



June 21, 2017

City of Columbus, Division of Sewerage & Drainage  
Attn: Mr. Greg Fedner, P.E.  
Private Development Section Manager  
910 Dublin Road  
Columbus, Ohio 43215

**Subject: OhioHealth Administrative Offices and North Parking Lot  
Type III Variance from Stormwater Drainage Manual**

Dear Greg,

On behalf of OhioHealth, EMH&T is submitting an application for a Type III variance from the City of Columbus Stormwater Drainage Manual for the proposed OhioHealth Administrative Offices and North Parking Lot projects.

The proposed development sites include a 147-foot wide Stream Corridor Protection Zone (SCPZ) along Slyh Run, along the southern boundary of the Administrative Offices site; and a 210-foot wide SCPZ along Turkey Run, along the northern boundary of the North Parking Lot site. In both cases, the existing site improvements already encroach within the SCPZ and the planned development represents little or no additional encroachment within the SCPZ. The proposed development will not result in direct impacts to either stream. We are seeking a Type III variance for approval of the proposed encroachments.

The mitigation plan developed for and included as part of this variance application has been developed in coordination with the City's Department of Recreation and Parks. The proposed mitigation represents a significant ecological benefit that exceeds the SCPZ impacts associated with the two proposed development sites.

In addition, at the City's request, the application document provides a discussion of how the project will remove areas from the 100-year floodplain that are currently proposed for stormwater management features, thereby eliminating the need for a variance specific to that activity.

The following information is provided in support of the application:

- Project Name: OhioHealth Administrative Offices and North Parking Lot
- Address, PID, Site Disturbance and Total Site Area:

	<b>Administrative Offices</b>	<b>North Parking Lot</b>
Address:	3483 Olentangy River Road, Columbus, Ohio 43214	3720 Olentangy River Road, Columbus, Ohio 43214
PID:	010-183740-00	010-007910-00
Site Disturbance:	11.27 acre	4.77 acres
Total Site Area:	14.54 acres	8.19 acres

- Primary (Owner) Contact:  
Douglas Scholl, AIA  
OhioHealth, Real Estate, Construction and Facilities  
3535 Olentangy River Road, Columbus, Ohio 43214  
614.566.3641 (office) 614.581.2356 (cell)  
douglas.scholl@ohiohealth.com

***The City is aware of the need to expedite the review and approval of this variance to the extent possible. Considerable pre-application coordination has occurred to this point and we request that the City respond by issuing the requested variance at the conclusion of the minimum required two week comment period.***

Additional information pertaining to the requested variance is included in the enclosed application document. Please contact me with any questions you may have at (614) 775-4205, or by email at [mhebert@emht.com](mailto:mhebert@emht.com).

Sincerely,



Miles F. Hebert, PE, CFM, LEED Green Associate  
Director, Water Resources Engineering

Cc: Mr. Douglas Scholl, AIA, OhioHealth



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2016-1324

**OHIOHEALTH ADMINISTRATIVE OFFICES AND  
NORTH PARKING LOT**

**CITY OF COLUMBUS STORMWATER DRAINAGE  
MANUAL TYPE III VARIANCE APPLICATION**

**Prepared for: OhioHealth**

**June 21, 2017**

Engineers

Surveyors

Planners

Scientists



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### APPENDICES

Appendix A: OhioHealth Administrative Offices Overall Storm Sewer and Grading Plan

Appendix B: OhioHealth North Parking Lot Overall Grading Plan



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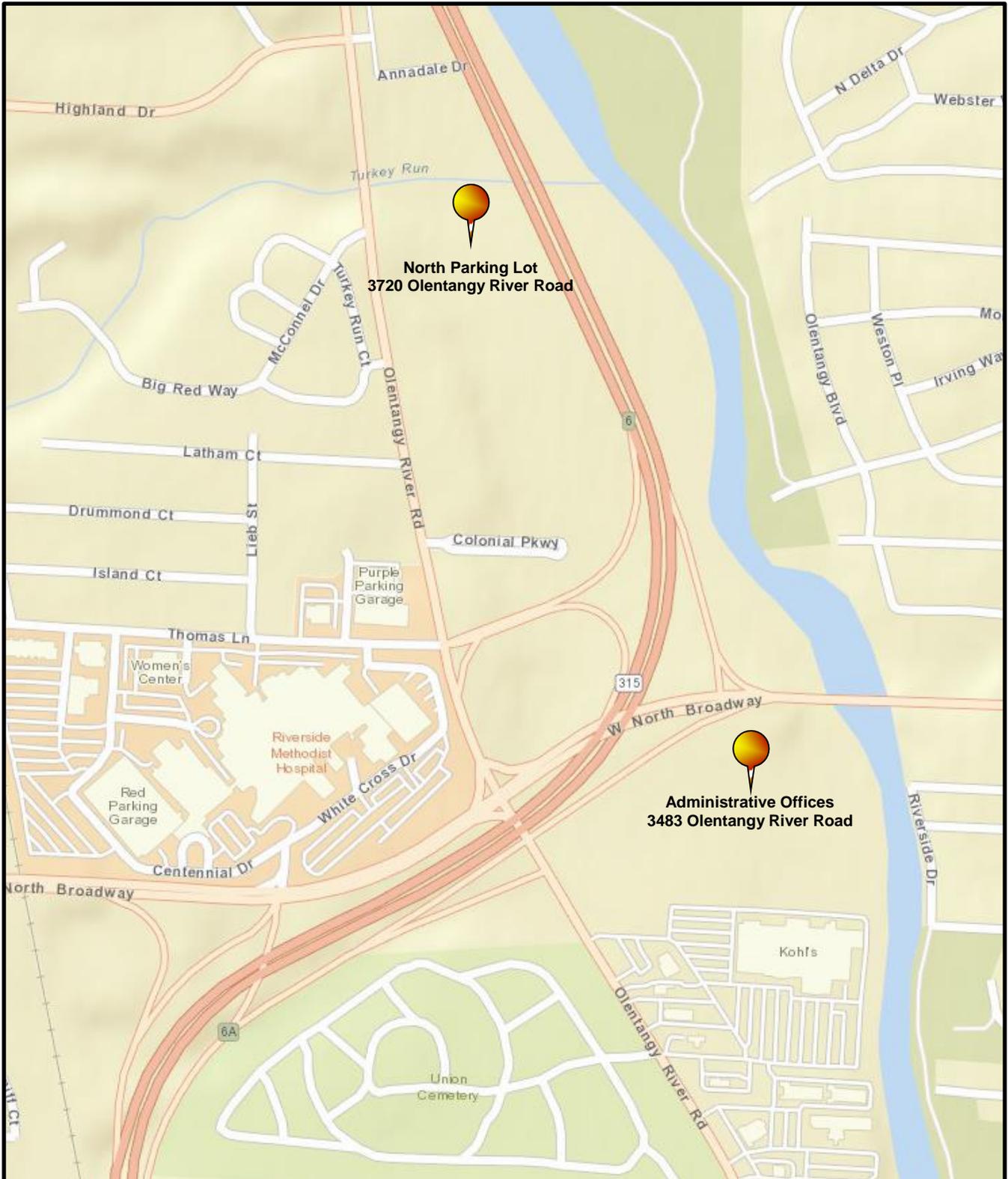
## 1.0 INTRODUCTION

The following report provides information pertaining to a requested variance from the City of Columbus Stormwater Drainage Manual (the Manual) for the proposed OhioHealth Administrative Offices and North Parking Lot projects.

The OhioHealth Administrative Offices are proposed to be constructed on an approximately 12-acre parcel located at 3483 Olentangy River Road, which is east of Olentangy River Road and south of West North Broadway (refer to Figure 1). The site is currently composed of an existing service building, parking lots and open space. Slyh Run borders the site to the south. The proposed project involves the redevelopment of the site into a new office building and associated surface parking lots.

A large portion of the Administrative Offices site is currently utilized as surface parking for OhioHealth associates. The development of the site will result in a loss of this parking. Up to 1,250 existing parking spaces for OhioHealth employees are expected to be lost. The North Parking Lot is intended to help offset that loss. The approximately 8-acre North Parking Lot site is located at 3720 Olentangy River Road, which is east of Olentangy River Road along McConnell Drive (refer to Figure 1). Turkey Run borders this site to the north. The proposed project involves the demolition of existing commercial buildings and expansion of existing parking into a larger surface parking lot.

In conjunction with the proposed development, OhioHealth is seeking a Type III variance for encroachment within onsite Stream Corridor Protection Zones (SCPZ) along Slyh Run and Turkey Run. Additionally, at the City's request, this document provides a discussion of how the project will remove areas from the 100-year floodplain which are currently proposed for stormwater management features, thereby eliminating the need for a variance specific to that activity.





## **2.0 TYPE III VARIANCE (STREAM PROTECTION)**

The Stream Corridor Protection Zone (SCPZ) consists of the stream channel and the adjacent riparian area. Its purpose is to allow the natural, lateral movement of the stream, provide sufficient area for flood conveyance, protect water quality and prevent structures from being impacted by natural streambank erosion. A SCPZ is present along Slyh Run at the Administrative Offices site and along Turkey Run at the North Parking Lot site. The preferred development plans will encroach upon the SCPZs. At both locations, the encroachment will occur primarily within land that is currently paved. The proposed development will not result in direct impacts to either stream channel.

OhioHealth is requesting a variance from Section 1.3.2 and 1.3.3 of the Manual for both the Administrative Offices site and the North Parking Lot site, specifically a variance allowing for earthwork and the re-construction of parking area within the SCPZ.

### **2.1 OhioHealth Administrative Offices (3483 Olentangy River Road)**

#### 2.1.1 Proposed SCPZ Impacts

As shown on Sheet 1, Slyh Run has a drainage area of 0.99 square mile. Accordingly, based upon the criteria provided in the Manual, Slyh Run has a SCPZ width of 147 feet. Under the Preferred Alternative, discussed below, the proposed area of impact within the SCPZ is 0.597 acre (refer to Sheet 2). The requested encroachment will occur nearly entirely within the limits of existing pavement. There will be no impacts to the Slyh Run channel, nor the existing trees/brush within the existing narrow riparian corridor. The area to be encroached upon is already paved, thus there will be no detrimental impacts to the riparian corridor or water quality of Slyh Run as compared to current conditions.

As further discussed below, the proposed encroachment within the SCPZ includes earthen excavation to lower the existing paved areas and provide the required compensatory floodplain storage volume, which is a permissible activity within the SCPZ. Avoidance of the SCPZ under the No Impact Alternative (Sheet 3) would result in an overall reduction in floodplain volume for the project site.

#### 2.1.2 Existing Conditions

The site is currently composed of one building, two large shuttle parking lots, driveways and undeveloped open space. Access to the site is from Olentangy River Road and consists of a single asphalt drive. Slyh Run traverses the southern property boundary. The development of the existing facilities pre-dates the current SCPZ requirements, and the existing building, parking lot and access drive are partially located within the designated SCPZ of Slyh Run. The existing riparian corridor along Slyh Run ranges from less than 10 feet wide to approximately 20 feet wide between the existing access drive/parking lot and the stream channel.



### 2.1.3 Site Development Alternatives

#### *Proposed Conditions / Preferred Plan Alternative*

As shown on the Overall Storm Sewer and Grading Plan (Appendix A), the project as proposed includes construction of an office building and associated surface parking lots. Access to the site will continue to be provided by the access drive from Olentangy River Road. As shown on Exhibit Sheet 2, the improved access drive and a portion of the southern parking lot on the site will be located within the Slyh Run SCPZ, resulting in **0.597 acre** of impact. The proposed impact includes 0.013 acre of impacts to existing pervious surface and 0.584 acre of impacts to existing impervious surface. Additionally, under the preferred alternative, 0.156 acre of new pervious surface will be provided within the SCPZ, as shown on Sheet 2.

#### *Full Compliance / No-Impact Alternative*

As described herein, the encroachment proposed within the Slyh Run SCPZ is located within the limits of existing pavement. Based on conversations with City of Columbus staff, it is understood that milling and resurfacing the existing pavement within the SCPZ is not subject to regulation under the Manual. Accordingly, the full compliance / no-impact alternative (shown on Sheet 3) includes only the milling and resurfacing the existing pavement within the SCPZ. The no-impact alternative would maintain the existing conditions within the SCPZ; however, it would also result in more impervious surface in the SCPZ as compared to the preferred alternative, as summarized in Table 1.

**Table 1  
Comparison of Alternatives for Administrative Offices Site**

Alternative	SCPZ Cover (acres)*		
	Impervious	Pervious	Total
Existing Conditions	0.584	0.013	0.597
Preferred Plan Alternative	0.441	0.156	0.597
No Impact Alternative	0.584	0.013	0.597

\*Includes only the areas impacted by the proposed project

Because the preferred alternative decreases the impervious acreage within the SCPZ as compared to current conditions, it is also being considered the minimal impact alternative for the purpose of this variance application. This variance application does not contemplate expanding the riparian corridor along Slyh Run, as that would remove parking spaces that are vital to the project.

### 2.1.4 Impacts to Stormwater Detention and Water Quality

The Preferred Alternative increases pervious area, thereby reducing the volume of stormwater runoff to Slyh Run, as well as providing some benefits toward post-construction water quality. Furthermore, the proposed larger site development at this location includes the implementation of stormwater management features which will provide both detention and post-construction water quality, which are not present under existing conditions. Furthermore, the Preferred Plan Alternative does not represent any greater impact to the stream channel riparian corridor than either existing conditions or the No Impact Alternative described above.



### 2.1.5 Statement of Hardship

The proposed impact to the SCPZ at the Administrative Offices site, associated with the Preferred Plan Alternative, is at least partially driven by the requirement to provide compensatory floodplain storage volume, as required by Section 1.4 of the Manual. Implementation of the No-Impact Alternative would eliminate the ability to provide the required compensatory floodplain storage volume. In addition, the Preferred Plan Alternative results in a net gain of pervious surface within the SCPZ. Thus, OhioHealth respectfully requests approval of the variance for the Preferred Plan Alternative.

## **2.2 North Parking Lot (3720 Olentangy River Road)**

### 2.2.1 Proposed SCPZ Impacts

As shown on Sheet 4, Turkey Run has a drainage area of 2.53 square miles. Accordingly, based upon the criteria provided in the Manual, Turkey Run has a SCPZ width of 210 feet. Under the Preferred Alternative, discussed below, the proposed area of impact within the Turkey Run SCPZ is 0.311 acre (refer to Sheet 5). The SCPZ encroachment will occur primarily within the limits of existing pavement. There will be no direct impacts to the Turkey Run channel. As the majority of the area to be encroached upon is already paved, there will be minimal impacts to the water quality of Turkey Run as compared to current conditions.

### 2.2.2 Existing Conditions

The site is currently composed of two buildings, parking lots, driveways and open space. Access to the site is provided via two drives from Olentangy River Road. Turkey Run traverses the northern property boundary within an approximately 50-foot wide grassy corridor. No trees or brush are present along the stream. The current onsite development pre-dates the SCPZ requirements, and the existing parking lot and northern access drive are partially located within the designated SCPZ of Turkey Run.

### 2.2.3 Site Development Alternatives

#### *Proposed Conditions / Preferred Plan Alternative*

As shown on the Overall Grading Plan (Appendix B), the proposed project includes grading and installation of a new parking lot. Both onsite buildings will be demolished to expand the parking lot area. Access to the site will continue to be provided by two drives from Olentangy River Road. As shown on Sheet 5, the proposed parking lot improvements will encroach within the Turkey Run SCPZ, resulting in **0.311 acre** of impact. The proposed impact includes 0.145 acre of impacts to existing pervious surface and 0.166 acre of impacts to existing impervious surface (53%). Under the preferred alternative, 0.020 acre of new pervious surface will be provided.

#### *Full Compliance / No-Impact Alternative*

As described herein, the encroachment proposed within the Turkey Run SCPZ is located primarily within the limits of existing pavement. Based on conversations with City of Columbus staff, it is understood that milling and resurfacing the existing pavement within the SCPZ is not subject to regulation under the Manual. Accordingly, the full compliance / no-impact alternative (Sheet 6)



includes only milling and resurfacing the existing pavement within the SCPZ. This would maintain the existing conditions within the SCPZ, as summarized in Table 2.

**Table 2  
Comparison of Alternatives for North Parking Lot**

Alternative	SCPZ Cover (acres)*		
	Impervious	Pervious	Total
Existing Conditions	0.166	0.145	0.311
Preferred Plan Alternative	0.291	0.020	0.311
No Impact Alternative	0.166	0.145	0.311

\*Includes only the areas impacted by the proposed project

Because the preferred plan alternative impact is so minor (net gain of 0.125 acre of impervious surface), a minimal impact alternative has not been developed. As described for the Administrative Offices site, this variance application does not contemplate expanding the riparian corridor along Turkey Run, as that would remove parking spaces that are vital to the project. Moreover, per the City of Columbus, an expanded riparian corridor along Turkey Run could not be planted with native vegetation due to previous concerns and legal actions regarding flooding and the City’s associated maintenance program.

2.2.4 Impacts to Stormwater Detention and Water Quality

The proposed site improvements include provisions for stormwater management features to provide both detention and post-construction water quality, which are not present under existing conditions. The minimal increase in impervious area even with the Preferred Plan (0.125 acres) is not seen as a detrimental impact to the water quality of this urbanized stream corridor. Furthermore, the Preferred Plan Alternative does not represent any greater impact to the stream channel riparian corridor than either existing conditions or the No Impact Alternative described above.

2.2.5 Statement of Hardship

The development planned on the OhioHealth Administrative Offices site will result in the loss of up to 1,250 existing parking spaces currently used by OhioHealth employees, primarily those working at Riverside Hospital. Employees currently park at the existing lots on the Administrative Offices site and are shuttled to Riverside and other OhioHealth facilities along Olentangy River Road. The North Parking Lot is being developed to provide sufficient parking spaces to offset those lost. The parking lot improvements within the Turkey Run SCPZ are necessary in order to optimize the available parking on the site, and improve the skewed intersection condition at McConnell Drive. Thus, OhioHealth respectfully requests approval of the variance for the Preferred Plan Alternative.

**2.3 Mitigation**

As described in the Manual, adequate mitigation must be provided for impacts to the SCPZ by creating equivalent mitigation also within a SCPZ. The proposed area of SCPZ impact between the two sites totals **0.908 acre**, including 0.597 acre within the Slyh Run SCPZ and 0.311 acre within the Turkey Run SCPZ. Of this total, there is a 0.143 acre increase in pervious area along Slyh Run and a 0.125 decrease in pervious area along Turkey Run, or a net increase in pervious



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area of 0.018 acres between the two sites. The Manual states, “Generally, mitigation SCPZ will be considered equivalent if it performs the same function as the disturbed SPCZ.”

It is the City of Columbus’ preference that mitigation occur on the same site as the SCPZ encroachment, or as close as possible if onsite mitigation is infeasible. The Manual specifies that mitigation should consist of equivalent SCPZ created at the following ratios: 1:1 onsite, 1:1.5 on an adjacent site, 1:2 in the same watershed assessment unit, 1:3 in the same county, and 1:5 in a contiguous county.

Therefore, OhioHealth first considered the feasibility of onsite mitigation. On the Administrative Offices site, it was not feasible to complete onsite mitigation. OhioHealth owns only approximately 700 feet of the north streambank of Slyh Run, and there are no other streams on the property. Completing mitigation within the Slyh Run SCPZ that would have a meaningful benefit on the channel is seen as impractical given the site constraints.

Onsite mitigation was also evaluated on the North Parking Lot site. OhioHealth developed a conceptual plan for mitigation along Turkey Run between Olentangy River Road and State Route 315, along the northern boundary of the site. This plan provided a total SCPZ mitigation area of 0.75 acres, which included replanting the existing barren corridor with approximately 75 native, balled and burlapped trees. This conceptual plan was submitted to the City of Columbus on April 26, 2017. However, the City subsequently indicated they would not accept the proposed Turkey Run mitigation plan to avoid exacerbating previous concerns regarding flooding in this area.

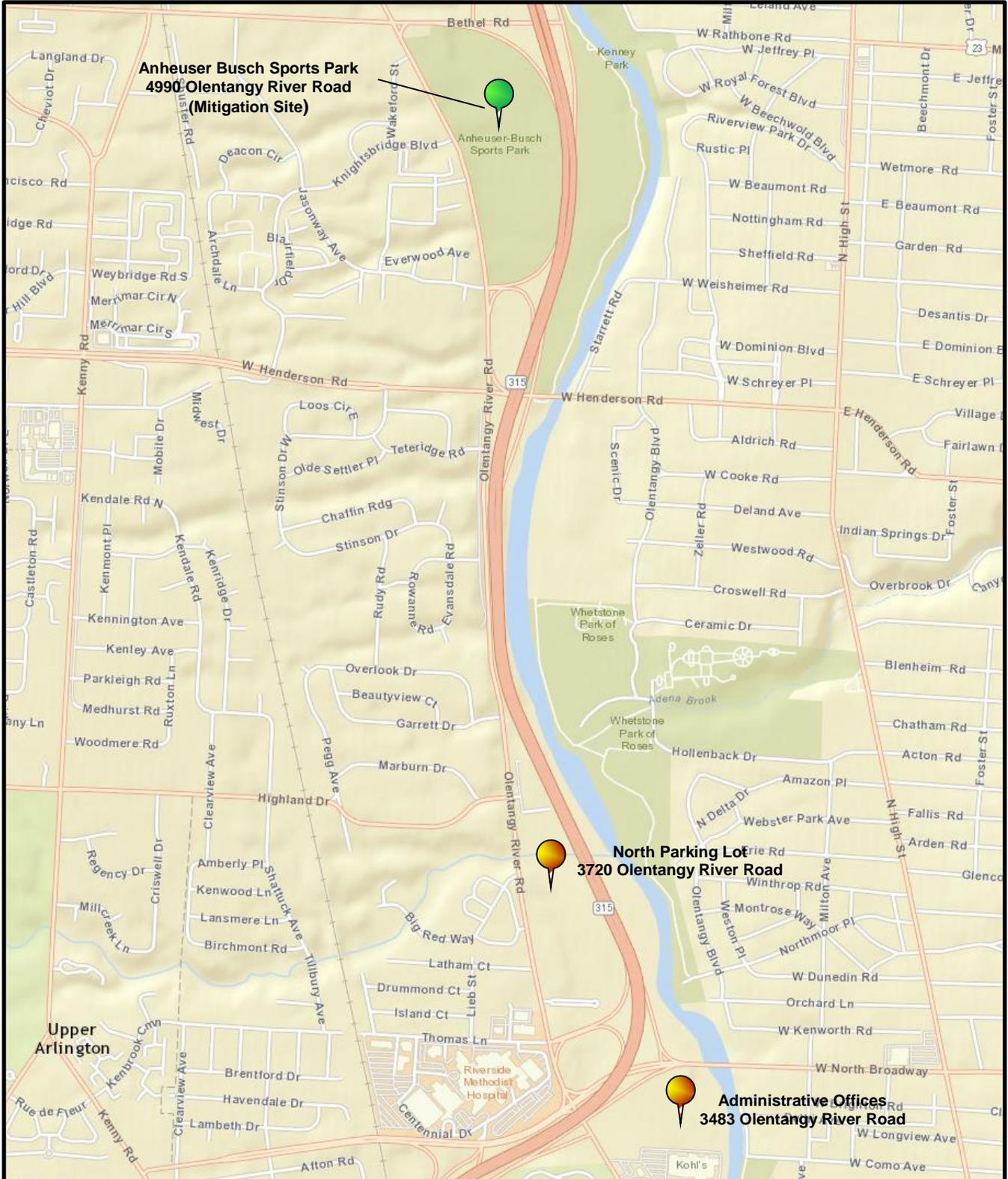
At the City’s direction, OhioHealth was asked to consider mitigation at the City’s Anheuser-Busch Sports Park, located at 4990 Olentangy River Road (refer to Figure 2). This park is located approximately 2 miles north of the Administrative Offices site and 1.3 miles north of the North Parking Lot site, in the same watershed as the proposed impacts (HUC12: 05060001-11-03).

The park includes approximately 65 acres between Olentangy River Road and State Route 315. It is composed of baseball fields, parking lots and open grassy areas. Two tributaries to the Olentangy River, Coe Ditch and Bowers Ditch, flow west to east across the property. There are approximately 10 acres of woods on the property, primarily located along the two streams.

In coordination with the City’s Department of Recreation and Parks, which operates and maintains the park, the proposed SCPZ mitigation plan included within this variance application includes approximately two (2) acres of riparian corridor enhancement within the woodlot along Coe Ditch, the northern tributary on the site. ***Please note: it is anticipated the mitigation plan will also compensate for impacts to Slyh Run associated with public roadway improvements to be completed at the Administrative Offices site. For the purpose of the site development projects that are the subject of this variance application, we are proposing to provide up to 1.1 acre of SCPZ enhancements on the park property.***



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CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO

**SCPZ Mitigation Location Map**

**Figure 2**



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 Phone: 614.775.4500 Toll Free: 888.775.3648  
 emht.com

### 2.3.1 Existing SCPZ Conditions

Coe Ditch has a watershed area of 0.54 square miles and a calculated SCPZ width of 117 feet, which is shown on Sheet 7. Within the existing riparian corridor, both native and invasive vegetation were observed, as summarized in Table 3.

**Table 3  
Existing Riparian Vegetation at the Anheuser-Busch Sports Park**

Common Name	Scientific Name	Classification
<b>Trees</b>		
American elm	<i>Ulmus americana</i>	Native
Black locust	<i>Robinia pseudoacacia</i>	Native
Black walnut	<i>Juglans nigra</i>	Native
Eastern cottonwood	<i>Populus deltoides</i>	Native
Hackberry	<i>Celtis occidentalis</i>	Native
Honey locust	<i>Gleditsia triacanthos</i>	Native
Mulberry	<i>Morus spp.</i>	Native
Tree-of-heaven	<i>Ailanthus altissima</i>	Invasive
Sycamore	<i>Platanus occidentalis</i>	Native
<b>Shrubs</b>		
Bush honeysuckle	<i>Lonicera spp.</i>	Invasive
<b>Vines</b>		
Wild grapevine	<i>Vitis spp.</i>	Noxious weed

The existing canopy is primarily composed of native species. The dominant species observed were black locust, black walnut, and hackberry, with fewer numbers of the other listed species, including invasive tree-of-heaven. The understory is comprised of dense thickets of invasive bush honeysuckle. Moreover, wild grapevine (*Vitis spp.*), which is a noxious weed, is present throughout the canopy and understory.

### 2.3.2 Proposed SCPZ Enhancements

The proposed riparian enhancement includes invasive species removal and native plantings. Both bush honeysuckle and tree-of-heaven are highly invasive, and wild grapevine is considered a noxious weed. These species suppress and displace native trees and shrubs with their aggressive growth and dispersal. Moreover, studies have shown that vegetation in riparian zones can have a significant effect on overall stream health. Natural stream vegetation protects against erosion and provides bank stability, provides organic matter, wood and cover for aquatic species, provides nutrient management, and serves as a buffer from nonpoint source pollution. Invasive species, particularly bush honeysuckle, cause direct and indirect impacts to water quality, as listed below:

1. Changes in the acidity levels of the soil in the riparian zone;
2. Changes in water chemistry and creation of hypoxic conditions due to faster rates of leaf litter decomposition in the stream channel;
3. Reduced inputs of organic matter and woody debris needed by aquatic species; and
4. Reduced water flow rates due to higher transpiration rates.

The mitigation plan, as shown on Sheets 7 and 8, includes mechanical (cutting) and chemical treatment of these species, followed by planting of native trees and shrubs. The native plantings



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will serve to reestablish a diverse and functional understory in the riparian corridor. Similar enhancements have been recently undertaken in this woodlot. The proposed mitigation will complement and expand on these previous restoration efforts. The implementation of the mitigation plan will be coordinated with the Department of Recreation and Parks to determine the most efficient method of completing the stream corridor enhancements.

Approximately 2.2 acres of riparian enhancement are currently being depicted on the mitigation plan. OhioHealth requests that this mitigation be applied to the Type III variance for the Administrative Offices and North Parking Lot SCPZ impacts (as described herein). A future Type III variance to be submitted to the City for public roadway improvements at the Administrative Offices site will also rely wholly or in part on the depicted mitigation. The future SCPZ impacts associated with the public roadway improvements will be more fully described in a forthcoming variance application, but are expected to total approximately one (1) acre. Accordingly, the proposed mitigation has been split into “Section A” (1.1 acres), for the impacts described herein, and “Section B” (1.1 acres), for the potential future impacts.

### 2.3.3 Proposed SCPZ Mitigation Ratio

The proposed project, i.e., “Section A” shown on Sheet 7, will provide mitigation at an approximate ratio of 1:1 based on acreage. However, the mitigation includes a two-step process of removal of the invasive species from the corridor followed by native plantings. Either one of these activities could be considered a standalone mitigation activity. OhioHealth requests that the City consider the scope of work proposed when evaluating the mitigation proposal.

Moreover, OhioHealth requests that the mitigation ratio of 1:1 be deemed sufficient in this case due to the nature of the impacts to existing paved areas at the two development sites. The mitigation is more than equivalent as it will perform a significantly higher function than the majority of the area impacted, which includes 0.75 acre of existing pavement. Finally, OhioHealth requests that the City consider that onsite mitigation was either deemed infeasible (Slyh Run) or impermissible (Turkey Run).



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### **3.0 STORMWATER BMPS WITHIN THE 100-YEAR FLOODPLAIN**

Section 3.1 of the Manual requires that stormwater management BMPs not be constructed within a Federal Emergency Management Agency (FEMA) floodplain boundary. As documented in the Stormwater Management Plan report for the OhioHealth Administrative Office development site, there are two proposed BMPs at least partially located within an area that is currently designated as a Zone AE 100-year floodplain, but is outside of the regulatory floodway. This floodplain is backwater from the Olentangy River. As documented in the Stormwater Management Plan report, and alluded to in this variance application, the proposed project will provide for compensatory floodplain volume, with the total excavation volume within the floodplain exceeding the total fill volume.

The intent is to remove the area, including the stormwater BMPs, from the 100-year floodplain once the fill is placed within that area. This will be accomplished by submitting a Letter of Map Revision, based on fill (LOMR-F) to the City for review and approval, and then to FEMA. By obtaining the LOMR-F, the project will be in compliance with the Manual.

The City has suggested that a Conditional LOMR-F be obtained as part of the plan approval process. The Conditional LOMR-F would confirm the proposed floodplain fill meets both the City's and FEMA's criteria for an exclusion from the 100-year floodplain. We have indicated that a Conditional LOMR-F is not necessary for the reasons described below.

- Both the City's and FEMA's standards allow fill to be placed within a designated 100-year floodplain as long as the fill does not encroach into the regulatory floodway and meets other specific requirements related to fill compaction, the Endangered Species Act (ESA) and standards for Reasonably Safe from Flooding.
- Where site improvements are being proposed within the 100-year floodplain, such as streets, buildings, etc., the City's floodplain regulations require conformance with specific design standards and a demonstration that the proposed project will be Reasonably Safe from Flooding. Under these circumstances, the City does not require that a CLOMR-F be issued prior to approving the site plan and allowing the floodplain fill and associated site improvements to occur.
- Once the floodplain fill is placed at the OhioHealth Administrative Offices site, then a LOMR-F application is submitted for the City's review and approval and then to FEMA for their approval. The City's review of the LOMR-F application accounts for all of the design requirements referenced above and ensures the project meets all relevant standards before it is submitted to FEMA. At this point, with almost absolute certainty, the LOMR-F will be issued by FEMA upon the completion of their review.
- In the case of proposed stormwater BMPs being placed within the 100-year floodplain at the OhioHealth Administrative Offices site, the site plans will address the City's requirements for floodplain fill and conformance with the applicable regulations. This will allow the City to determine that the floodplain fill activity meets both local and federal standards and will be eligible for a LOMR-F once the fill is placed.



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- A LOMR-F application will be filed with the City once the floodplain fill is completed. This process is consistent with the process followed by the City when other infrastructure improvements occur within a designated floodplain; therefore, the City does not need to apply a higher standard to ensure the requirements of both the Manual and the floodplain regulations are both met for this project.

Based on our knowledge of the local and federal floodplain regulations, and our understanding of the City's process for approving site development projects involving floodplain fill, we believe a Conditional LOMR-F is not necessary to accomplish the end goal of removing the stormwater BMPs from the 100-year floodplain. With the understanding that the project will follow the steps required by the City and FEMA to remove infrastructure from the floodplain via a LOMR-F, then we also believe the proposed project complies with the Manual.



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## 4.0 CONCLUSIONS

OhioHealth respectfully requests approval of the Type III variance for the Preferred Project Alternative for both the Administrative Offices and North Parking Lot projects. The proposed impact to 0.597 acre of Slyh Run SCPZ at the Administrative Offices site is at least partially driven by the requirement to provide compensatory floodplain storage volume, as required by Section 1.4 of the Manual. The Preferred Alternative results in a net gain of 0.143 acre of pervious surface within the SCPZ.

The 0.311-acre encroachment within the Turkey Run SCPZ is necessary in order to optimize the available parking on the site, and improve the skewed intersection condition at McConnell Drive. The Preferred Alternative impact results in a net gain of 0.125 acre of impervious surface.

The mitigation proposed for these impacts includes approximately 1.1 acres of forested riparian corridor enhancement at the Anheuser-Busch Sports Park, including invasive species removal and native plantings. This provides a mitigation ratio of approximately 1:1.2 for the overall impacts (0.908 acre). However, the majority of these impacts (0.75 acre) will affect existing pavement. Considering just the impacts to pervious surface within the SCPZs (0.158 acre), the mitigation represents a ratio of nearly 1:7. The mitigation is more than equivalent as it will perform a significantly higher function than the area impacted.

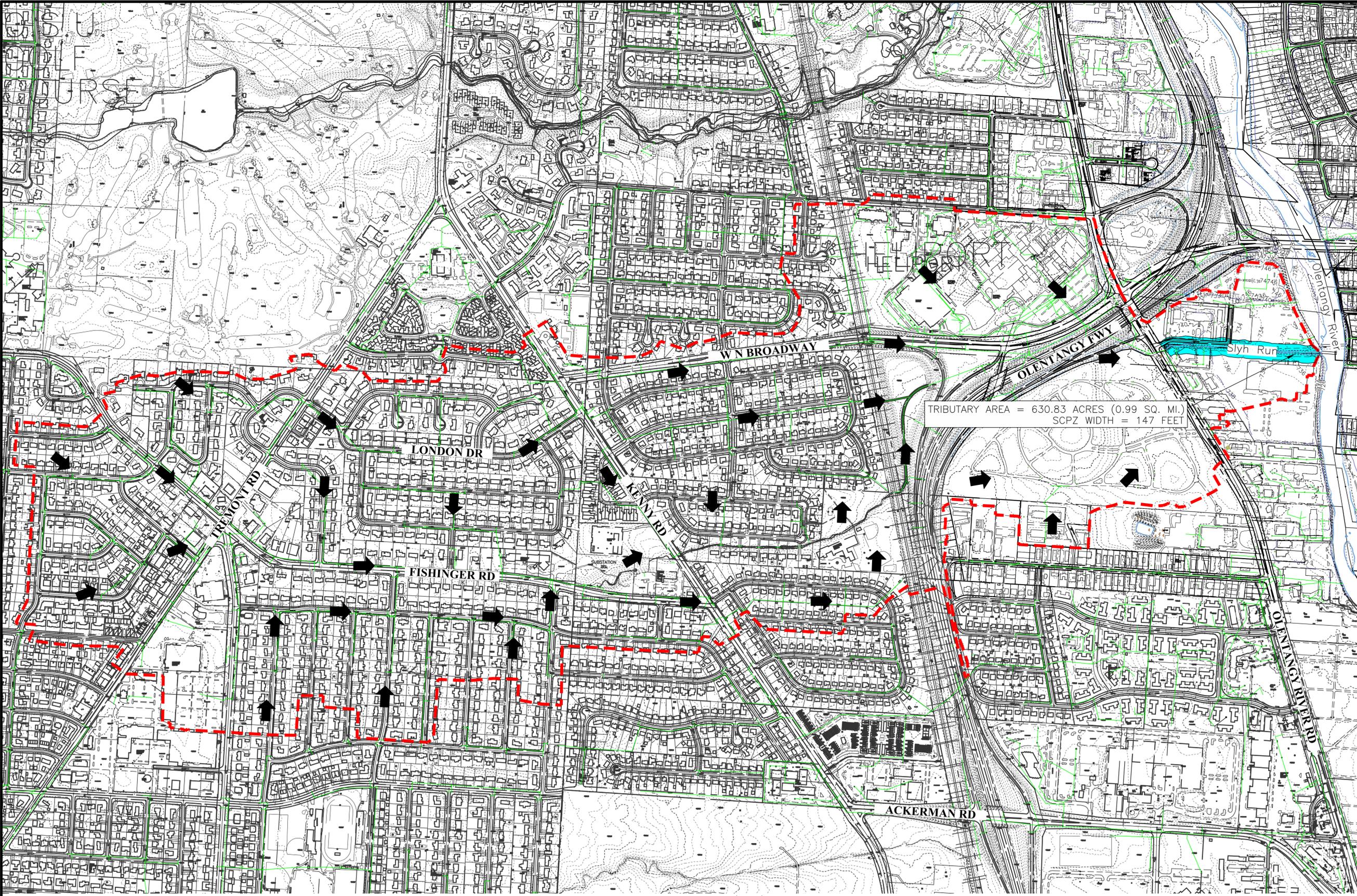
Finally, at the City's request, information has been provided regarding how the project will remove areas from the 100-year floodplain that are currently proposed for stormwater management features, thereby eliminating the need for a variance specific to that activity.



A legacy of **experience**. A reputation for **excellence**.

## EXHIBITS

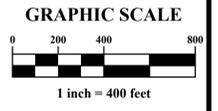
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**Legend**

-  Tributary Boundary
-  Stream Corridor Protection Zone
-  Flow Arrow
-  Storm Sewer (Source: City of Columbus Storm Sewer Utilities, September 2014)

Topography Source: Franklin County Auditor GIS (January 2017)



MARK	DATE	DESCRIPTION	REVISIONS

OHIOHEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
 EXHIBIT FOR PRIVATE IMPROVEMENTS  
 FOR  
**OHIO HEALTH HEADQUARTERS**  
**3483 OLENTANGY RIVER ROAD**  
 SLYH RUN WATERSHED AND SCPZ



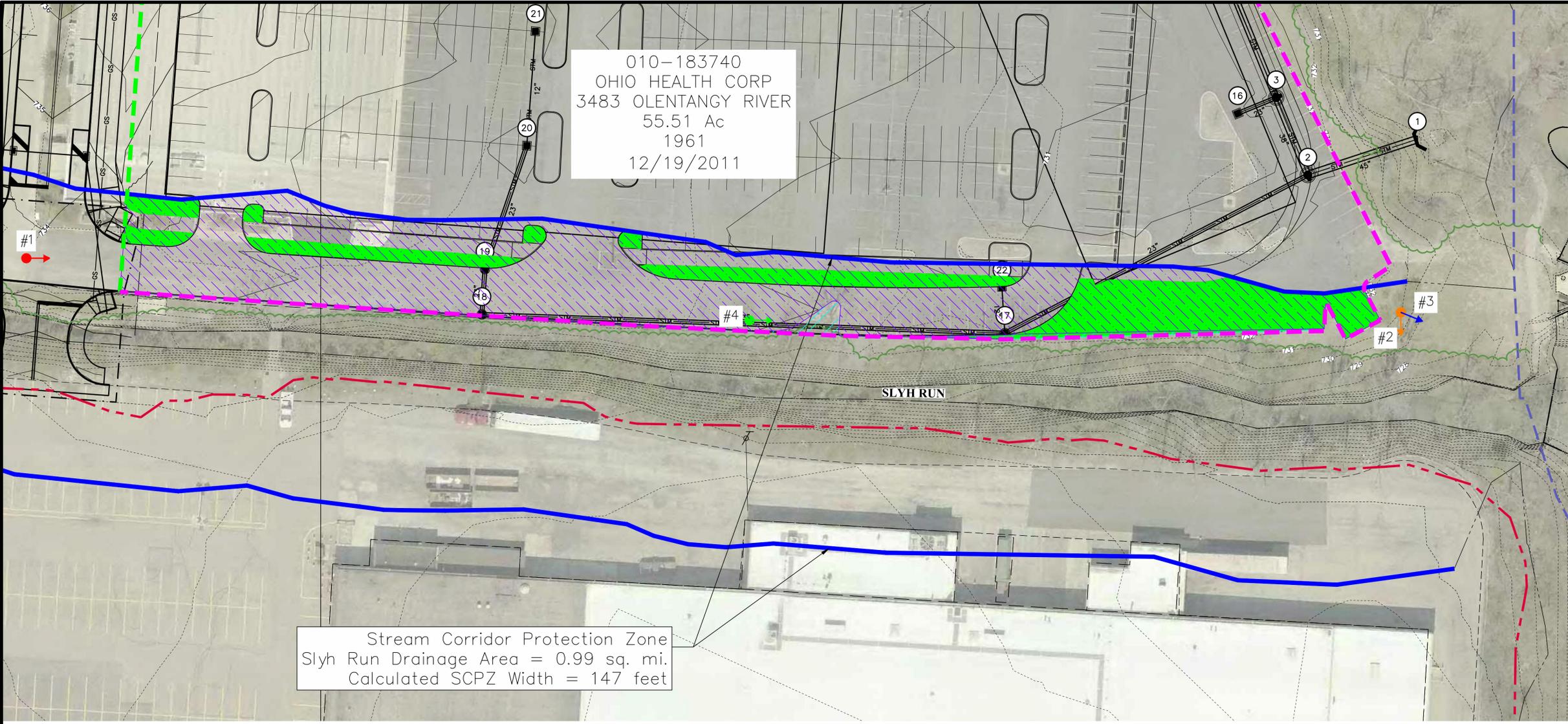
DATE  
June 16, 2017

SCALE  
1" = 400'

JOB NO.  
2016-1324

SHEET  
1/8

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**LEGEND**

- R/W LIMIT
- LIMIT OF DISTURBANCE
- 100-YEAR FLOODPLAIN (2008 FIRM)
- FLOODWAY (2008 FIRM)
- IMPACTED PERVIOUS AREA = 0.013 ACRES
- IMPACTED IMPERVIOUS AREA = 0.584 ACRES
- █ NEW PERVIOUS AREA = 0.156 ACRES
- ~ EXISTING BRUSH AND TREE LINE (TO REMAIN)

TOTAL IMPACT AREA = 0.597 ACRES (0.143 ACRES NET PERVIOUS AREA)

REVISIONS
MARK DATE DESCRIPTION

**OHIOHEALTH**

**CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
EXHIBIT FOR PRIVATE IMPROVEMENTS  
FOR  
OHIO HEALTH HEADQUARTERS  
3483 OLENTANGY RIVER ROAD  
SCPZ VARIANCE - PREFERRED PLAN**

**EMHT**  
 Evans, Meecham, Hershberger & Thoma, Inc.  
 5300 New Albany Road, Columbus, OH 43254  
 Phone: 614.775.6500 Fax: 614.775.3468  
 emht.com

DATE  
June 14, 2017

SCALE  
1" = 30'

JOB NO.  
2016-1324

SHEET  
**2/8**

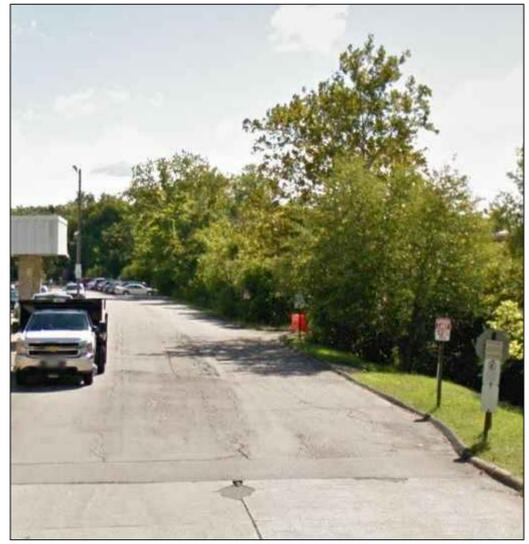


PHOTO #1 TAKEN SEPTEMBER 2016



PHOTO #2 TAKEN MARCH 2017



PHOTO #3 TAKEN MARCH 2017

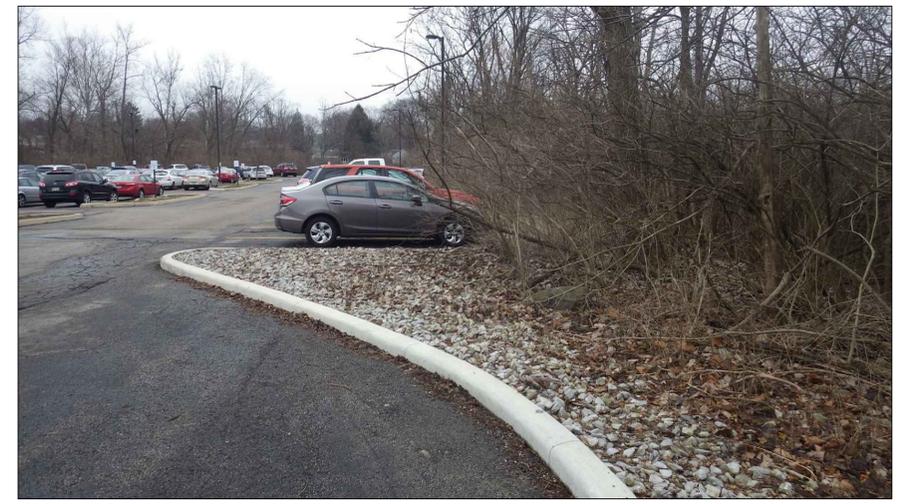
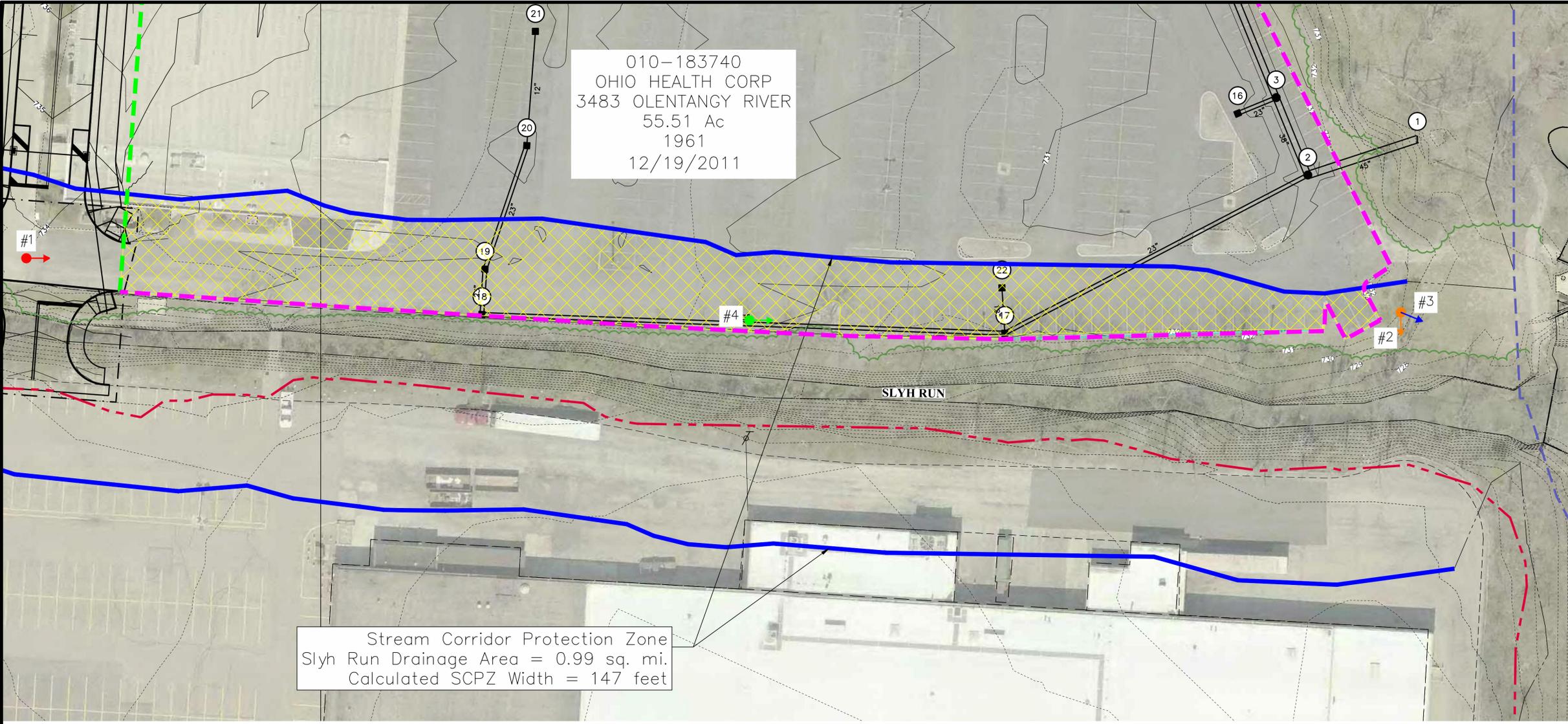


PHOTO #4 TAKEN FEBRUARY 2017

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Stream Corridor Protection Zone  
 Slyh Run Drainage Area = 0.99 sq. mi.  
 Calculated SCPZ Width = 147 feet

**LEGEND**

- - - - R/W LIMIT
- - - - LIMIT OF DISTURBANCE
- - - - 100-YEAR FLOODPLAIN (2008 FIRM)
- - - - FLOODWAY (2008 FIRM)
- EXISTING IMPERVIOUS/AREA TO BE RE-STRIPE = 0.584 ACRES
- ~ ~ ~ ~ EXISTING BRUSH AND TREE LINE (TO REMAIN)

MARK	DATE	DESCRIPTION

OHIOHEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
 EXHIBIT FOR PRIVATE IMPROVEMENTS  
 FOR  
**OHIO HEALTH HEADQUARTERS**  
**3483 OLENTANGY RIVER ROAD**  
 SCPZ VARIANCE - NO IMPACT PLAN

**EMHT**  
 Evans, Meecham, Hershberger & Thraen, Inc.  
 5300 New Albany Road, Columbus, OH 43254  
 Phone: 614.775.6500 Fax: 614.775.3468  
 emht.com

DATE  
 June 14, 2017

SCALE  
 1" = 30'

JOB NO.  
 2016-1324

SHEET  
 3/8

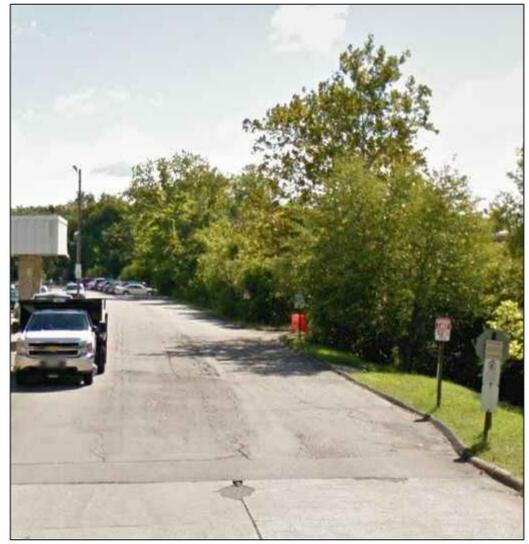


PHOTO #1 TAKEN SEPTEMBER 2016



PHOTO #2 TAKEN MARCH 2017



PHOTO #3 TAKEN MARCH 2017

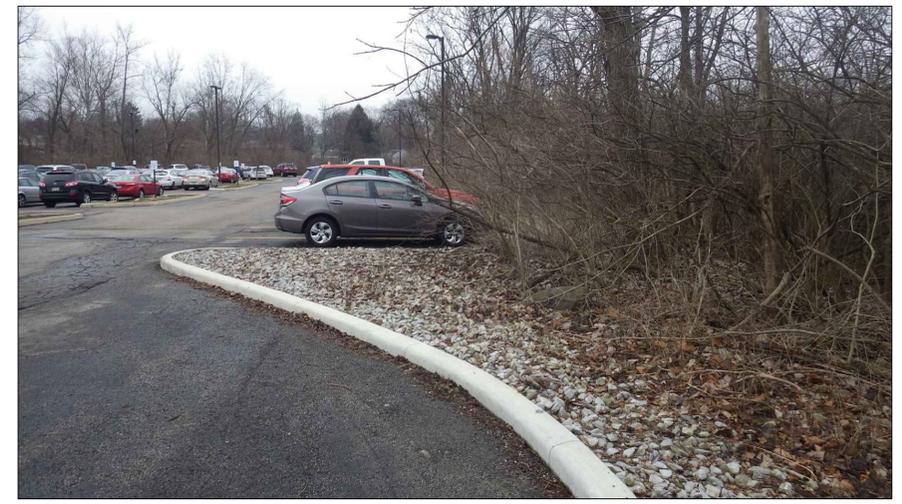
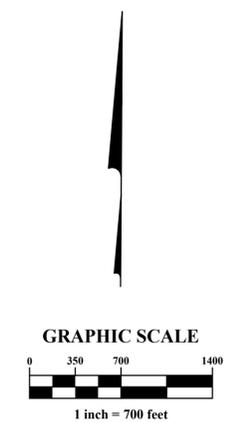
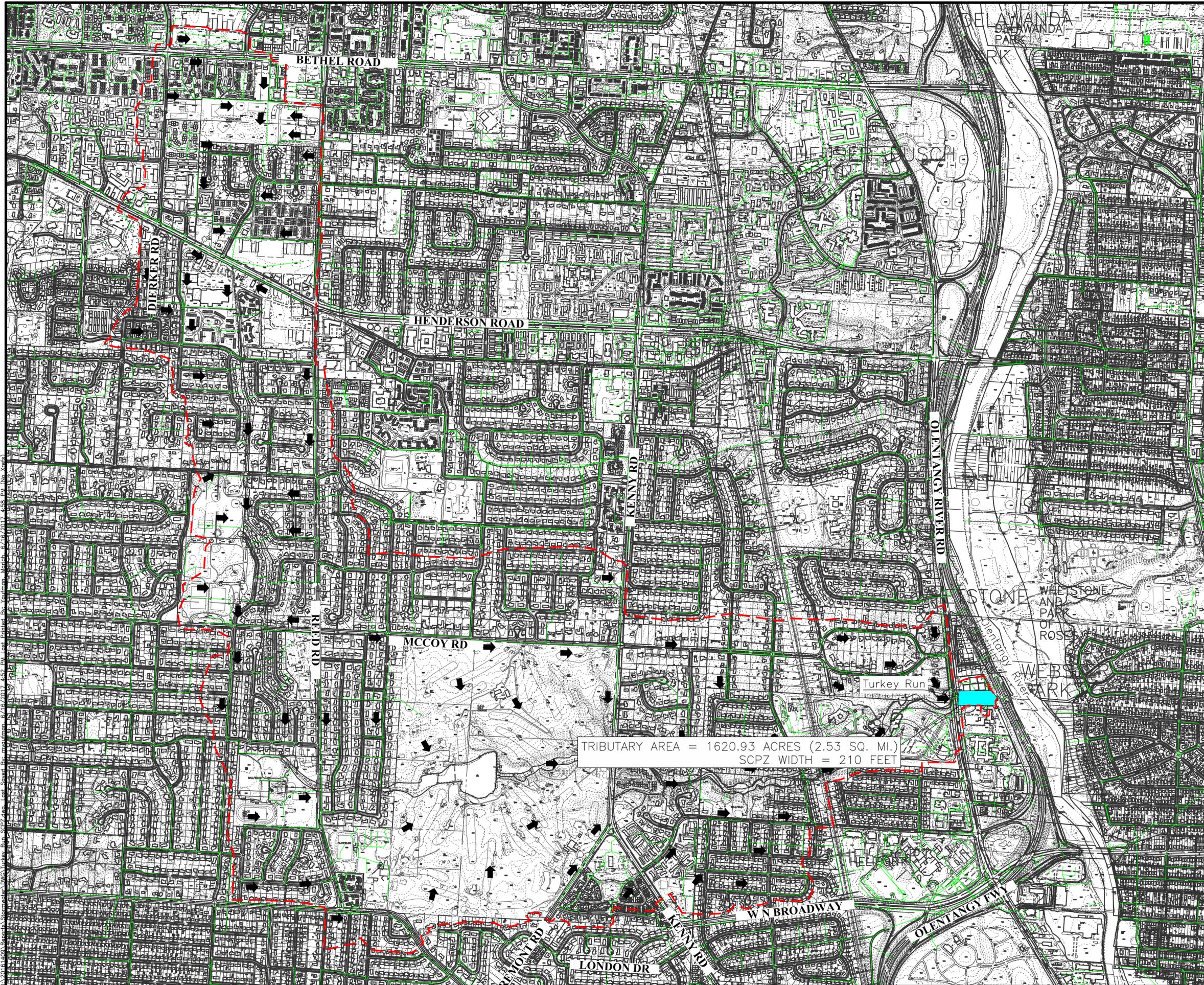


PHOTO #4 TAKEN FEBRUARY 2017



- Legend**
- Tributary Boundary
  - Stream Corridor Protection Zone
  - Flow Arrow
  - Storm Sewer  
(Source: City of Columbus  
Storm Sewer Utilities,  
September 2014)

Topography Source: Franklin County Auditor GIS (January 2017)

MARK	DATE	DESCRIPTION	REVISIONS

OHIOHEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
 EXHIBIT FOR PRIVATE IMPROVEMENTS  
 FOR  
**OHIOHEALTH PARKING LOT**  
**3720 OLENTANGY RIVER ROAD**  
**TURKEY RUN WATERSHED AND SCPZ**



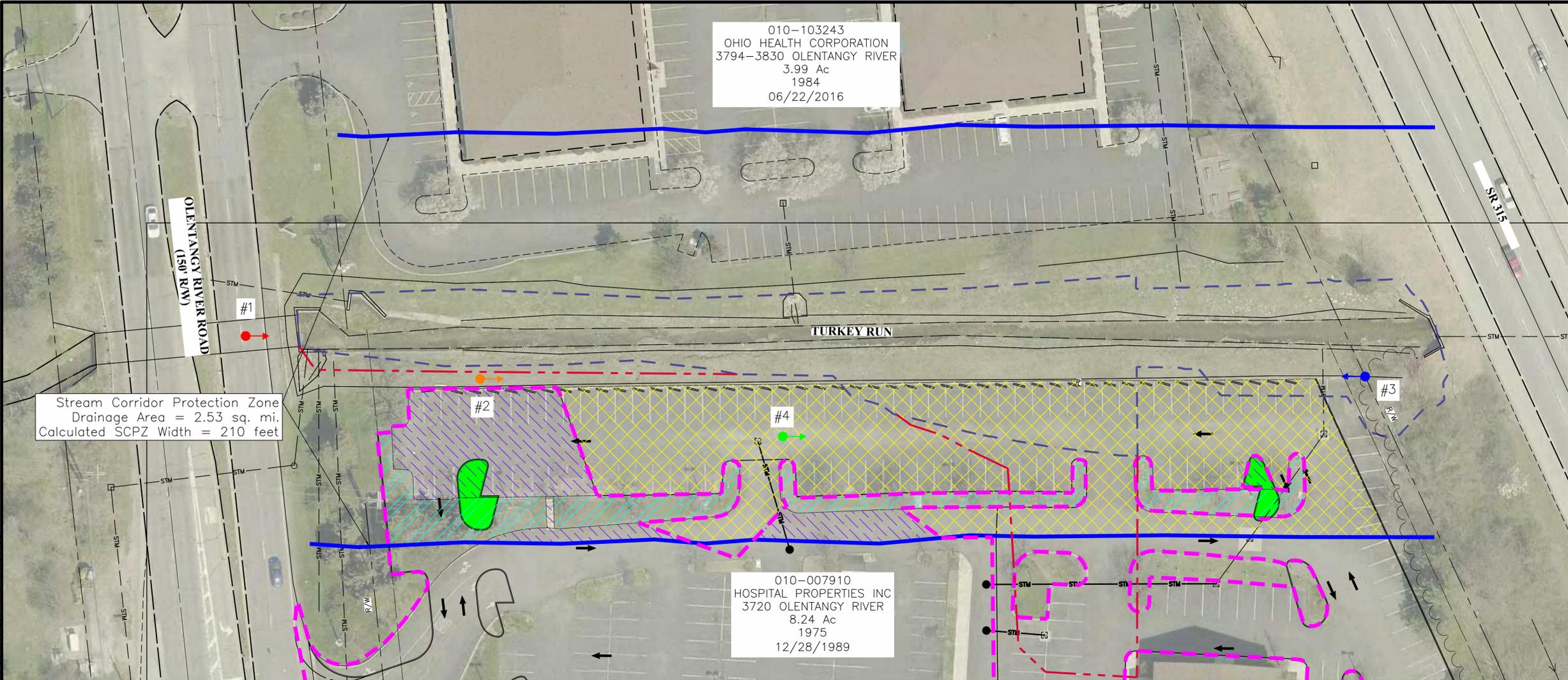
DATE  
June 16, 2017

SCALE  
1" = 700'

JOB NO.  
2016-1409

SHEET  
4/8

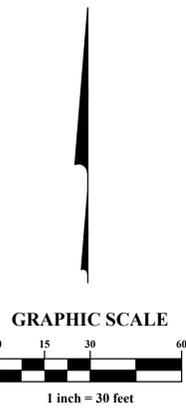
20161409\_Records\_Stormwater\_SCPZ\_Area\_1st\_Sheet\_Rev\_06/16/2017\_452\_Plotter: B:\Projects\2016\1409\161409\_Records\_Stormwater\_SCPZ\_Area\_1st\_Sheet\_Rev\_06/16/2017\_452\_Plotter.dwg



010-103243  
OHIO HEALTH CORPORATION  
3794-3830 OLENTANGY RIVER  
3.99 Ac  
1984  
06/22/2016

Stream Corridor Protection Zone  
Drainage Area = 2.53 sq. mi.  
Calculated SCPZ Width = 210 feet

010-007910  
HOSPITAL PROPERTIES INC  
3720 OLENTANGY RIVER  
8.24 Ac  
1975  
12/28/1989



**LEGEND**

- LIMIT OF DISTURBANCE
- 100-YEAR FLOODPLAIN (2008 FIRM)
- FLOODWAY (2008 FIRM)
- IMPACTED PERVIOUS AREA = 0.145 ACRES
- IMPACTED IMPERVIOUS AREA = 0.166 ACRES
- NEW PERVIOUS AREA = 0.020 ACRES
- AREA TO BE RE-STRIPED = 0.599 ACRES
- EXISTING BRUSH AND TREE LINE (TO REMAIN)

TOTAL IMPACT AREA = 0.311 ACRES (0.125 ACRES NET IMPERVIOUS AREA)



PHOTO #1 TAKEN SEPTEMBER 2016

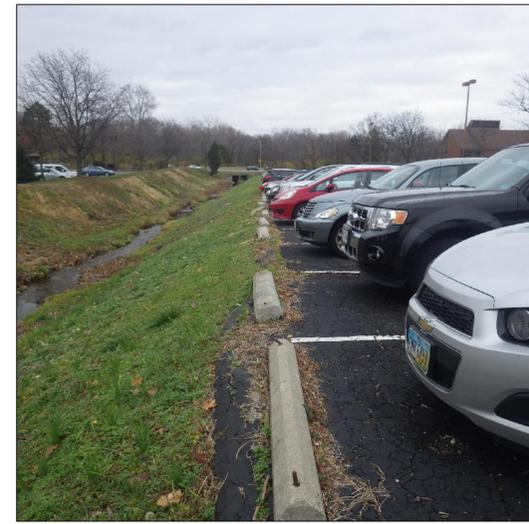


PHOTO #2 TAKEN DECEMBER 2016



PHOTO #3 TAKEN DECEMBER 2016



PHOTO #4 TAKEN DECEMBER 2016

MARK	DATE	DESCRIPTION

OHIOHEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
EXHIBIT FOR PRIVATE IMPROVEMENTS  
FOR  
**OHIOHEALTH PARKING LOT**  
**3720 OLENTANGY RIVER ROAD**  
SCPZ VARIANCE - PREFERRED PLAN



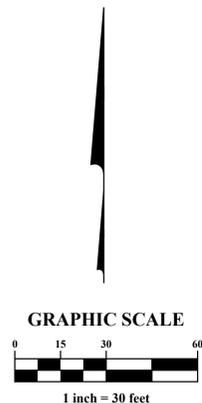
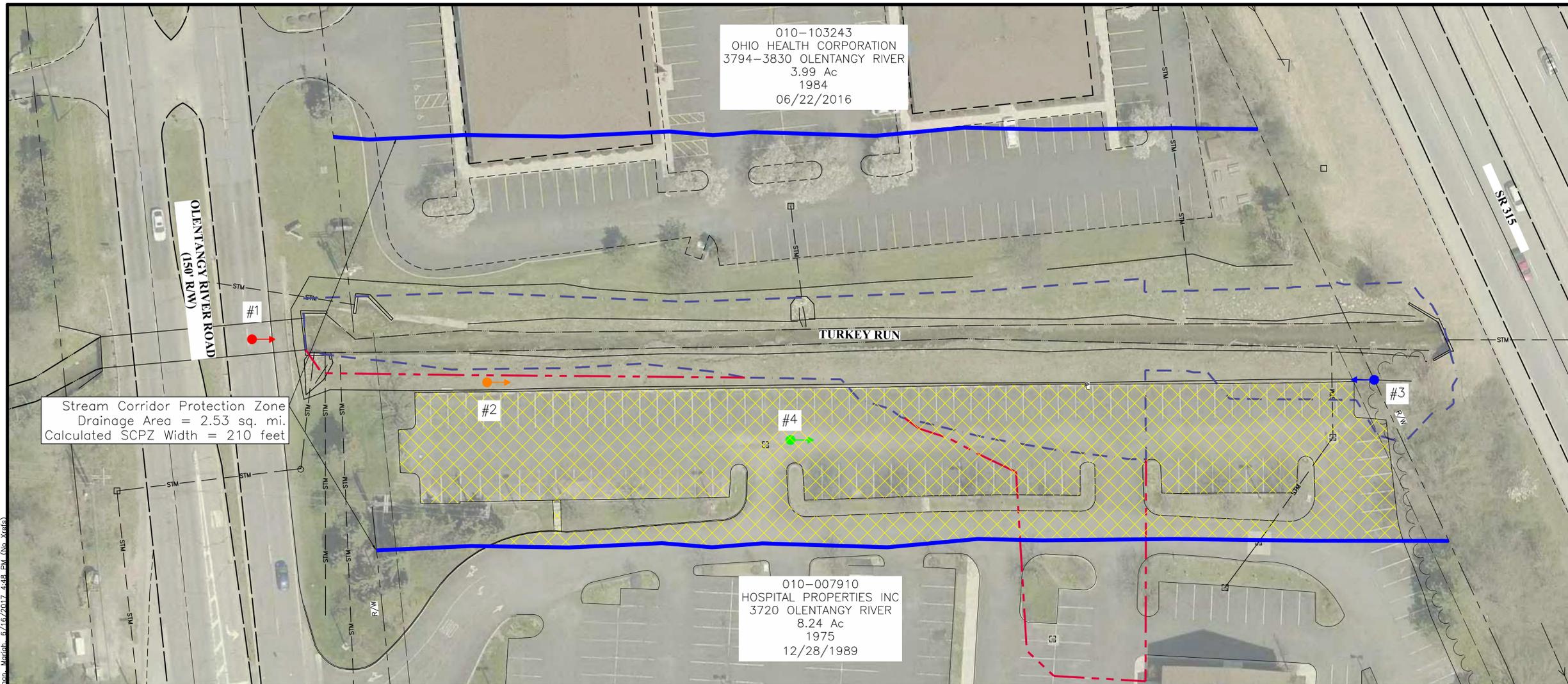
DATE  
June 16, 2017

SCALE  
1" = 30'

JOB NO.  
2016-1409

SHEET  
5/8

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**LEGEND**

- 100-YEAR FLOODPLAIN (2008 FIRM)
- FLOODWAY (2008 FIRM)
- EXISTING IMPERVIOUS/AREA TO BE RE-STRIPED = 0.781 ACRES
- ~ EXISTING BRUSH AND TREE LINE (TO REMAIN)

MARK	DATE	DESCRIPTION

OHIOHEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
EXHIBIT FOR PRIVATE IMPROVEMENTS  
FOR  
**OHIOHEALTH PARKING LOT**  
**3720 OLENTANGY RIVER ROAD**  
SCPZ VARIANCE - NO IMPACT PLAN

**EMHT**  
Evans, Meecham, Henderson & Tison, Inc.  
5500 New Albany Road, Columbus, OH 43254  
Phone 614.775.4500 Toll Free: 888.775.3448  
emht.com

DATE  
June 16, 2017

SCALE  
1" = 30'

JOB NO.  
2016-1409

SHEET  
**6/8**



PHOTO #1 TAKEN SEPTEMBER 2016

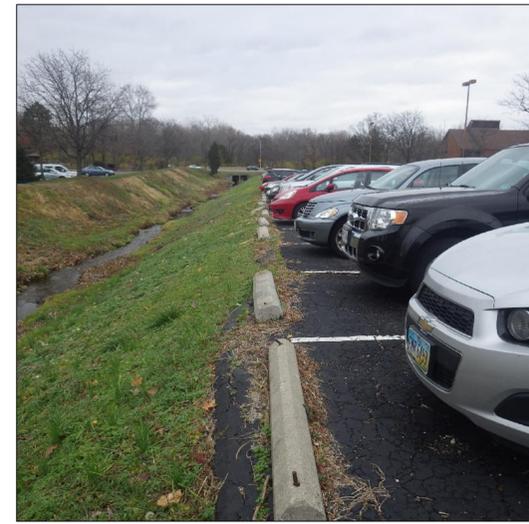


PHOTO #2 TAKEN DECEMBER 2016



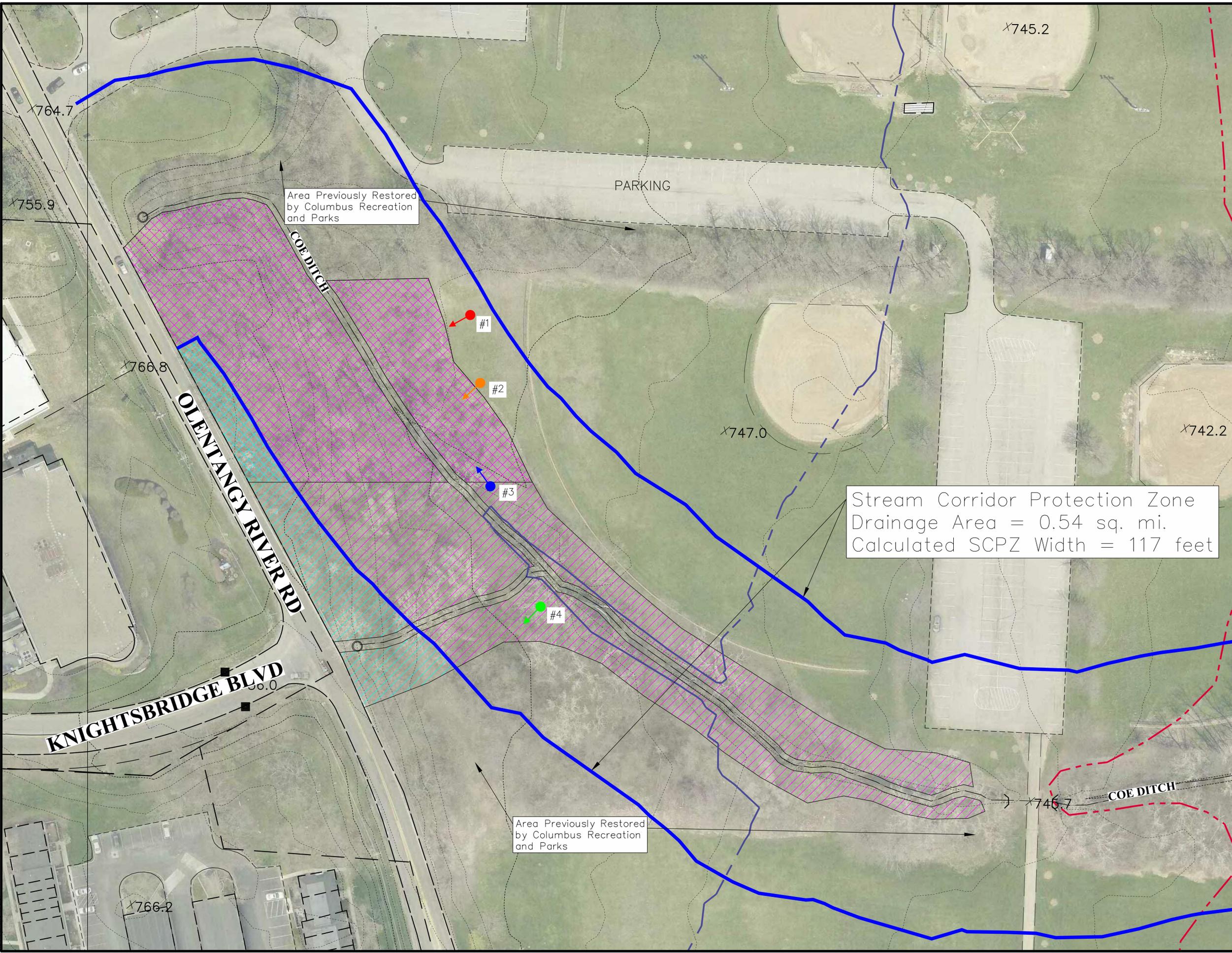
PHOTO #3 TAKEN DECEMBER 2016



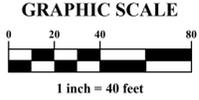
PHOTO #4 TAKEN DECEMBER 2016

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Stream Corridor Protection Zone  
 Drainage Area = 0.54 sq. mi.  
 Calculated SCPZ Width = 117 feet



- LEGEND**
- - - 100-YEAR FLOODPLAIN (2008 FIRM)
  - - - 500-YEAR FLOODPLAIN (2008 FIRM)
  - ▨ RIPARIAN MITIGATION AREA WITHIN SCPZ = 1.10 ACRES (SECTION A)
  - ▨ RIPARIAN MITIGATION AREA OUTSIDE OF SCPZ = 0.09 ACRES (SECTION A)
  - ▨ RIPARIAN MITIGATION AREA WITHIN SCPZ = 1.10 ACRES (SECTION B)
  - ▨ RIPARIAN MITIGATION AREA OUTSIDE OF SCPZ = 0.26 ACRES (SECTION B)

\*SEE NEXT SHEET FOR PHOTOS  
 \*\*SECTION B OF THE PROPOSED MITIGATION AREA IS SPECULATIVE AND RESERVED FOR USE IN ASSOCIATION WITH A FUTURE POTENTIAL TYPE III VARIANCE FOR PUBLIC ROADWAY IMPROVEMENTS

MARK	DATE	DESCRIPTION	REVISIONS

OHIO HEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
 EXHIBIT FOR PRIVATE IMPROVEMENTS  
**OHIO HEALTH**  
 FOR  
**4990 OLENTANGY RIVER ROAD**  
 SCPZ VARIANCE - MITIGATION PLAN



DATE  
June 20, 2017

SCALE  
1" = 40'

JOB NO.  
2016-1324

SHEET  
7/8



**PHOTO #1 TAKEN JUNE 15, 2017**  
**GRAPEVINE DAMAGE**



**PHOTO #2 TAKEN JUNE 15, 2017**  
**INVASIVE TREE-OF-HEAVEN**



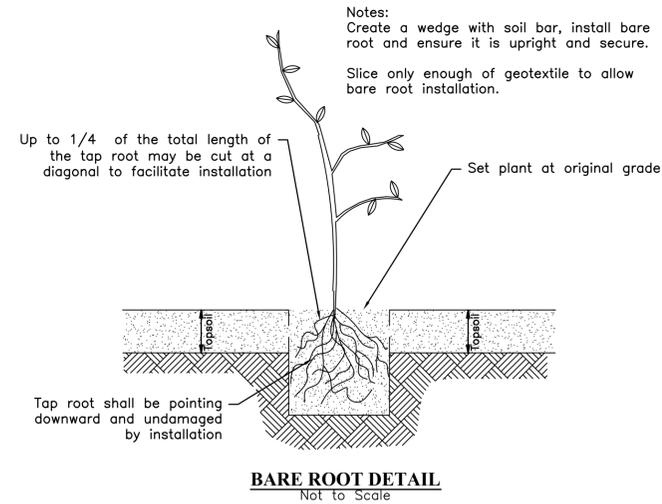
**PHOTO #3 TAKEN JUNE 15, 2017**  
**GRAPEVINE**



**PHOTO #4 TAKEN JUNE 15, 2017**  
**HONEYSUCKLE UNDERSTORY**



**POST-RESTORATION EXAMPLE**  
**(NO LOCATION ON EXHIBIT)**



PLANTING TABLE				
COMMON NAME	SCIENTIFIC NAME	QUANTITY	MATERIAL	SIZE
TREES				
RED OAK	QUERCUS RUBRA	400	BARE ROOT	18"
AMERICAN SYCAMORE	PLATANUS OCCIDENTALIS	400	BARE ROOT	18"
EASTERN COTTONWOOD	POPULUS DELTOIDES	400	BARE ROOT	18"
OAK (S)	QUERCUS SPP.	100	BARE ROOT	18"
BLACK CHERRY*	PRUNUS SEROTINA	100	BARE ROOT	18"
SHRUBS				
GRAY DOGWOOD	CORNUS RACEMOSA	300	BARE ROOT	18"
ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	300	BARE ROOT	18"

\* Acceptable substitutes:  
Easternredbud (Cercis canadensis)  
Honey locust (thornless) (Gleditsia triacanthos 'inermis')

**INVASIVE SPECIES REMOVAL**

All invasive bush honeysuckle shrubs (Lonicera sp.) and Tree-of-Heaven (Ailanthus altissima) saplings and trees within the areas indicated on the exhibit shall be cut near to the ground by hand, leaving a low stump (1-2 inches high). In addition, all grape vines will be traced to area(s) rooted into the ground and cut on both sides of the vine where it is rooted into the ground. No mechanized clearing or grubbing should occur. Remove and dispose of cut material off-site.

Apply water-based glyphosate herbicide (trade name Rodeo, Accord, or approved equal) to the cut surface of shrubs, trees, and vines immediately (within three (3) minutes) after cutting. Apply at least 20% of active ingredient, however a 100 percent solution is recommended for best results, following specifications given on the product label. Application using a hand-held or backpack sprayer, or paintbrush, is advised. Care should be taken not to apply herbicide to adjacent native vegetation.

MARK	DATE	DESCRIPTION

OHIOHEALTH

CITY OF COLUMBUS, FRANKLIN COUNTY, OHIO  
EXHIBIT FOR PRIVATE IMPROVEMENTS  
FOR  
**OHIO HEALTH**  
4990 OLENTANGY RIVER ROAD  
SCPZ VARIANCE - MITIGATION PLAN



DATE  
June 16, 2017

SCALE  
As Noted

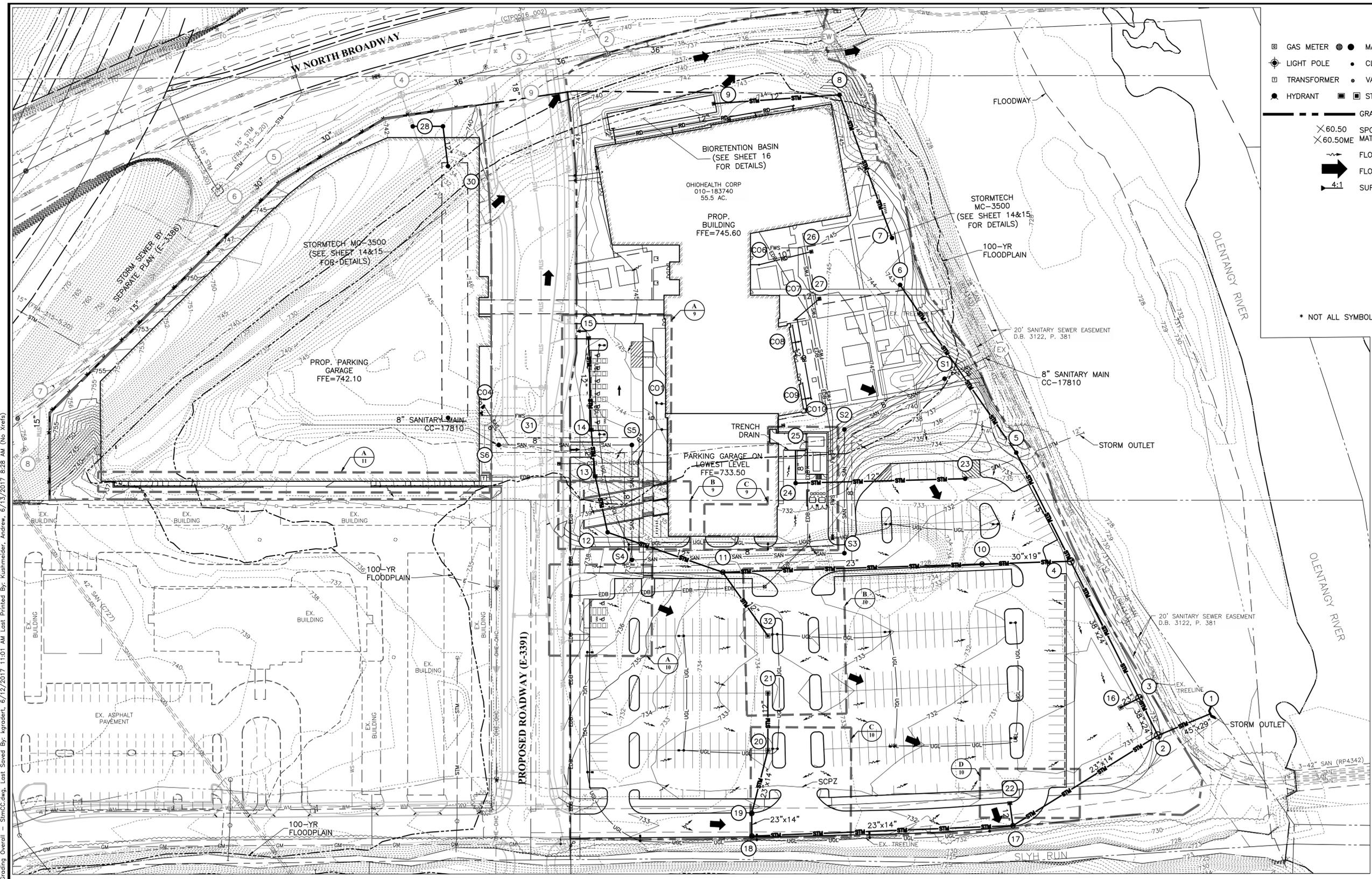
JOB NO.  
2016-1324

SHEET  
8/8



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## APPENDIX A



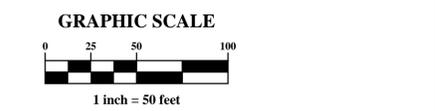
**LEGEND**

**PROPOSED**

⊠	GAS METER	●	MANHOLE	— FWS —	FWS	—	FIRE SERVICE		
⊙	LIGHT POLE	●	CLEANOUT	— WM —	WM	—	WATER MAIN		
⊠	TRANSFORMER	●	VALVE	— WS —	WS	—	WATER SERVICE		
⊠	HYDRANT	⊠	STORM INLET	— SAN —	SAN	—	SANITARY SEWER		
—	GRADING LIMITS	— SAS —	SAS	—	SANITARY LATERAL	— STM —	STM	—	STORM SEWER
⊗ 60.50	SPOT ELEVATION	— SAN-STM —	SAN-STM	—	COMBINED SEWER	—	STORM UNDERDRAIN		
⊗ 60.50ME	MATCH EXISTING	— CDB —	CDB	—	COMMUNICATIONS DUCT BANK	—	—		
→	FLOW DIRECTION	— OHC —	OHC	—	OVERHEAD COMMUNICATIONS	—	—		
→	FLOOD ROUTING	— E —	E	—	ELECTRIC	—	—		
↗ 4:1	SURFACE SLOPE	— EDB —	EDB	—	ELECTRIC DUCT BANK	—	—		
		— OHE —	OHE	—	OVERHEAD ELECTRIC	—	—		
		— GS —	GS	—	GAS SERVICE	—	—		
		— UGL —	UGL	—	UNDERGROUND LIGHTING	—	—		
		— IRR —	IRR	—	IRRIGATION	—	—		

\* NOT ALL SYMBOLS OR LINETYPES NECESSARILY USED

- GENERAL NOTES**
- THIS FLOODPLAIN COMPLIANCE PLAN IS PROVIDED SOLELY FOR THE PURPOSE OF ADDRESSING THE REQUIREMENTS OF CHAPTER 1150 OF THE CITY'S CODIFIED ORDINANCES (FLOODPLAIN MANAGEMENT). PLEASE REFER TO SHEETS 6 THRU 8 OF THIS PLAN FOR ALL GRADING LIMITS AND ELEVATIONS ASSOCIATED WITH THIS PROJECT.
  - WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES AND LOCATIONS NOTED THUS, EXPOSE, UNCOVER EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF ORDERING MATERIALS AND LAYING PIPE OR DUCT AND PROVIDE THE ENGINEER THE LOCATION AND ELEVATION OF SAID UTILITY, SO THE ENGINEER CAN DETERMINE IF ANY ADJUSTMENTS ARE NECESSARY.
  - ALL ELEVATIONS ALONG CURB REPRESENT THE PAVEMENT ELEVATION AT THE FACE OF CURB. ADD 0.5' TO OBTAIN THE TOP OF CURB ELEVATION.
  - MAXIMUM CROSS SLOPE ON ALL SIDEWALKS SHALL BE 1.56% UNLESS OTHERWISE NOTED.
  - EXTEND UNDERDRAINS TO NEAREST STORM STRUCTURE. SLOPE TO DRAIN.
  - STABILIZED SITE SHALL BE DEFINED AS PAVED AREAS HAVING A MINIMUM INTERMEDIATE COURSE AND GRASS AREAS HAVING 95% GRASS ESTABLISHED. NO SEDIMENT AND EROSION CONTROL DEVICES SHALL BE REMOVED UNTIL SITE IS STABILIZED.
  - ALL DIMENSIONS AND SPOT ELEVATIONS ARE TO FACE OF BUILDING, FACE OF CURB AND EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  - PROVIDE 6 INCHES OF TOPSOIL AND SEED ON ALL AREAS DISTURBED BY CONSTRUCTION.
  - SITE LIGHTING WORK FOR REFERENCE ONLY. COORDINATE SITE ELECTRICAL WORK WITH ELECTRICAL DRAWINGS.
  - SUPPORT UTILITIES EXPOSED DURING EXCAVATION.
  - PROTECT EXISTING PAVEMENT, UTILITIES AND ALL OTHER SITE FEATURES TO REMAIN. REPLACE ANY DAMAGE TO THE SATISFACTION OF THE UNIVERSITY AT NO ADDITIONAL COST.
  - EXPORT ALL EXCESS SOILS OFFSITE IN ACCORDANCE WITH LOCAL CODES.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION FENCING, CONSTRUCTION TRAFFIC AND MAINTENANCE OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE LIGHTS, SIGNS, BARRICADES, AND OTHER DEVICES TO WARN AND PHYSICALLY SEPARATE THE PEDESTRIANS AND VEHICULAR TRAFFIC FROM THE HAZARDS OF THE CONSTRUCTION AND DEMOLITION OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFE MOVEMENT OF PEDESTRIANS THROUGH, AROUND, OR DETOURED AWAY FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC FROM CONSTRUCTION TRAFFIC AT ALL TIMES DURING THE PROJECT.
  - SPOT ELEVATIONS ARE TRUNCATED FOR CLARITY, ADD 700' TO OBTAIN ACTUAL ELEVATION.
  - CONNECTION TO SANITARY SEWER CANNOT BE MADE WITHOUT OBTAINING A PERMIT FROM SEWER PERMIT OFFICE AT 910 DUBLIN ROAD, 3RD FLOOR (614-645-7490). SANITARY SERVICE SHOWN FOR INFORMATION ONLY.



EASEMENT REFERENCE			REVISIONS		PLAN PREPARED BY:
CITY NO.	COUNTY RECORDER VOL.	PAGE	NO.	DESCRIPTION	

PLAN PREPARED BY:

PROJECT TITLE:

PRIVATE STORM SEWER IMPROVEMENT PLAN FOR OHIOHEALTH ADMINISTRATIVE OFFICES  
3420 OLENTANGY RIVER ROAD  
OVERALL STORM SEWER & GRADING PLAN

DIVISION USE ONLY		OWNER	
		CONTRACTOR	
INSPECTOR			
AGREEMENT	COMPLETED		
RPD	CKD	CID	CON.DR.
INDEX DETAIL		RECORD FILE	

CITY OF COLUMBUS, OHIO  
DEPARTMENT OF PUBLIC UTILITIES  
DIVISION OF SEWERAGE AND DRAINAGE  
DIVISION USE ONLY

SCALE: 1" = 50'	SHEET 6 / 19
CONTRACT DRAWING NO. CC-17800	RECORD PLAN NO.

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## **APPENDIX B**

