

REZONING APPLICATION

Department of Building & Zoning Services

Scott Messer, Director

757 Carolyn Avenue, Columbus, Ohio 43224-3218

Phone: 614-645-7433 www.columbus.gov

OFFICE USE ONLY

Application #: 217-037 Date Received: 8/29/17

Application Accepted By: SP + KP Fee: \$6720

Assigned Planner: Kelsey Priebe; kpriebe@columbus.gov; 614-645-1341

LOCATION AND ZONING REQUEST:

Certified Address (for Zoning Purposes) 8835 S. Old State Road Zip 43035

Is this application being annexed into the City of Columbus Yes No (select one)

If the site is currently pending annexation, Applicant must show documentation of County Commissioner's adoption of the annexation petition.

Parcel Number for Certified Address 31834101006000

Check here if listing additional parcel numbers on a separate page.

Current Zoning District(s) R Requested Zoning District(s) L-ARLD

Area Commission Area Commission or Civic Association: Far North Columbus Communities Coalition

Proposed Use or reason for rezoning request: multi-family

(continue on separate page if necessary)

Proposed Height District: 60 ft. Acreage 11.05

[Columbus City Code Section 3309.14]

APPLICANT:

Name Arlington Properties

Address 2117 Second Avenue North City/State Birmingham, AL Zip 35203

Phone # 205-397-6831 Fax # _____ Email wmorris@arlingtonproperties.net

PROPERTY OWNER(S):

Name See attached list

Address _____ City/State _____ Zip _____

Phone # _____ Fax # _____ Email _____

Check here if listing additional property owners on a separate page

ATTORNEY / AGENT (CHECK ONE IF APPLICABLE) Attorney Agent

Name Jeffrey L. Brown

Address 37 West Broad Street, Suite 460 City/State Columbus, OH Zip 43215

Phone # 614-221-4255 Fax # 614-221-4409 Email: jlbrown@smithandhale.com

SIGNATURES (ALL SIGNATURES MUST BE PROVIDED AND SIGNED IN BLUE INK)

APPLICANT SIGNATURE [Signature]

PROPERTY OWNER SIGNATURE _____

ATTORNEY / AGENT SIGNATURE [Signature]

My signature attests to the fact that the attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay the review of this application.

PLEASE NOTE: incomplete information will result in the rejection of this submittal.
Applications must be submitted by appointment. Call 614-645-4522 to schedule.
Please make all checks payable to the Columbus City Treasurer

Norma Jean Lunzar
Attn: Mark A Myer
18035 SE Main Street
Portland, OR 97233
318-341-03-002-000

Connie Harmon
1550 Candlelite Lane
Lewis Center, OH 43035
318-341-03-003-000

Paul M Jr & Cathy L Canter
1651 Candlelite Lane
Lewis Center, OH 43035
318-432-01-006-000

Ostap Szwabinsky
Larry Barnett
David Marhover
229 Brisbane Avenue
Westerville, OH 43081
318-341-01-006-000

John & Angela Harris
1543 Candlelite Lane
Lewis Center, OH 43035
318-341-01-005-000

James W Rosenberry
465 Trace Drive
Delaware, OH 43015
318-341-01-004-000

arlington-candlelight.lst (nct)
6/23/17 S:Docs

217-037

REZONING APPLICATION

Department of Building & Zoning Services
Scott Messer, Director
757 Carolyn Avenue, Columbus, Ohio 43224-3218
Phone: 614-645-7433 www.columbus.gov

AFFIDAVIT

(See instruction sheet)

APPLICATION # 217-037

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (1) NAME Jeffrey L. Brown
of (1) MAILING ADDRESS 37 West Broad Street, Suite 460, Columbus, OH 43215

deposed and states that (he/she) is the applicant, agent, or duly authorized attorney for same and the following is a list of the name(s) and mailing address(es) of all the owners of record of the property located at

(2) CERTIFIED ADDRESS FOR ZONING PURPOSES 8835 S. Old State Road
for which the application for a rezoning, variance, special permit or graphics plan was filed with the Department of Building and Zoning Services, on (3) 8/29/17

(THIS LINE TO BE FILLED OUT BY CITY STAFF)

SUBJECT PROPERTY OWNERS NAME
AND MAILING ADDRESS

(4) see attached list

Check here if listing additional property owners on a separate page.

APPLICANT'S NAME AND PHONE #
(same as listed on front of application)

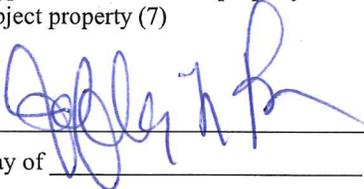
Arlington Properties
205-397-6831

AREA COMMISSION OR CIVIC GROUP
AREA COMMISSION ZONING CHAIR OR
CONTACT PERSON AND ADDRESS

(5) Far North Columbus Communities Coalition
Jim Palmisano
P.O. Box 66
Columbus, OH 43035

and that the attached document (6) is a list of the names and complete mailing addresses, including zip codes, as shown on the County Auditor's Current Tax List or the County Treasurer's Mailing List, of all the owners of record of property within 125 feet of the exterior boundaries of the property for which the application was filed, and all of the owners of any property within 125 feet of the applicant's or owner's property in the event the applicant or the property owner owns the property contiguous to the subject property (7)

SIGNATURE OF AFFIANT

(8) 

Sworn to before me and signed in my presence this _____ day of _____, in the year _____

SIGNATURE OF NOTARY PUBLIC

(8) _____

My Commission Expires: _____

Notary Seal Here

This Affidavit expires six (6) months after date of notarization.

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PROPERTY OWNERS

Norma Jean Lunzar
Attn: Mark A Myer
18035 SE Main Street
Portland, OR 97233

Connie Harmon
1550 Candlelite Lane
Lewis Center, OH 43035

Paul M Jr & Cathy L Canter
1651 Candlelite Lane
Lewis Center, OH 43035

Ostap Szwabinsky
Larry Barnett
David Marhover
229 Brisbane Avenue
Westerville, OH 43081

John & Angela Harris
1543 Candlelite Lane
Lewis Center, OH 43035

James W Rosenberry
465 Trace Drive
Delaware, OH 43015

AREA COMMISSION

ATTORNEY

APPLICANT

Far North Columbus Communities
Coalition
c/o Jim Palmisano
P.O. Box 66
Columbus, OH 43035

Jeffrey L. Brown
Smith & Hale LLC
37 West Broad Street, Suite 460
Columbus, OH 43215

Arlington Properties
2117 2nd Avenue North
Birmingham, AL 35203

SURROUNDING PROPERTY OWNERS

Devin S & Mary M Wasylewych
9031 Barley Loft Drive
Columbus, OH 43240

Jason K & Tara M Justice
9023 Barley Loft Dr.
Columbus, OH 43240

Liu Fang & He Guoping
9007 Barley Loft Dr.
Columbus, OH 43240

AH4R Properties LLC
8999 Barley Loft Drive
Columbus, OH 43240

Zhen Yan
9039 Barley Loft Dr.
Columbus, OH 43240

Aaron & Tiffany Weave
9047 Barley Loft Dr.
Columbus, OH 43240

City of Columbus Re Mgmt Office
90 W. Broad St
Columbus, OH 43215

Patrick Wabwire
9073 Misty Dawn Dr.
Columbus, Oh 43240

Stan Bulanov
9081 Misty Dawn Blvd.
Columbus, OH 43240

Kalpa & Suryavanshi Abhijit Baghasingh
9089 Misty Dawn Sr.
Columbus, OH 43240

Nana Yaw Sarpong & Elizabeth Appiah
9097 Misty Dawn Dr.
Columbus, OH 43240

Jordan P & Monica R Knight
9105 Misty Dawn Dr.
Columbus, OH 43240

John & Anne Cramer
9113 Misty Dawn Dr.
Columbus, OH 43240

TVSS Polaris Orange LLC
815 Grandview Avenue
Columbus, OH 43215

Polaris Grand LLC
850 Polaris Grand Drive
Lewis Center, OH 43035

DDM Polaris LLC
6610 Chatsworth Street
Canton, OH 44718

Laura Allison
9121 Misty Dawn Drive
Columbus, OH 43240

Douglas Johnson
Katherine Krantz
9046 Barley Loft Drive
Columbus, OH 43240

Eric Rathburn
9062 Barley Loft Drive
Columbus, OH 43240

Primus Suffren
9129 Misty Dawn Drive
Columbus, OH 43240

Brannon & Michelle Moser
8991 Barley Loft Drive
Columbus, OH 43240

Olutayo Shenbunjo
9054 Barley Loft Drive
Columbus, OH 43240

Charles & Jennifer Lamphausen
8983 Barley Loft Drive
Columbus, OH 43240

arlington-candlelite.lbl (nct)
8/16/17 S:Docs/s&hlabels/2017

REZONING APPLICATION

Department of Building & Zoning Services
Scott Messer, Director
757 Carolyn Avenue, Columbus, Ohio 43224-3218
Phone: 614-645-7433 www.columbus.gov

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.
THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION # 217-031

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Jeffrey L. Brown
of (COMPLETE ADDRESS) 37 West Broad Street, Suite 460, Columbus, OH 43215
deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

Name of business or individual
Business or individual's address
Address of corporate headquarters
City, State, Zip
Number of Columbus based employees
Contact name and number

1. <u>Arlingotn Properties</u> <u>2117 Second Avenue North</u> <u>Birmingham, AL 35203</u> <u>205-397-6831</u> <u>William Morris</u>	2. <u>see attached list</u>
3. <u>no Columbus based employees</u>	4.

Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT

[Signature]

Subscribed to me in my presence and before me this 29th day of AUGUST, in the year 2017

SIGNATURE OF NOTARY PUBLIC

[Signature]

My Commission Expires:

9/4/2020

This Project Disclosure Statement expires six months after date of notarization.

Natalie C. Timmons
Notary Public, State of Ohio
My Commission Expires 09-04-2020



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6/23/17 S:Docs

City of Columbus Zoning Plat



ZONING NUMBER

The Zoning Number Contained on This Form
is Herein Certified to Obtain Zoning, Rezoning,
and Variances, and is NOT to be Used for
the Securing of Building & Utility Permits

Parcel ID: 31834101006000 + 9 MORE PARCELS

Zoning Number: 8835

Street Name: S OLD STATE RD

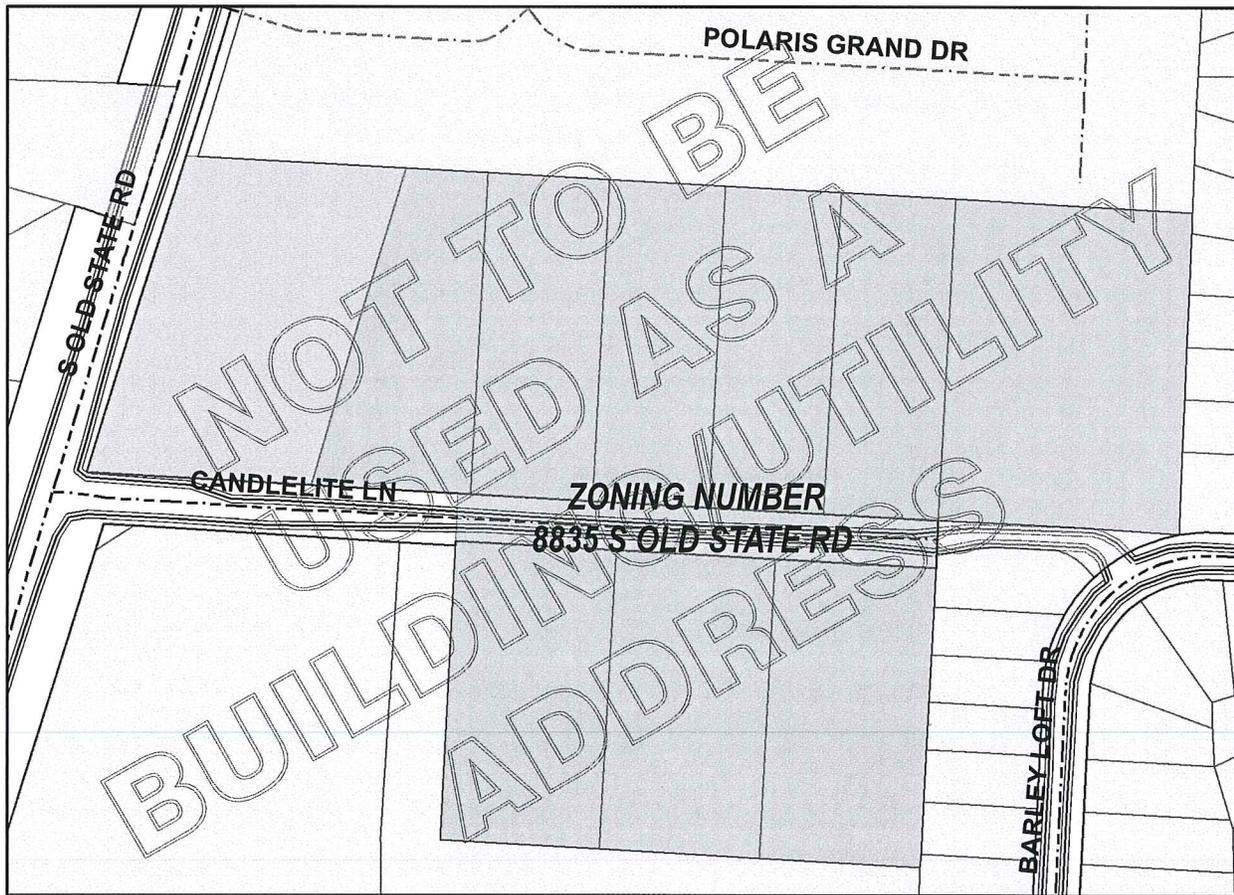
Lot Number: N/A

Subdivision: N/A

Requested By: SMITH & HALE (JACK REYNOLDS)

Issued By: *Adyana Umariam*

Date: 8/14/2017



FRANK D. WILLIAMS, ADMINISTRATOR
DIVISION OF INFRASTRUCTURE MANAGEMENT
COLUMBUS, OHIO

SCALE: 1 inch = 200 feet

GIS FILE NUMBER: 99975

217-037

CITY OF COLUMBUS

Situated in the State of Ohio, County of Delaware, Township of Orange, in Farm Lot 3, Quarter Township 3 and Farm Lot 22, Quarter Township 4, Township 3, Range 18, United States Military Lands, being all of Lots 186, 187, 188, 189, 190, 191, 195, 196 and 197 of the subdivision entitled "Shuster Subdivision", of record in Plat Book 7, Page 49 (all references are to the records of the Recorder's Office, Delaware County, Ohio) and more particularly bounded and described as follows:

BEGINNING at the northeasterly corner of Reserve "B" of the subdivision entitled "Prestwick Commons Section 4", of record in Plat Cabinet 2, Slide 322, in the existing corporation line of the City of Columbus as established by Ordinance Number 1497-97, of record in Official Record 20, Page 1078;

thence North 86° 47' 23" West, with the northerly line of said Reserve "B" and the existing corporation line of the City of Columbus as established by Ordinance Number 20-98, of record in Plat Cabinet 2, Slide 572;

thence South 03° 12' 37" West, with a westerly line of said "Prestwick Commons Section 4" and said corporation line, a distance of 364.00 feet to the northeasterly corner of Lot 6608 of the subdivision entitled "Giltz Subdivision", of record in Plat Cabinet 3, Slide 343;

thence North 86° 47' 23" West, with a northerly line of said Lot 6608, a distance of 508.50 feet to a corner thereof;

thence North 03° 12' 37" East, with an easterly line of said Lot 6608 and crossing the right of way of Candlelite Lane, a distance of 364.00 feet to a point in the northerly right-of-way line of Candlelite Lane;

thence North 86° 47' 23" West, with said northerly right-of-way line, a distance of 155.76 feet to the southeasterly corner of Lot 185 of said "Shuster Subdivision";

thence North 16° 59' 37" East, with the easterly line of said Lot 185 and the easterly line of that 0.998 acre tract conveyed as Parcel 62-WD to the Delaware County Commissioners by deed of record in Official Record 1395, Page 994, a distance of 347.00 feet to a point in the southerly line of that 13.961 acre tract conveyed as Tract II to Polaris Grand, LLC by deed of record in Official Record 1233, Page 2765, in the existing corporation line of the City of Columbus as established by Ordinance Number 1030-2005, of record in Plat Cabinet 3, Slide 620;

thence South 86° 47' 23" East, with the southerly line of said 13.961 acre tract and said corporation line, a distance of 837.59 feet to a point in the westerly line of said "Prestwick Commons Section 4";

thence South 03° 12' 37" West, with said westerly line and said corporation line, a distance of 337.00 feet to the POINT OF BEGINNING, containing 11.05 acres of land, more or less.

DEVELOPMENT TEXT

Application: Z17- 037
Address: 8835 South Old State Road
Owner: Norma Jean Lunzar et al.
Applicant: Arlington Properties
Zoning Districts: L-ARLD
Date of Text: 8/24/17

1. Introduction: The subject site is being annexed from Orange Township into the City of Columbus. The site is on the east side of South Old State Road, 728 feet ± north of Polarius Parkway.

2. Permitted Uses: Those uses permitted in Section 3333.02 AR-12, ARLD and AR-1 apartment residential district use of the Columbus City Code.

3. Development Standards: Except as otherwise noted herein or on the submitted drawing, the applicable development standards of Chapter 3333 Apartment Districts of the Columbus City Code shall apply to this site.

A. Density, Height, Lot, and/or Setback Commitments.

1. Maximum number of dwelling units shall be 176.
2. See accompanying council variance regarding perimeter yard.

B. Access, Loading, Parking and/or Other Traffic Related Commitments.

1. Access shall be as depicted on the attached Site Plan unless modified by the City's Department of Public Service.

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. The setback area west of the parking spaces and north of Candlelite Lane shall be landscaped as follows: one street tree for 35 feet of frontage. These trees may be evenly spaced or grouped.
2. The area within the north perimeter yard shall be landscaped as follows: in the areas shown on the submitted site plan at the rate of six (6) trees per 100 lineal feet with the six (6) trees consisting of a 3:1 ratio of evergreen trees to ornamental and/or street trees; the area within the east perimeter yard shall be landscaped as follows: in the area shown on the submitted site plan at the rate of eight (8) trees per 100 lineal feet with the eight (8) trees consisting of a 3:1 ratio of evergreen trees to ornamental and/or street trees.
3. Street trees shall be installed along the frontage of Candlelite Lane adjacent to the applicant's site subject to the review and approval of the City of Columbus were applicable on the basis of 1 tree for every 35 feet of frontage. Trees may be evenly spaced or grouped together.
4. Utility crossing(s) may be required across perimeter yard areas and shall be permitted for provisions of utilities to the site.

D. Building Design and/or Interior-Exterior Treatment Commitments.

1. The applicant has submitted building elevations as part of its zoning application. The buildings shall be developed in accordance with the submitted building elevations. The building elevations may be slightly adjusted to reflect engineering, topographical, or other site data developed at the time of the development and when

engineering and architectural drawings are completed. Any slight adjustments to the building elevations shall be subject to review and approval by the Director of the Department of Building and Zoning Services, or a designee, upon submission of the appropriate data regarding proposed adjustment.

E. Lighting, Outdoor Display Areas, and/or other Environmental Commitments.

1. Maximum height of light poles shall be fourteen feet.
2. All external lighting (parking and wall-mounted) shall be cut-off fixtures (down lighting) and shall be designed to prevent offsite spillage.

F. Graphics and/or Signage Commitments.

1. Any variance to the standards of Columbus City Code shall be submitted to the Columbus Graphics Commission.

G. Miscellaneous Commitments.

1. There shall be an internal sidewalk system within the development as shown on the submitted site plan.
2. The developer shall comply with the parkland dedication ordinance.
3. All new wiring shall be underground.
4. The proposed development shall be developed in general conformance with the submitted Site Plan. The plan may be adjusted to reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any adjustment to the Site Plan shall be reviewed and may be approved by the City's Director of the Department of Building & Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.

The undersigned, being the agent for the owner of the subject property together with the applicant in the subject application, does hereby agree on behalf of the owner and the applicant, singularly and collectively for themselves, their successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions, or commitments shall in any manner act to negate, nullify, alter, or modify any more restrictive provision of the Columbus City Code.

Respectfully Submitted,

Jeffrey L. Brown, Esq.

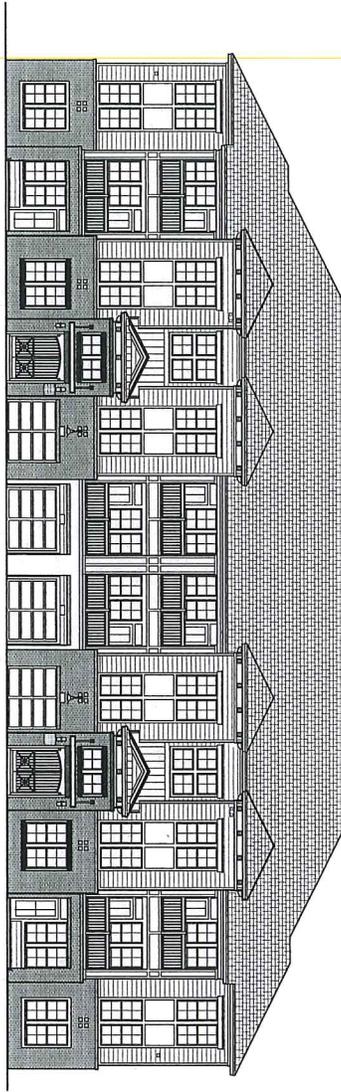
arlington.txt (nct)
8/28/17 S:Docs/s&htxts/2017

ARLINGTON PROPERTIES

2117 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PHONE: 205-328-9600
www.arlingtonproperties.net

Candlelight Lane Apartments

Columbus, Ohio



CONCEPTUAL ELEVATION

Preliminary Set - August 28, 2017

ARCHITECT



charlan brock & associates

1770 FENNEL STREET
MAITLAND, FLORIDA 32751

PH. 407-660-8900

FAX. 407-575-9948

www.cbarchitects.com

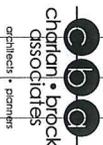
CONTACT: DOUG ANDERSON

EMAIL: DOUG@CBAAARCHITECTS.COM



CANDLELIGHT LANE APARTMENTS COLUMBUS, OHIO

ARLINGTON PROPERTIES
2117 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PH. 205-328-9600



charlan brock
associates

architects + designers

1770 Fennel Street
Maitland, Florida 32751
PH. 407-660-8900
FAX. 407-575-9948
www.cbarchitects.com

PROJECT
COVER SHEET

DATE: 08-28-17
JOB: 3990A01
DRAWN BY: SA
REVIEWED BY: CBA
FILE: 3990A01
TEAM/LEADER:

PRELIMINARY SET

A0.01

217-037

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A1.69	BUILDING TYPE SIXTY NINE - BUILDING ELEVATIONS		08/28/17						
A1.70	BUILDING TYPE SEVENTY - BUILDING ELEVATIONS		08/28/17						
A1.71	BUILDING TYPE SEVENTY ONE - BUILDING ELEVATIONS		08/28/17						
A1.72	BUILDING TYPE SEVENTY TWO - BUILDING ELEVATIONS		08/28/17						
A1.73	BUILDING TYPE SEVENTY THREE - BUILDING ELEVATIONS		08/28/17						
A1.74	BUILDING TYPE SEVENTY FOUR - BUILDING ELEVATIONS		08/28/17						
A1.75	BUILDING TYPE SEVENTY FIVE - BUILDING ELEVATIONS		08/28/17						
A1.76	BUILDING TYPE SEVENTY SIX - BUILDING ELEVATIONS		08/28/17						
A1.77	BUILDING TYPE SEVENTY SEVEN - BUILDING ELEVATIONS		08/28/17						
A1.78	BUILDING TYPE SEVENTY EIGHT - BUILDING ELEVATIONS		08/28/17						
A1.79	BUILDING TYPE SEVENTY NINE - BUILDING ELEVATIONS		08/28/17						
A1.80	BUILDING TYPE EIGHTY - BUILDING ELEVATIONS		08/28/17						
A1.81	BUILDING TYPE EIGHTY ONE - BUILDING ELEVATIONS		08/28/17						
A1.82	BUILDING TYPE EIGHTY TWO - BUILDING ELEVATIONS		08/28/17						
A1.83	BUILDING TYPE EIGHTY THREE - BUILDING ELEVATIONS		08/28/17						
A1.84	BUILDING TYPE EIGHTY FOUR - BUILDING ELEVATIONS		08/28/17						
A1.85	BUILDING TYPE EIGHTY FIVE - BUILDING ELEVATIONS		08/28/17						
A1.86	BUILDING TYPE EIGHTY SIX - BUILDING ELEVATIONS		08/28/17						
A1.87	BUILDING TYPE EIGHTY SEVEN - BUILDING ELEVATIONS		08/28/17						
A1.88	BUILDING TYPE EIGHTY EIGHT - BUILDING ELEVATIONS		08/28/17						
A1.89	BUILDING TYPE EIGHTY NINE - BUILDING ELEVATIONS		08/28/17						
A1.90	BUILDING TYPE NINETY - BUILDING ELEVATIONS		08/28/17						
A1.91	BUILDING TYPE NINETY ONE - BUILDING ELEVATIONS		08/28/17						
A1.92	BUILDING TYPE NINETY TWO - BUILDING ELEVATIONS		08/28/17						
A1.93	BUILDING TYPE NINETY THREE - BUILDING ELEVATIONS		08/28/17						
A1.94	BUILDING TYPE NINETY FOUR - BUILDING ELEVATIONS		08/28/17						
A1.95	BUILDING TYPE NINETY FIVE - BUILDING ELEVATIONS		08/28/17						
A1.96	BUILDING TYPE NINETY SIX - BUILDING ELEVATIONS		08/28/17						
A1.97	BUILDING TYPE NINETY SEVEN - BUILDING ELEVATIONS		08/28/17						
A1.98	BUILDING TYPE NINETY EIGHT - BUILDING ELEVATIONS		08/28/17						
A1.99	BUILDING TYPE NINETY NINE - BUILDING ELEVATIONS		08/28/17						
A2.00	BUILDING TYPE HUNDRED - BUILDING ELEVATIONS		08/28/17						

PRELIMINARY SET

A0.02



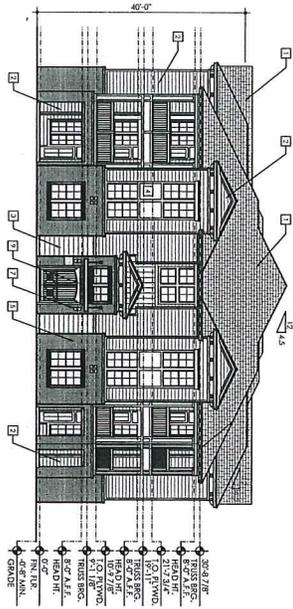
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COLUMBUS, OHIO

ARLINGTON PROPERTIES
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BIRMINGHAM, ALABAMA 35203
PH. 205-328-7600

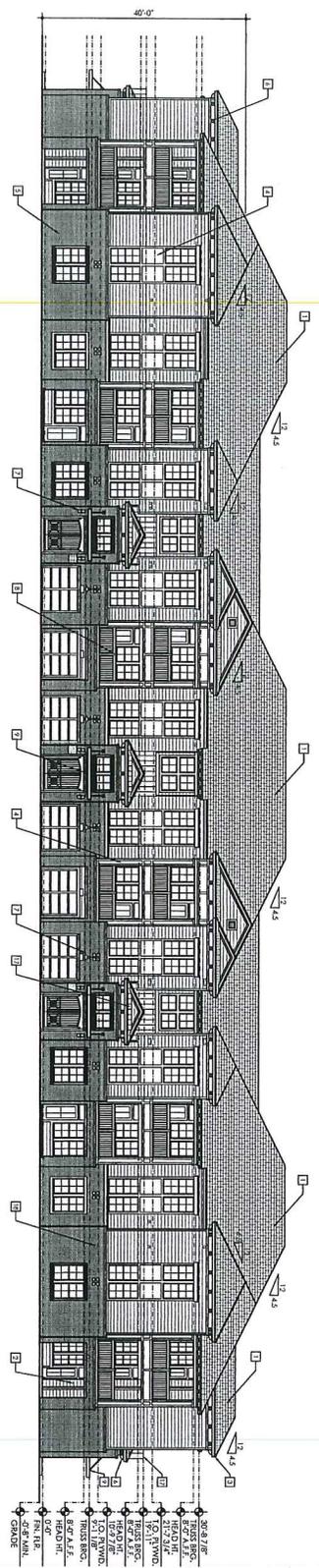


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217-037



2 BUILDING TYPE ONE - LEFT SIDE ELEVATION
BUILDINGS #1 AND #2
SCALE 3/32\"/>



1 BUILDING TYPE ONE - FRONT ELEVATION
BUILDINGS #1 AND #2
SCALE 3/32\"/>

ELEVATION KEY NOTES

1	ARCHITECTURAL UNIT FINISHES OVER 4\"/>
2	CONCRETE OVER ROOF FINISHING
3	CONCRETE OVER ROOF FINISHING
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PRELIMINARY SET

A2.11

DATE: 08.28.2017
JOB NO.: 3990.17
DRAWN BY: DA, JL
CHECKED BY: DA, JL
REVISED BY: DA, JL
SCALE: AS SHOWN

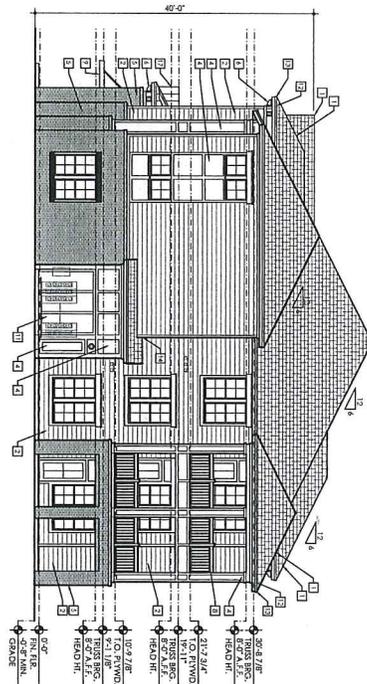
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architect + planners
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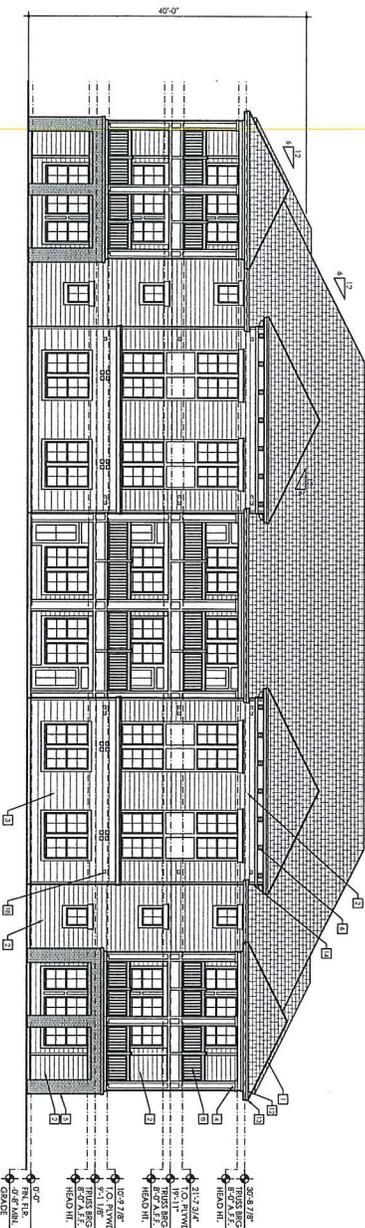
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PH. 205-328-7600

OHIO

217-037



2 BUILDING TYPE TWO-A - RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



1 BUILDING TYPE TWO-A - REAR ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES	
1	ARCHITECTURAL TYPE SHINGLES, OVER 3/8" FELT OVER ROCK MEMBRANE, 1/2" FRESH ASPHALT FLASHPAPER, 1/2" FRESH ASPHALT FLASHPAPER OVER BRICK WALL FEE
2	TRYPICAL LUMBER SHAKES, 1/4" FRESH ASPHALT FLASHPAPER OVER BRICK WALL FEE
3	ALUMINUM CLADDING
4	WOOD SHAKES
5	BRICK
6	ALUMINUM CLADDING
7	WOOD SHAKES
8	BRICK
9	ALUMINUM CLADDING
10	WOOD SHAKES
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196	WOOD SHAKES
197	BRICK
198	ALUMINUM CLADDING
199	WOOD SHAKES
200	BRICK

PRELIMINARY SET
A2.24

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fax: 614.291.1700
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BUILDING TYPE TWO-A BUILDING ELEVATIONS

DATE: 08.28.2017
JOB NO: 390.17
DRAWN BY: D.A.H.
CHECKED BY: J.M.A.
SCALE: 1/8"=1'-0"
ISSUE HISTORY:

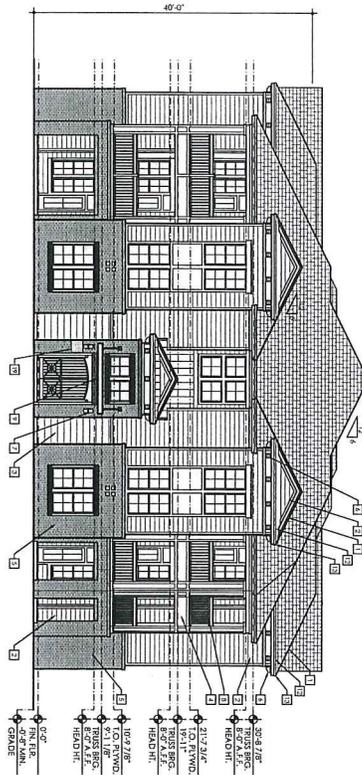
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COLUMBUS, OHIO

ARLINGTON PROPERTIES
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PH: 205-328-9600

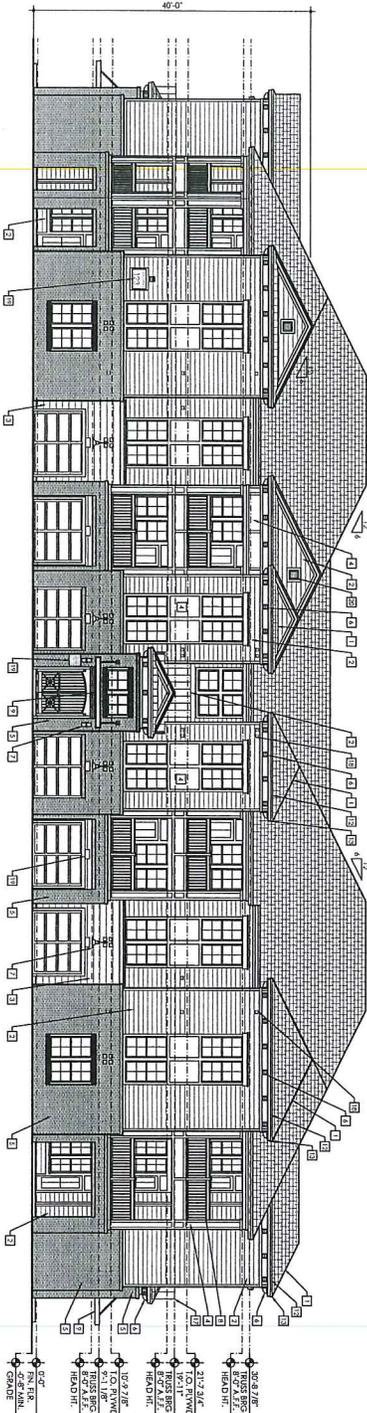


217-037

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2 BUILDING TYPE THREE - LEFT SIDE ELEVATION
SCALE: 1/8\"/>



1 BUILDING TYPE THREE - FRONT ELEVATION
SCALE: 1/8\"/>

ELEVATION KEY NOTES

- 1 ARCHITECTURAL STYLE SHINGLES, OVER 1/2\"/>
- 2 7\"/>
- 3 7\"/>
- 4 BUILDING W/OUT CYBER EXTERIOR WALL TIE
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PRELIMINARY SET

A2.31

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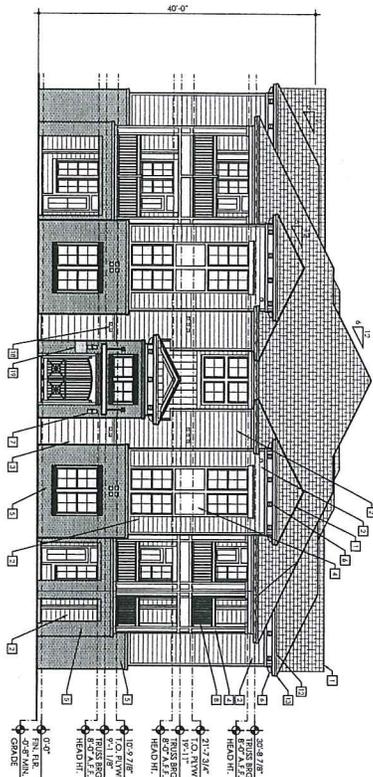
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PH: 205-328-9600

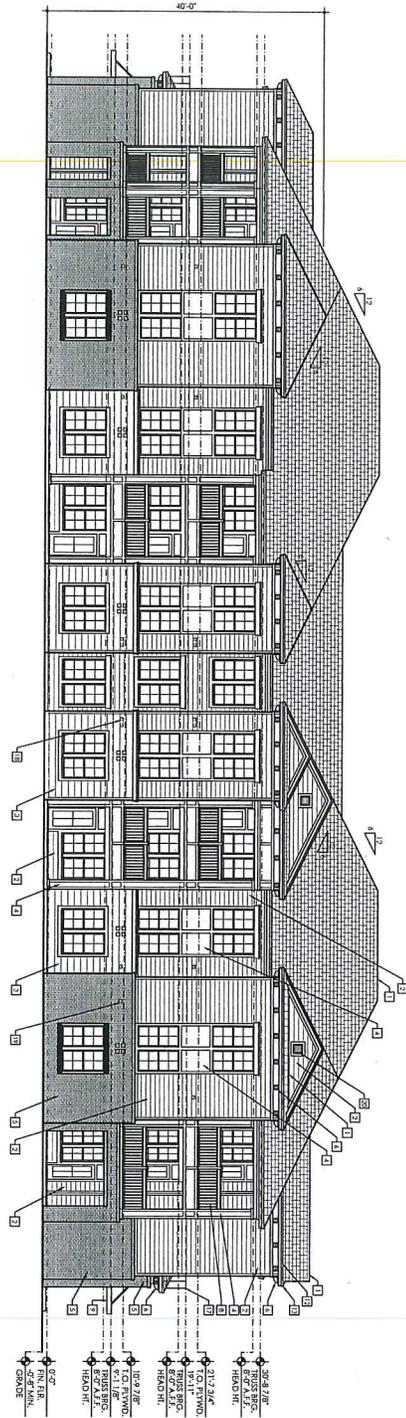
DATE: 08.28.2017
JOB NO: 3902.17
DRAWN BY: JIA, HA
CHECKED BY: JIA
REV: 3902.231
Revit/Sheets

BUILDING TYPE THREE ELEVATIONS

217-037



2 BUILDING TYPE THREE - RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



1 BUILDING TYPE THREE - REAR ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

1 ARCHITECTURAL WHITE SINGLETS OVER 2" X 4" OVER FOOT PROTOTYPING	13 CHERRY RED BRICK - VERTICAL FISHBONE	17 ALUMINUM OPERABLE ON ALUMINUM
2 4" SPICAL BRICK COURSE IN SINGLES OVER	14 DECORATIVE BRICKS	18 VERTICAL ALUMINUM CURTAINS & DOWNROPS
3 BUILDING VIEW 4" OVER EXTERIOR WALL PER	15 LIGHT FINISH	19 STANDING SEAM ALUMINUM ROOF
4 1/2" SPICAL BRICK COURSE IN SINGLES OVER	16 ALUMINUM BALANCE	20 SOLARISE BY OWNER
5 MANUFACTURING RECOMMENDATION OVER	17 ALUMINUM FINISH	21 RECREATIVE PAINT ROOM ORIENT
6 1/2" SPICAL BRICK COURSE OVER EXTERIOR WALL PER	18 ALUMINUM FINISH (RECREATIVE)	
7 FINISH CHAIR RAIL TYPICAL OVER OVER	19 WATER LOCK DOOR	
8 MANUFACTURING RECOMMENDATION OVER	20 INTERIOR ALUMINUM CURTAINS & DOWNROPS	
9 EXTERIOR WALL PER MANUFACTURERS	21 VERTICAL	
10 MANUFACTURING RECOMMENDATION OVER		

ELEVATION KEY NOTES

1 ARCHITECTURAL WHITE SINGLETS OVER 2" X 4" OVER FOOT PROTOTYPING	13 CHERRY RED BRICK - VERTICAL FISHBONE	17 ALUMINUM OPERABLE ON ALUMINUM
2 4" SPICAL BRICK COURSE IN SINGLES OVER	14 DECORATIVE BRICKS	18 VERTICAL ALUMINUM CURTAINS & DOWNROPS
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7 FINISH CHAIR RAIL TYPICAL OVER OVER	19 WATER LOCK DOOR	
8 MANUFACTURING RECOMMENDATION OVER	20 INTERIOR ALUMINUM CURTAINS & DOWNROPS	
9 EXTERIOR WALL PER MANUFACTURERS	21 VERTICAL	
10 MANUFACTURING RECOMMENDATION OVER		

PRELIMINARY SET

A2.32

DATE: 08.28.2017
JOB NO: 3990.17
DRAWN BY: D.A. H.
REVIEWED BY: C.A.
SCALE: AS SHOWN

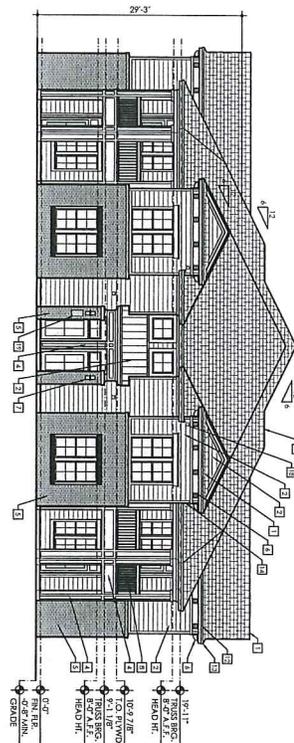
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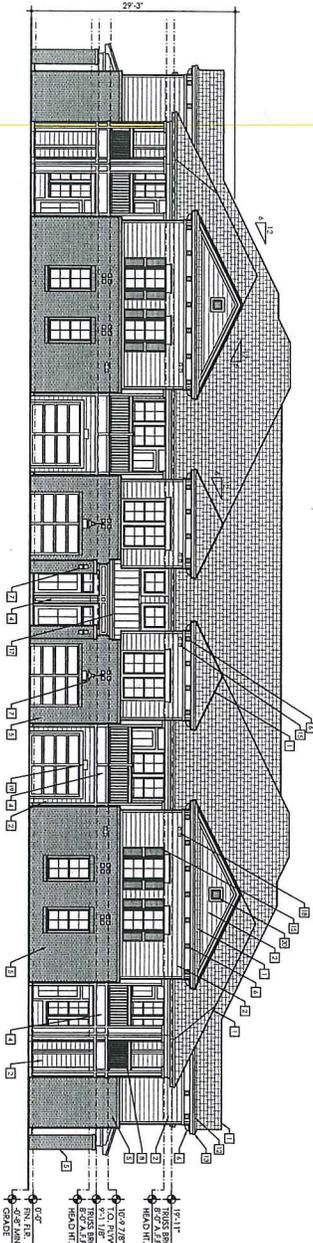
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PH. 205-328-9600

OHIO

217-037



2 BUILDING TYPE FOUR - LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



1 BUILDING TYPE FOUR - FRONT ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

- 1 ARCHITECTURAL GUTTER SINGLE OVER
- 2 1/2\"/>
- 3 1/2\"/>
- 4 1/2\"/>
- 5 1/2\"/>
- 6 1/2\"/>
- 7 1/2\"/>
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- 9 1/2\"/>
- 10 1/2\"/>
- 11 1/2\"/>
- 12 1/2\"/>

PRELIMINARY SET
A2.41

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 PH. 205-328-9600

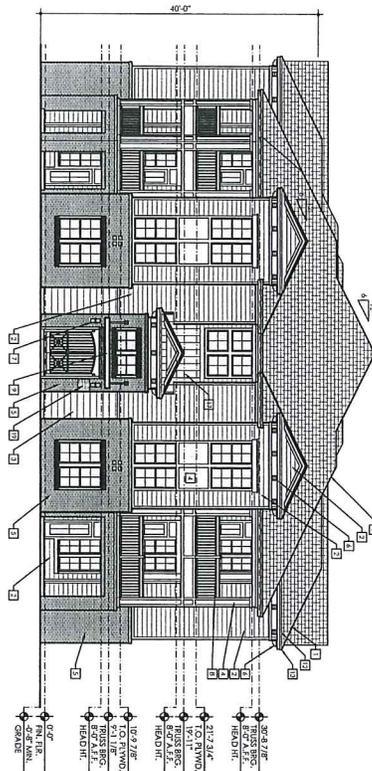


217-037

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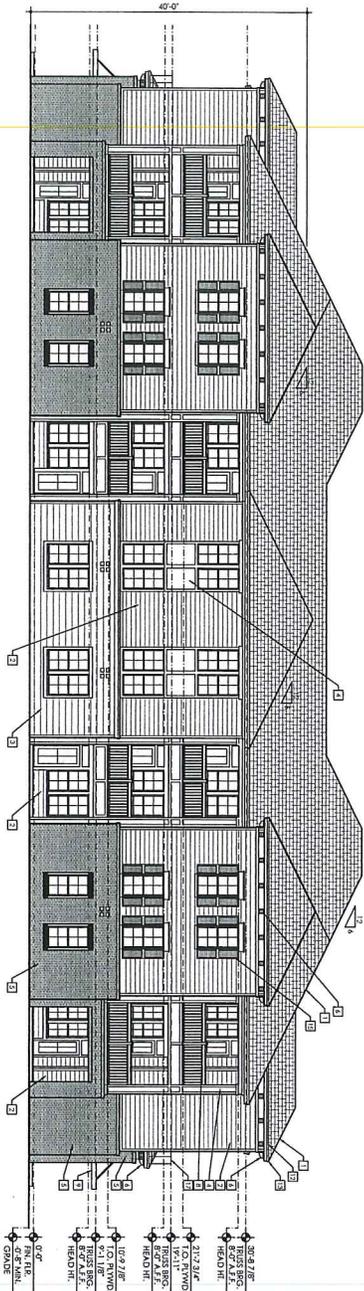
2 BUILDING TYPE FIVE - RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE FIVE - REAR ELEVATION

SCALE: 1/8"=1'-0"



ELEVATION KEY NOTES

- 1 ARCHITECTURAL FINE SHIELDS, ONYX
- 2 4.0\"/>

PRELIMINARY SET
A2.52

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 205-399-1200
 www.charltonbrock.com

BUILDING TYPE FIVE BUILDINGS ELEVATIONS

DATE: 08.28.17
 JOB NO: 3700.17
 DRAWN BY: D.M. JL
 CHECKED BY: C.M.
 SCALE: AS SHOWN
 DRAWN BY: JL

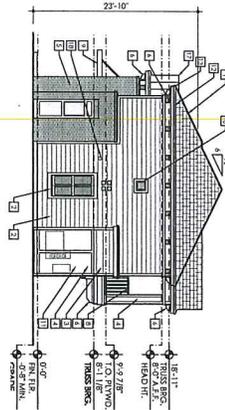
CANDLELIGHT LANE APARTMENTS
 COLUMBUS, OHIO

ARLINGTON PROPERTIES
 2117 2ND AVENUE NORTH
 BIRMINGHAM, ALABAMA 35203
 PH: 205-328-9600



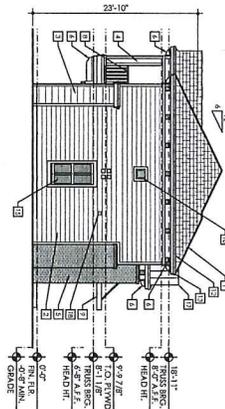
217-037

4 BUILDING TYPE SIX - RIGHT SIDE ELEVATION



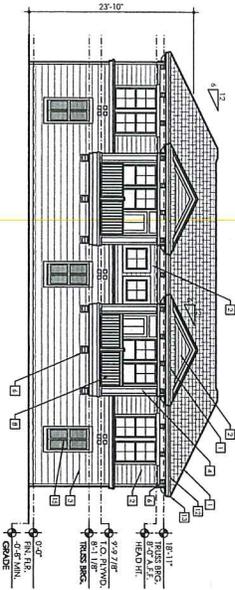
SCALE: 1/8"=1'-0"

2 BUILDING TYPE SIX - LEFT SIDE ELEVATION



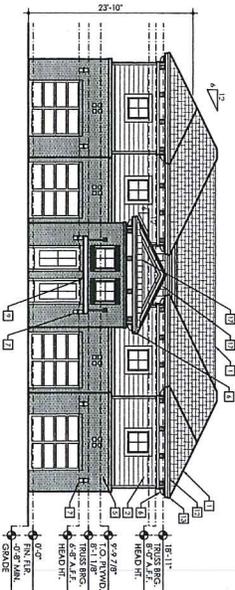
SCALE: 1/8"=1'-0"

3 BUILDING TYPE SIX - REAR ELEVATION



SCALE: 1/8"=1'-0"

1 BUILDING TYPE SIX - FRONT ELEVATION



SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES	
<input type="checkbox"/> ARCHITECTURAL STYLE SHINGLES OVER	<input type="checkbox"/> GLENVIEW BRICK - VENDOR FASHI - SEE
<input type="checkbox"/> 4" X 8" FILL OVER ROOF SHINGLES OVER	<input type="checkbox"/> STEREO ELEVATION NOTES FOR COLOR
<input type="checkbox"/> 1" FINISH BRICK OVER EXTENSION WALL PER	<input type="checkbox"/> DECORATIVE BRACKET
<input type="checkbox"/> BUILDING WITH 4" OVER EXTENSION WALL PER	<input type="checkbox"/> LIGHT FINISH
<input type="checkbox"/> 1/2" FINISH BRICK OVER EXTENSION WALL PER	<input type="checkbox"/> ALUMINUM BALCONY
<input type="checkbox"/> BUILDING WITH 4" OVER EXTENSION WALL PER	<input type="checkbox"/> ALUMINUM AWNING
<input type="checkbox"/> MATERIALS RECOMMENDATIONS	<input type="checkbox"/> ALUMINUM SCREEN ENCLOSURE
<input type="checkbox"/> REAR COURSE WALL TYPICAL BRICK OVER	<input type="checkbox"/> STANDING SEAM METAL ROOF
<input type="checkbox"/> MATERIALS RECOMMENDATIONS	<input type="checkbox"/> SHOWN BY OWNER
<input type="checkbox"/> REAR COURSE WALL PER MATERIALS RECOMMENDATIONS	<input type="checkbox"/> DECORATIVE FAUCET TRIM
<input type="checkbox"/> SYSTEM	<input type="checkbox"/> REAR COURSE WALL PER MATERIALS RECOMMENDATIONS
<input type="checkbox"/> SYSTEM	<input type="checkbox"/> REAR COURSE WALL PER MATERIALS RECOMMENDATIONS

PRELIMINARY SET
A2.61

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CANDLELITE LAKE APARTMENTS
COLUMBUS, OHIO

ARLINGTON PROPERTIES
2117 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PH: 205-328-9600

DATE: 08.28.2017
JOB NO: 3790.17
DRAWN BY: D.A. H.
CHECKED BY: C.A.H.
SCALE: 1/8"=1'-0"
SHEET NO: 17
TOTAL SHEETS: 18



217-037



Delaware County Commissioners

Jeff Benton
Barb Lewis
Gary Merrell

County Administrator
Ferzan M. Ahmed

Clerk to the Commissioners
Jennifer Walraven

RESOLUTION NO. 17-776

IN THE MATTER OF GRANTING THE ANNEXATION PETITION FROM AGENT FOR THE PETITIONER, JACKSON B. REYNOLDS III, REQUESTING ANNEXATION OF 15.12 ACRES OF LAND IN ORANGE TOWNSHIP TO THE CITY OF COLUMBUS:

It was moved by Mrs. Lewis, seconded by Mr. Merrell to approve the following resolution:

Whereas, on June 28, 2017, the Clerk to the Board of the Delaware County Commissioners received an annexation petition filed by Jackson B. Reynolds III, agent for the petitioners, of 15.12 acres, more or less, in Orange Township to the City of Columbus; and

Whereas, ORC Section 709.023-Expedited Type 2 Annexation Petition; Petitions By All Property Owners With Or Without Consent of Municipality & Township(s) – If the Municipality or Township does not file an objection within 25 days after filing of annexation, the Board at its next regular session shall enter upon its journal a resolution granting the proposed annexation; and

Whereas, 25 days have passed and the Clerk of the Board has not received an objection from the City of Columbus or the Township of Orange;

Therefore, Be It Resolved, the Delaware County Board of Commissioners grants the annexation petition request to annex 15.12 acres, more or less, in Orange Township to the City of Columbus.

Vote on Motion Mr. Merrell Aye Mr. Benton Aye Mrs. Lewis Aye

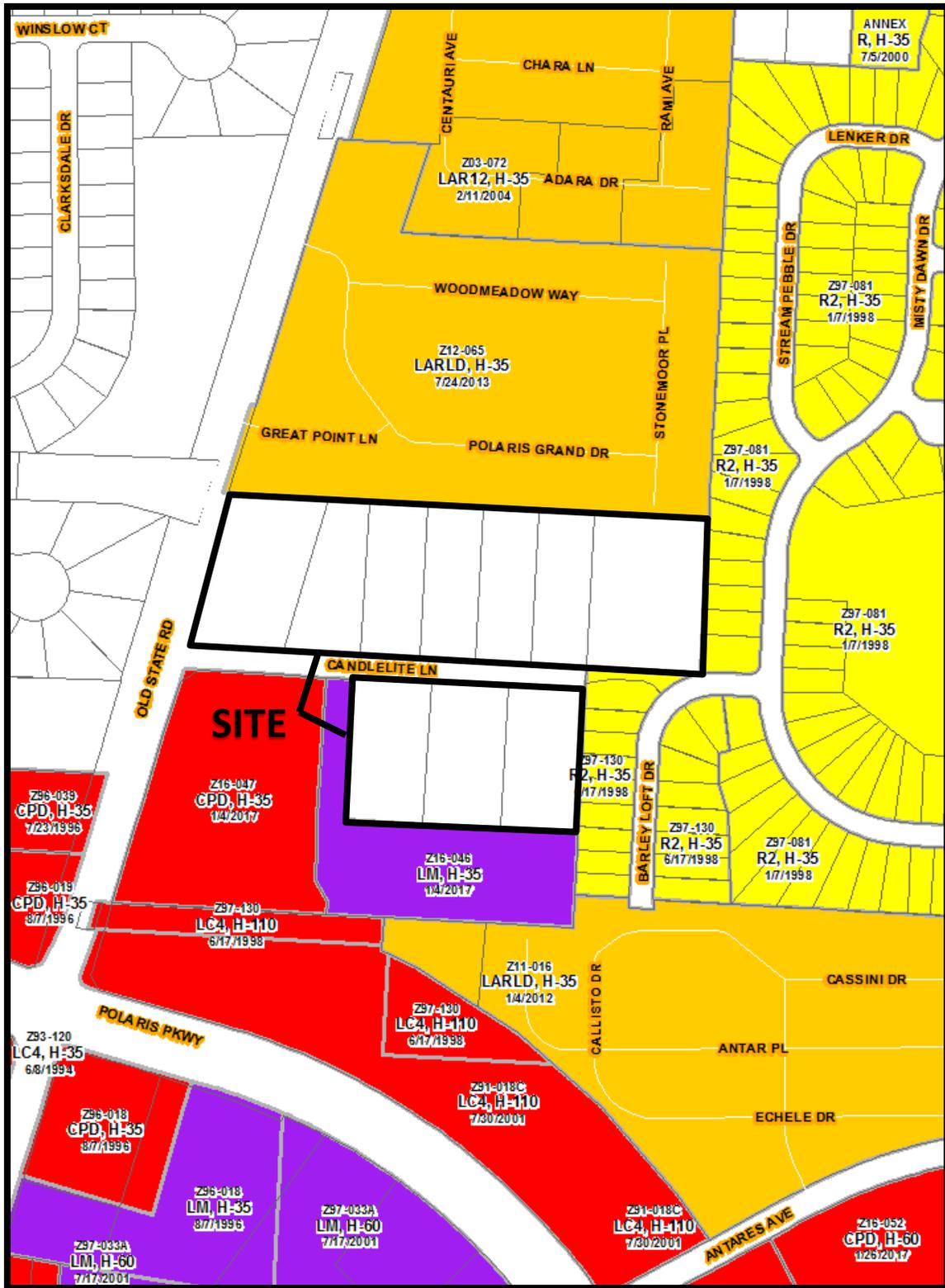
Barb Lewis
County Commissioner

Jeff Benton
County Commissioner

Gary Merrell
County Commissioner

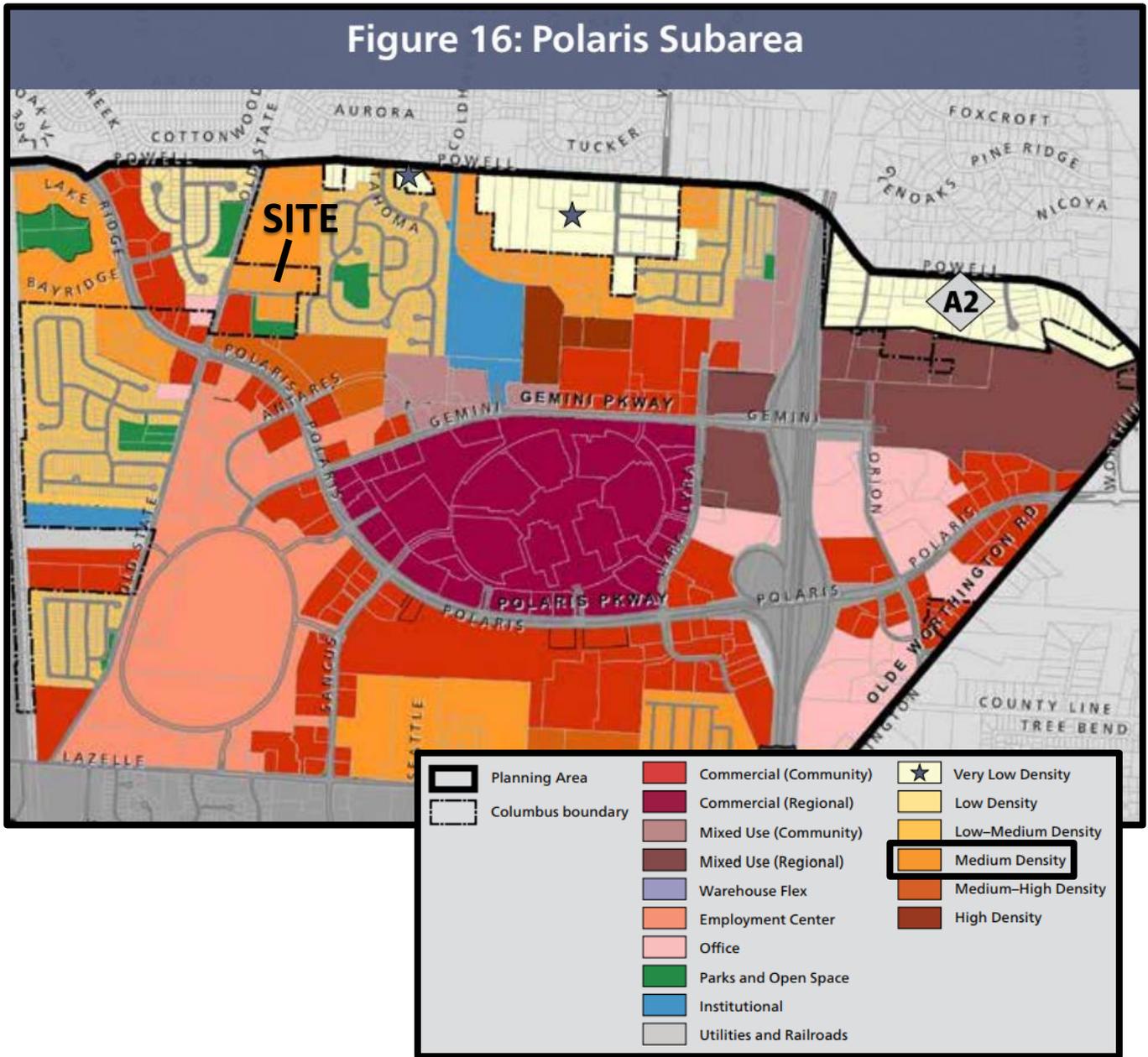
I, Sarah Dinovo, Assistant Clerk to the Board of County Commissioners hereby certify that the foregoing is a true and correct copy of a resolution of the Board of County Commissioners of Delaware County duly adopted on July 27, 2017, and appearing upon the official records of said Board.

Sarah Dinovo
Assistant Clerk to Commissioners

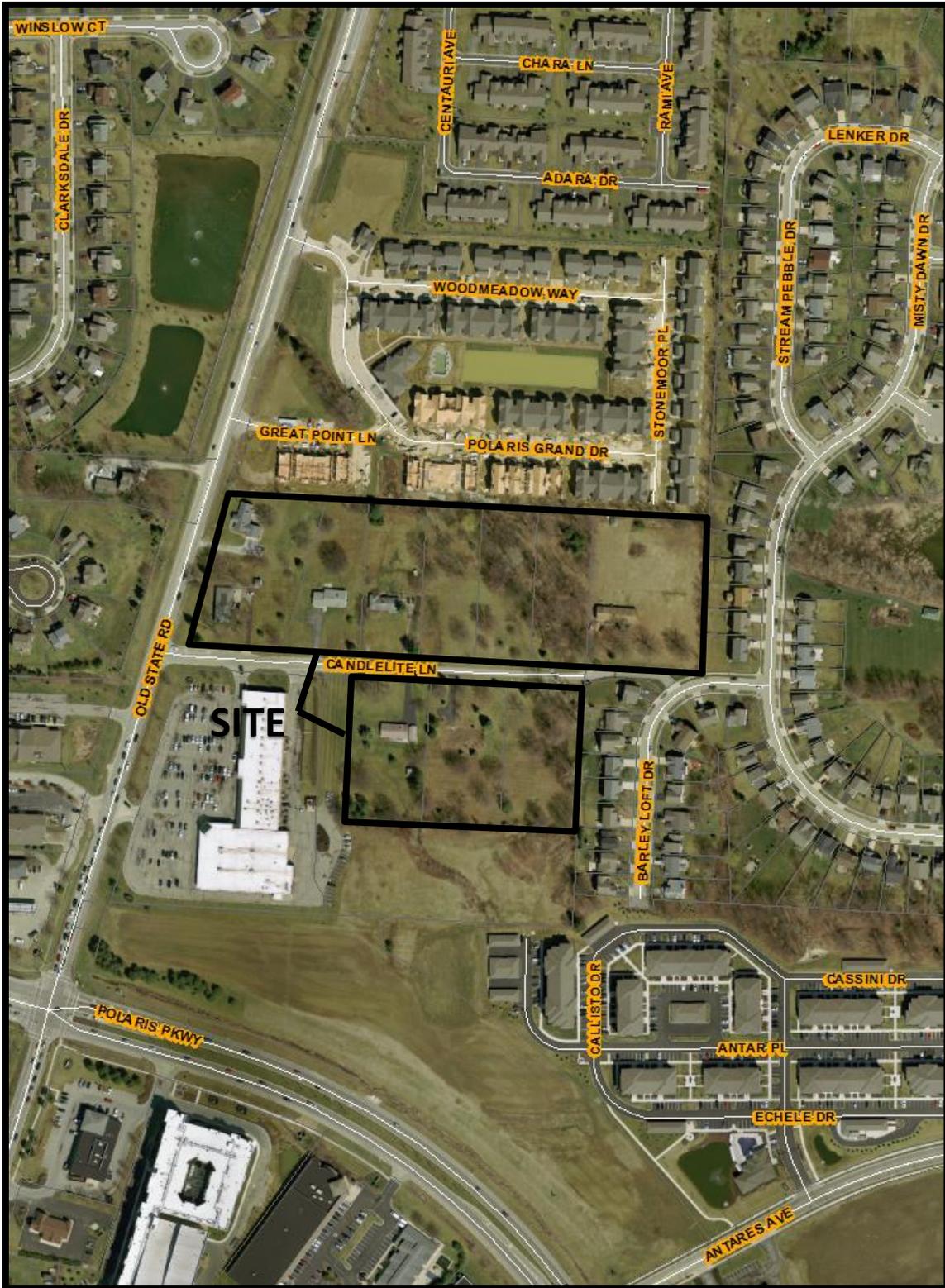


Z17-037
 8835 South Old State Road
 Approximately 11.05 acres
 R to L-ARLD

Figure 16: Polaris Subarea



Z17-037
 8835 South Old State Road
 Approximately 11.05 acres
 R to L-ARLD



Z17-037
8835 South Old State Road
Approximately 11.05 acres
R to L-ARLD