3. APPLICATION: Z16-090**
Location: **6091 CLEVELAND AVENUE (43231)**, being 4.28± acres located on the west side of Cleveland Avenue, 133± feet north of Deewood Drive (010-218942 and 010-104546; Northland Community Council).
Existing Zoning: CPD, Commercial Planned Development District.
Request: L-C-4, Limited Commercial District.
Proposed Use: Monopole telecommunications antenna and limited commercial development.
Applicant(s): Vertical Bridge Development II, LLC; c/o Mike Daubenmire, Agent; Fortune Wireless, Inc.; 6402 Corporate Drive; Indianapolis, IN 46278.
Property Owner(s): Marjorie L. Sebring; 3679 Santiago Drive; Westerville, OH 43081.
Planner: Michael Maret; 614-645-2749; mjmare@columbus.gov

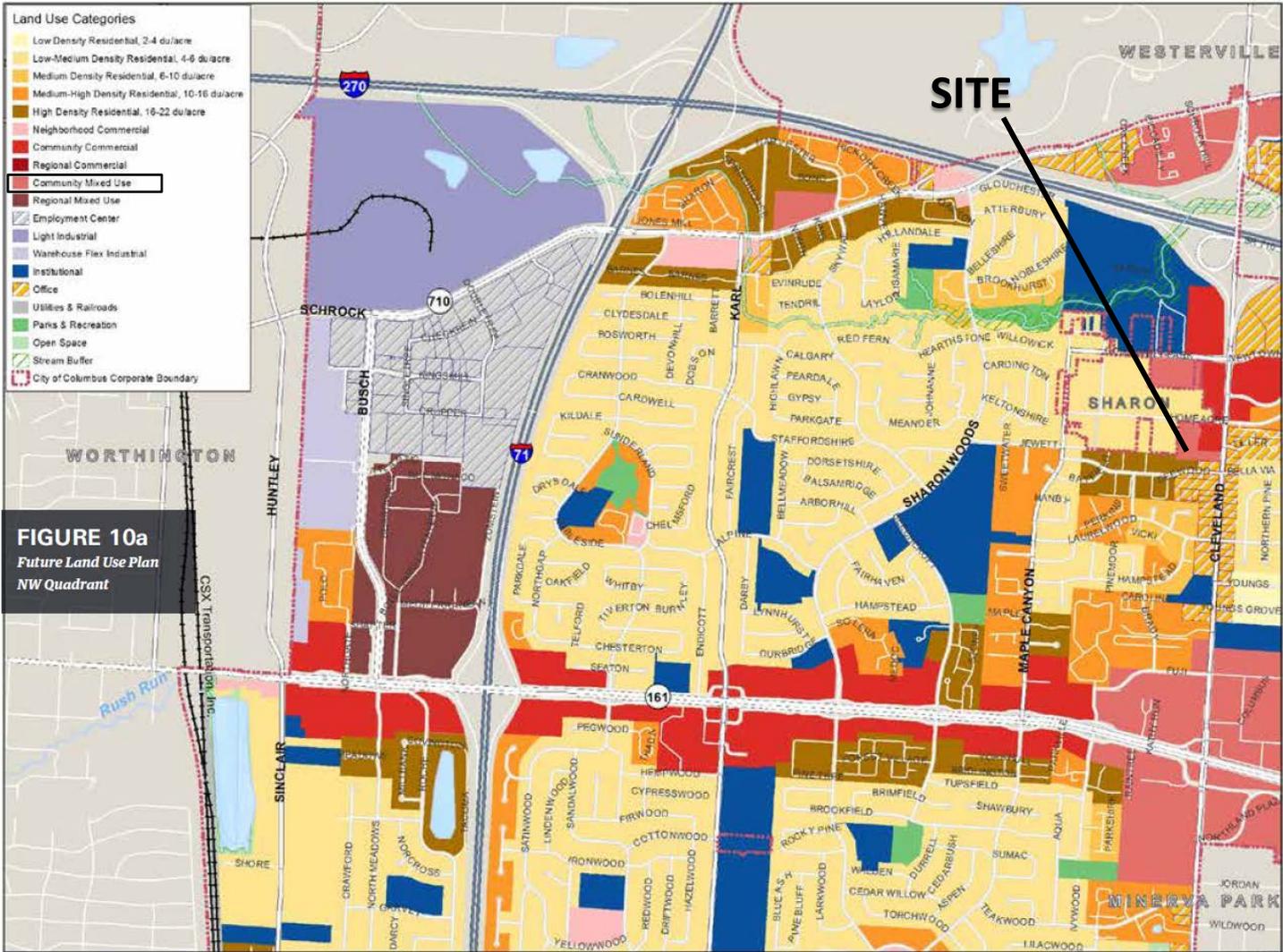
BACKGROUND:

- The 4.28± acre site consists of two parcels developed with a non-conforming bar/restaurant known as the “Garden Inn.” It is a portion of a larger CPD, Commercial Planned Development District, Z94-048, now defunct due to portions being zoned out of it and multiple ownerships. The existing CPD district permitted C-2, Commercial District uses as well as a restaurant and machine sales/servicing on designated portions of the site. The applicant proposes a monopole telecommunications antenna on a portion of the site and to permit limited C-4, Commercial District uses on the rest of the site.
- The site is bordered to the north by undeveloped properties and commercial developments in the C-4, Commercial, L-C-4, Limited Commercial, and CPD, Commercial Planned Development districts. To the south are apartments and offices in the ARO, Apartment Office District. To the east is an office park in the L-C-2, Limited Commercial District and a residence in the SR, Suburban Residential District. To the west are single-unit dwellings in Sharon Township.
- The site is located within the boundaries of the *Northland I Area Plan* (2014), which recommends “Community Mixed Use” at this site.
- The site is located within the boundaries of the Northland Community Council, whose recommendation is for approval.
- The limitation text includes permitted uses, height, access, screening, buffering, landscaping, and site plan commitments. The “Garden Inn” will not be affected by the exclusion of bar, cabaret, and night club uses as it will remain on the site.

- The *Columbus Thoroughfare Plan* identifies Cleveland Avenue as a 6-2 arterial requiring a minimum of 60 feet of right-of-way from centerline.

CITY DEPARTMENTS' RECOMMENDATION: Approval

The requested L-C-4, Limited Commercial District would permit a monopole telecommunications antenna and limited commercial development on the site, while allowing the non-conforming "Garden Inn" to remain. Staff is supportive of the mix of uses proposed, which are consistent with the *Northland I Area Plan's* recommendation for Community Mixed Use along with the buffering and screening committed to within the text and site plan.



Z16-090
 6091 Cleveland Avenue
 Approximately 4.28 acres
 CPD to L-C-4



Z16-090
6091 Cleveland Avenue
Approximately 4.28 acres
CPD to L-C-4

LIMITATION TEXT

Proposed Zoning District: L-C-4 (Limited Commercial District)

Property Address: 6091 Cleveland Avenue

Property Owner: Marjorie L. Sebring

Applicant: Vertical Bridge Development II, LLC

Date of Text: March 21, 2017

Application No: Z16-090

1. Introduction: Applicant Vertical Bridge seeks to rezone the total 4.28-acre parcels located at 6091 Cleveland Avenue for those uses permitted under Chapter 3356 C-4 (Commercial), of the Columbus City Code. The Limitation Text below provides applicable limitations for the parcels located at 6091 Cleveland Avenue. The purpose of this rezoning and development is the construction of a wireless communications facility, as permitted in a C-4 District, and meeting a public necessity.

The development of the parcels fall under the development standards of the Northland Plan (Area 13) that recommends upgrading development quality through limited zoning and appropriate development standards.

2. Permitted Uses: Those uses permitted by Chapter 3356 C-4 (Commercial), of the Columbus City Code, excluding the following uses:

- Bars, Cabarets, and Night Clubs;
- Automotive accessories, parts, and tire sales;
- Pawn Brokers;
- Motor bus terminals;
- Check cashing and loan businesses
- Missions/temporary shelters;
- Parking lots and garages allowed in Chapter 3356.05 of the Columbus City Code;
- Hotels and motels, except for those hotels greater than one story and with three or fewer main access points for hotel guests;
- Extended stay hotels;
- Limousine and taxi services;
- Motorcycle and boat dealers;
- Truck, utility trailer, and recreational vehicle sales, rental and leasing;
- Automotive maintenance and repair, except as associated with an automotive sales operation;
- Employment Services and Placement Agencies;
- Blood and Organ Banks; and
- Halfway Houses

In the case of automotive sales, leasing, and rental, used automobiles may be sold only in connection with new automobiles.

In the case of Bars, Cabarets, Night Clubs, the exclusion would not affect the existing bar known as the Garden Inn currently operating on the parcel at 6091 Cleveland Avenue as a non-conforming use.

3. Development Standards: Unless otherwise indicated, the applicable development standards are contained in Chapter 3356 C-4 (Commercial), of the Columbus City Code.

A. Density, Height, Lot, and/or Setback Commitments: Standards are per the underlying zoning classification contained in Chapter 3356 C-4 (commercial), of the Columbus City Code per the limitations set forth below:

- i. For wireless communication facilities, the maximum height shall be 65 feet.
- ii. If redevelopment would occur on this site that includes the demolition of the building, a right-of-way of 60' from the centerline along the Cleveland Avenue frontage shall be dedicated to the City of Columbus as required per C.C.C. 4309.17.

B. Access, Loading, Parking and/or other Traffic related commitments.

- i. Primary access to the property will be from Cleveland Avenue. If redevelopment of the property were to occur, the location and configuration of the access point to Cleveland Avenue will need to be modified.

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

- i. The Northern property line shall have a twenty-five foot setback, and the existing vegetation shall be preserved within said twenty-five foot setback area.
- ii. The Western property line shall have a fifty foot setback, and the existing vegetation shall be preserved within said fifty foot setback area.
- iii. Landscaping in the frontage of Cleveland Avenue with three foot tall hedges shall be required, and as shown on the site plan.

D. Building Design and/or Interior-Exterior Treatment Commitments.

N/A

E. Lighting, Outdoor Display Area, and/or Environmental Commitments.

N/A

F. Graphics and Signage Commitments.

- i. All graphics shall conform to Article XV of the Columbus City Code, as it applies to the C-4 Commercial District. Any variance to the applicable requirements of the C-4 district shall be submitted to the Columbus Graphics Commission.
- ii. All future graphics must be ground signage, and shall be monument-style, except for incidental directional signs. This provision shall not preclude incorporation of signage onto the building.

G. Miscellaneous.

i. The development of a wireless telecommunications facility shall be permitted, including a monopole tower of a height not to exceed 65’ and associated support structures and facilities, as depicted on the site plan attached hereto as Exhibit “A” and made part hereof, on the southern part of parcel 010-218942-00 more particularly described in Exhibit “A” attached hereto and made a part hereof.

ii. The Wireless telecommunications facility shall be developed in accordance with the overall site plan, enlarged site plan, tower elevation drawing, and landscaping plan collectively referred to as (Exhibit A). The site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any slight adjustment to the plan shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services or his or her designee upon submission of the appropriate data regarding the proposed adjustment.

The undersigned, being the owner of the subject property together with the applicant in the subject application, or other authorized representatives, do hereby agree singularly and collectively for themselves, their heirs, successors, and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he understands and acknowledges that none of the foregoing restrictions, conditions, or commitments shall in any manner act to negate, nullify, alter, or modify any more restrictive provision of the Columbus City Code.

Signed:

Marjorie L. Sebring

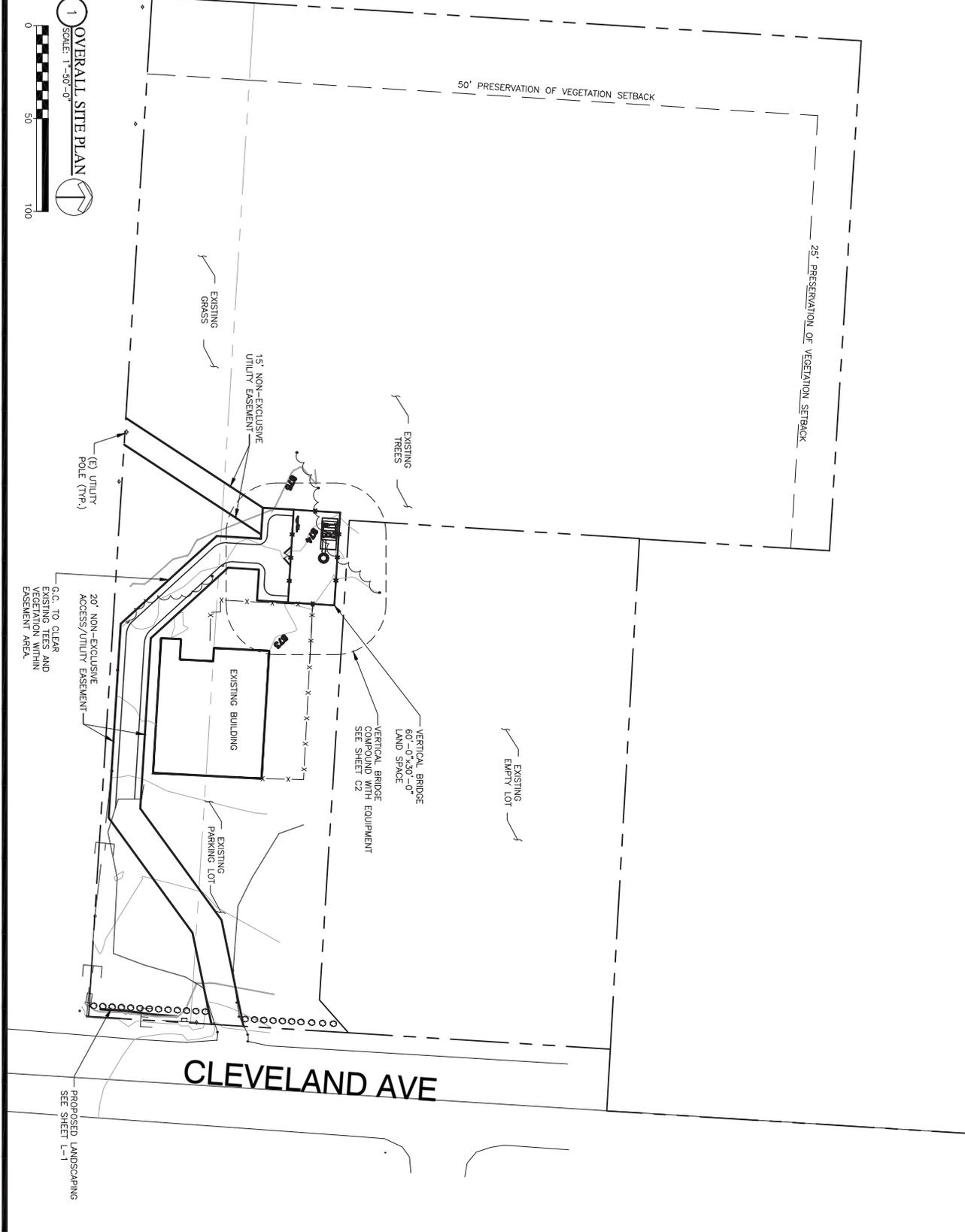
Vertical Bridge Development II, LLC.

By: _____

By: _____

Date: _____

Date: _____



1 OVERALL SITE PLAN
 SCALE: 1"=50'-0"
 0 50 100



PROJECT INFORMATION:
BECHCROFT HS
 US-OH-5174
 6093 CLEVELAND AVE.
 COLUMBUS, OH 43231

ISSUED FOR: CONSTRUCTION
 DATE: 03/16/17

REV.	DATE	ISSUED FOR	BY
A	12/01/16		GNP
0	12/21/16		GNP
1	12/28/16	UTILITY REV.	GNP
2	03/16/17	PLANNING	GNP

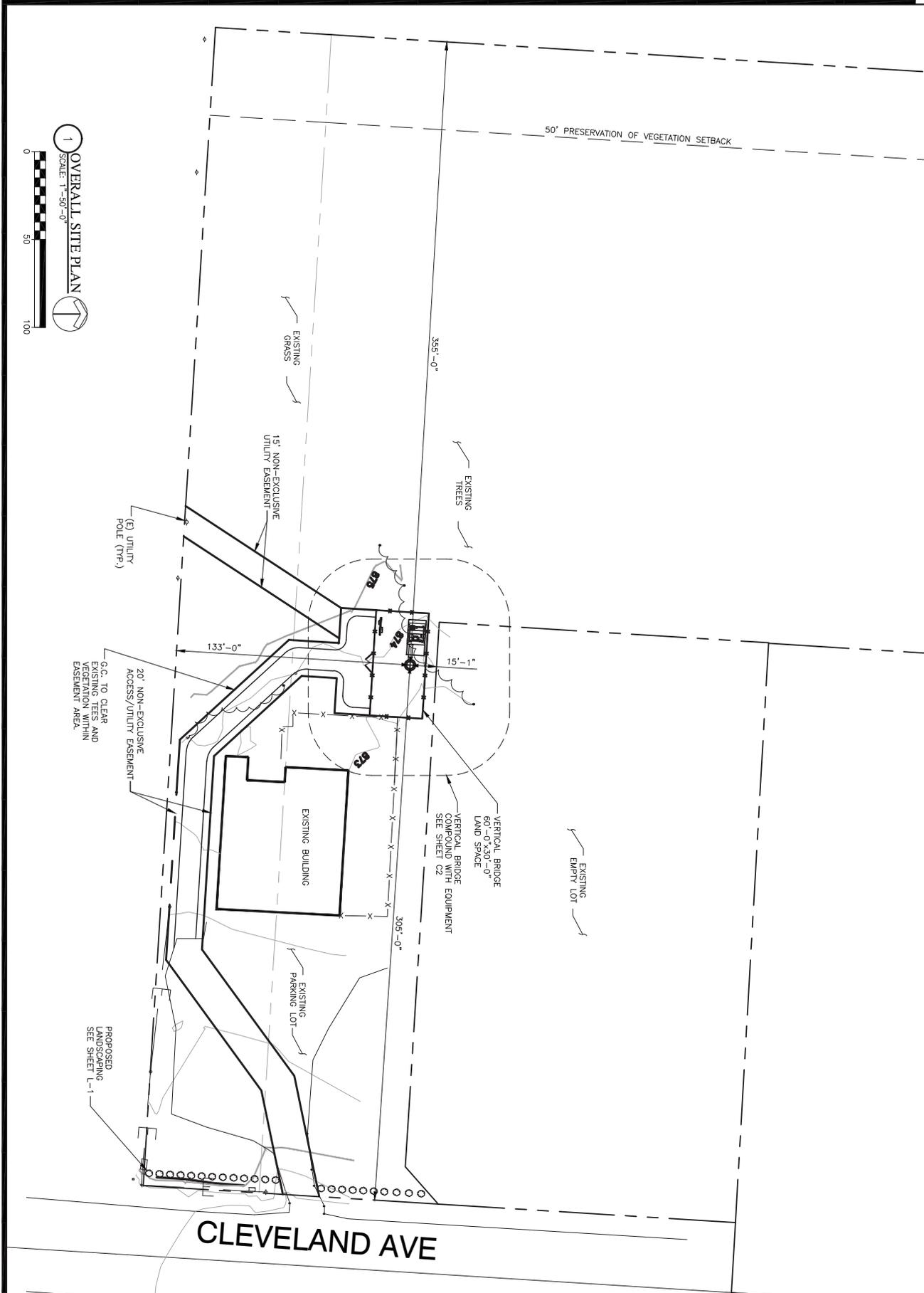
CONSULTANT:
FORTUNE WIRELESS INC.
 6402 CORPORATE DRIVE
 INDIANAPOLIS, IN 46278
 (317) 532-1374
 STATE OF INDIANA LICENSE CERTIFICATE
 OF ARCHITECTURE & ENGINEERING



STATE OF OHIO
DAVID E. KASPER
 REGISTERED PROFESSIONAL ENGINEER
 806972



SHEET TITLE: OVERALL SITE PLAN
 SHEET NUMBER: C-0
 REVISION: 2



1 OVERALL SITE PLAN
 SCALE: 1"=50'-0"
 0 50 100



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CONSULTANT:

GNP	DEK	GNP	DEK
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FORTUNE WIRELESS INC.
 6402 CORPORATE DRIVE
 INDIANAPOLIS, IN 46278
 (317) 632-1374
 STATE OF INDIANA RE-CERTIFICATE
 OF REGISTRATION & RENEWAL

3 - 10



SHEET TITLE: OVERALL SITE PLAN
 SHEET NUMBER: C-1
 REVISION: 2



PROJECT INFORMATION:

BECHCROFT HS
 US-OH-5174
 6093 CLEVELAND AVE.
 COLUMBUS, OH 43231

CURRENT ISSUE DATE:
 03/16/17

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 CONSTRUCTION

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0	12/21/16	GNP	
1	12/28/16	UTILITY REV.	GNP
2	03/16/17	PLANNING	GNP

CONSULTANT:



3 - 11

FORTUNE WIRELESS INC.
 6402 CORPORATE DRIVE
 INDIANAPOLIS, IN 46278
 (317) 532-1374
 STATE OF INDIANA LICENSE CERTIFICATE
 OF PROFESSIONAL ENGINEERING

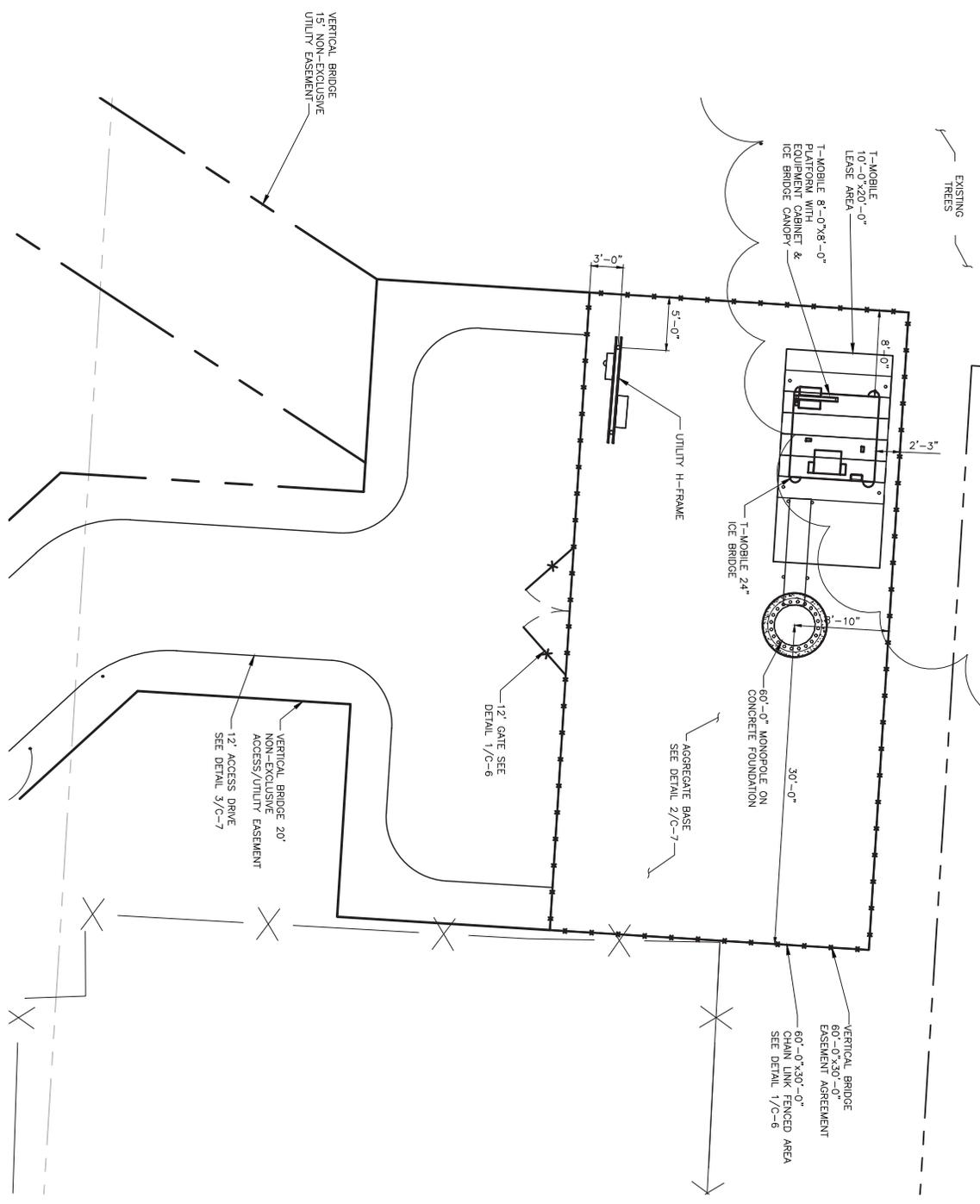
DRAWN BY: CHK. APPV:
 GNP DEK. DEK.



SHEET TITLE:
 ENLARGED SITE PLAN

SHEET NUMBER: C-2
 REVISION: 2

Copyright Fortune Wireless Inc. 2016



1 ENLARGED SITE PLAN
 SCALE: 1"=16'-0"





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BEECHCROFT HS
 US-OH-5174
 6093 CLEVELAND AVE.
 COLUMBUS, OH 43231

CURRENT ISSUE DATE:
03/16/17

ISSUED FOR:
CONSTRUCTION

REV. DATE ISSUED FOR BY

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1	12/28/16	UTILITY REV. GNP
2	03/16/17	PLANNING GNP

CONSULTANT:
FORTUNE WIRELESS INC.
 6402 CORPORATE DRIVE
 INDIANAPOLIS, IN 46278
 (317) 532-1374
 STATE OF INDIANA REG. CERTIFICATE
 OF AUTHORIZATION # 0203000000



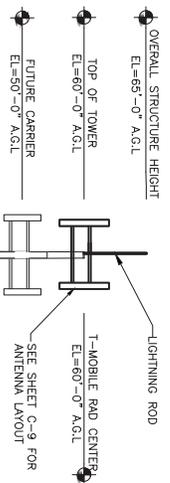
3 - 12

DRAWN BY: **CHK:** **APV:**
 GNP DEK GNP DEK
 CHECKER:



SHEET TITLE:
ANTENNA & TOWER ELEVATION DETAIL

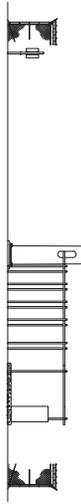
SHEET NUMBER: **C-8** OF **2**
 DESIGNER:



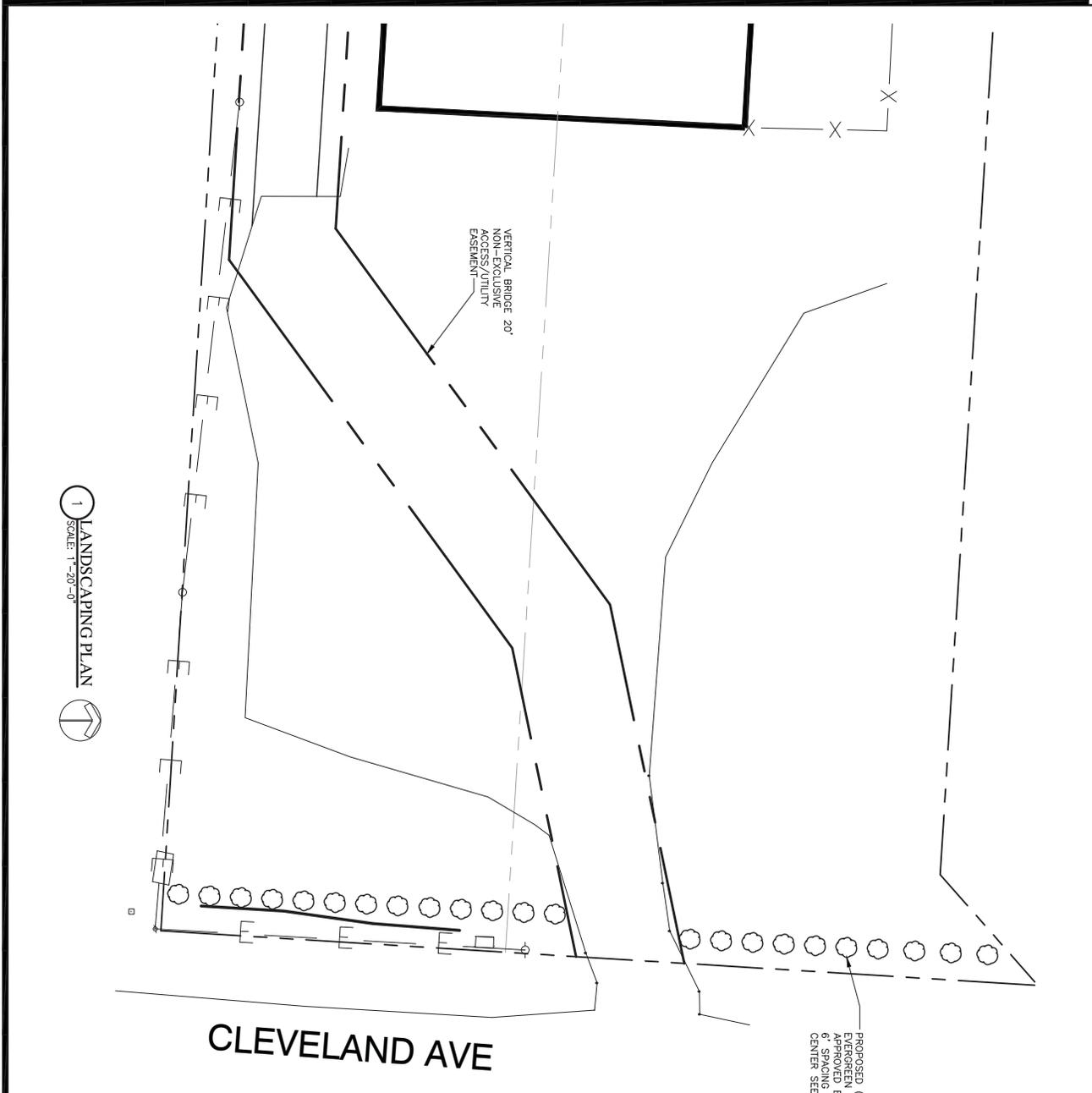
STRUCTURAL NOTE:
 TOWER, MOUNTS, AND FOUNDATION TO BE DESIGNED BY OTHERS AND IS NOT A PART OF THESE DRAWINGS. VERTICAL BRIDGE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSULATION ON THE TOWER.

NOTE:
 ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERTICAL BRIDGE AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERTICAL BRIDGE CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, MOUNT, AND COAX CABLE INFORMATION.

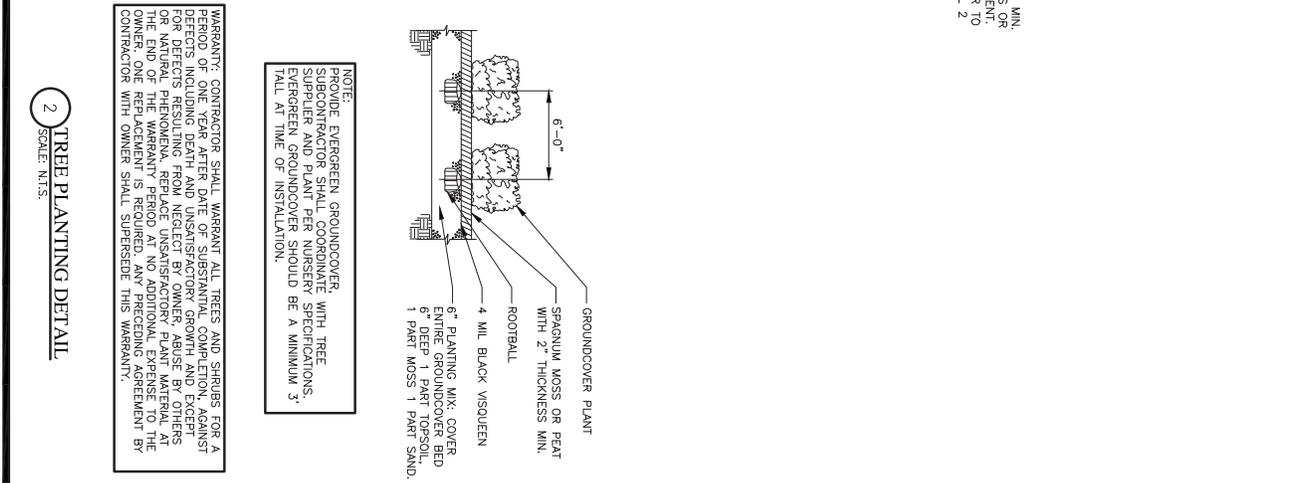
CONTRACTOR TO INSTALL (1) HYBRID/FIBER CABLE INSIDE MONOPOLE
 60' GALVANIZED STEEL MONOPOLE



1 NEW TOWER ELEVATION
 SCALE: N.T.S.



1 LANDSCAPING PLAN
SCALE: 1"=20'-0"



2 TREE PLANTING DETAIL
SCALE: N.T.S.

WARRANTY: CONTRACTOR SHALL WARRANT ALL TREES AND SHRUBS FOR A PERIOD OF ONE YEAR AFTER DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS RESULTING FROM NEGLIGENCE AND OMISSIONS AND DEFECTS FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ARISING BY OTHERS OR NATURAL PHENOMENA. REPLACE UNSATISFACTORY PLANT MATERIAL AT THE END OF THE WARRANTY PERIOD AT NO ADDITIONAL EXPENSE TO THE OWNER. ONE REPLACEMENT IS REQUIRED. ANY PRECEDING AGREEMENT BY CONTRACTOR WITH OWNER SHALL SUPERSEDE THIS WARRANTY.



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CONSULTANT:



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 (317) 532-1374
 STATE OF INDIANA RE CERTIFICATE OF AUTHORIZATION # 000000000

3 - 13



SHEET TITLE:
 LANDSCAPE PLAN & DETAILS

SHEET NUMBER: **2**



Northland Community
Council
Development
Committee

Report

March 29, 2017 6:30 PM
Franklin County Job and Family
Services (Use south entrance)
1721 Northland Park Avenue
(43229)

Meeting Called to Order: **6:30 pm** by chair **Dave Paul**

Members represented:

Voting: (15): Albany Park (APHA), Blendon Woods (BWCA), Clinton Estates (CECA), Cooper Woods (CWCA), Forest Park (FPCA), Friendship Village (FVRA), Karmel-Woodward Park (KWPCA), Maize-Morse Tri-Area (MMTACA), Northland Alliance (NA), Northland Area Business Association (NABA), Preston Commons (PCHA), Rolling Ridge (RRSHA), Salem (SCA), Sharon Woods (SWCA), Woodstream East (WECA).

Case #2: Application #Z16-090 (Rezone 4.28 AC± from CPD to L-C-4 to permit construction of a cellular communications tower and maintain existing non-conforming use)
Mike Daubenmire/Fortune Wireless *representing*
Vertical Bridge Development II LLC
6091 Cleveland Avenue, 43229 (PID 010-218942/010-104546)

- *The Committee approved (14-1) a motion (by SWCA, second by SCA) to **RECOMMEND APPROVAL WITH ONE (1) CONDITION:***
 - *That a minimum of 8' landscaping be provided to shield the north, south and east exposures of the fence enclosing the antenna compound.*
-

Executive Session

8:10 pm

Meeting Adjourned

8:50 pm