

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
NOVEMBER 9, 2017**

- 5. APPLICATION: Z17-032**
Location: **8118 SANCUS BOULEVARD (43081)**, being 3.79± acres located on the east side of Sancus Boulevard, at the intersection with Brockwell Drive (610-231154; Far North Columbus Communities Coalition).
Existing Zoning: AR-12, Apartment Residential District.
Request: CPD, Commercial Planned Development District.
Proposed Use: Police substation
Applicant(s): City of Columbus; c/o Heather L. Brink; 90 West Broad Street; Columbus, OH 43215.
Property Owner(s): The Applicant.
Planner: Shannon Pine; 614-645-2208; spine@columbus.gov

BACKGROUND:

- The 3.79± acre site is undeveloped and zoned in the AR-12, Apartment Residential District. The requested CPD, Commercial Planned Development District will permit a City of Columbus police substation, including a community meeting room.
- Surrounding the site to the north and south are multi-unit residential developments in the AR-12, Apartment Residential District. To the east is the Lazelle Woods Recreation Center in the AR-12, Apartment Residential, R-2F, Residential and the SR, Suburban Residential districts. To the west across Sancus Boulevard are single-unit dwellings in the SR, Suburban Residential District.
- The site is within the boundaries of the *Far North Area Plan* (2014), which recommends “Institutional” uses at this location.
- The site is located within the boundaries of the Far North Columbus Communities Coalition, whose recommendation is for approval of the requested CPD district.
- The CPD text commits to a site plan and includes I, Institutional District permitted uses and development standards. Commitments for setbacks, access, sidewalks, and street trees are also proposed, with variances included for reduced parking, and reduced rear yard and screening requirements.
- The *Columbus Thoroughfare Plan* identifies Sancus Boulevard as a 4-2 arterial requiring a minimum of 50 feet of right-of-way from centerline.

CITY DEPARTMENTS' RECOMMENDATION: Approval.

The requested CPD, Commercial Planned Development District will allow the construction of a new police substation. Staff supports the proposed use, which is consistent with the land use recommendation of the *Far North Area Plan*, and the proposed site design which is compatible with the adjacent recreation center. The request is consistent with the zoning and development pattern of the area.

Far North Area Plan (2014)

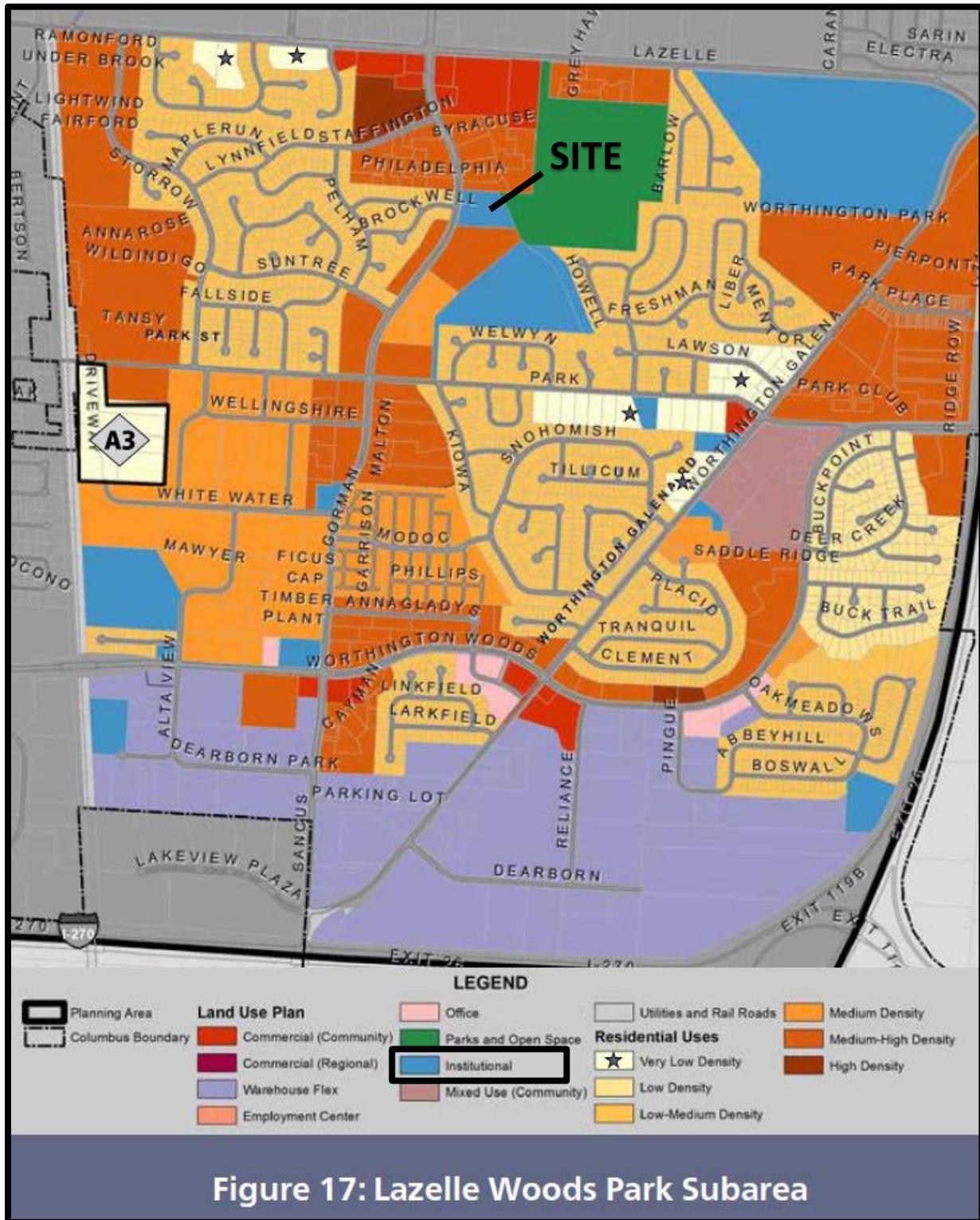


Figure 17: Lazelle Woods Park Subarea

Z17-032
 8146 Sancus Boulevard
 Approximately 3.79 acres
 AR-12 to I



Z17-032
8146 Sancus Boulevard
Approximately 3.79 acres
AR-12 to I

COMMERCIAL PLANNED DEVELOPMENT TEXT

PROPOSED DISTRICTS: CPD, Commercial Planned Development

PROPERTY ADDRESS: 8118 Sancus Blvd.

OWNER: City of Columbus Ohio

APPLICANT: City of Columbus Ohio

DATE OF TEXT: 10-20-17

APPLICATION: Z17-032

1. INTRODUCTION: 8118 Sancus Blvd, located at the northeast corner of Sancus Blvd and Brockwell Dr, directly west of the Lazelle Woods Community Rec Center, consists of 3.792 acres, and is currently zoned AR-12 multi-family. The site is currently vacant with a paved pedestrian path running N-S along the east property line. This path extends north and south of the site to connect multi-family dwellings with the Worthington Park Elementary School. The rezoning will permit, subject to this zoning text, construction of a City of Columbus Police Substation. The building will serve 2 precincts as well as a midwatch shift.

2. PERMITTED USES: The current intended use for the subject site shall be a police substation and supporting parking lot. In the event the subject building is no longer used as a substation, other permitted uses shall include those identified in Chapter 3349 I, Institutional Use District.

3. DEVELOPMENT STANDARDS: Unless otherwise indicated in this text the applicable development standards are contained in Chapter 3349 I, Institutional Use District of the Columbus City Code.

A. Density, Height, Lot and/or Setback Requirements:

1. Building setbacks along Sancus Blvd shall be a minimum of 50 feet.
2. Parking setbacks abutting the adjacent AR-12 district shall be a minimum of 20 feet.
3. The side yard setback shall be a minimum of 20 feet.
4. The rear yard setback shall be reduced from a minimum of 50 feet to 30 feet per Variance 3.G.2.a as noted below.
5. No structure shall be more than 35 feet in height, apart from portions of the building which may extend higher as provided in Code 3309.142(A) or of antennas as provided in Code 3309.145.

B. Traffic-Related Commitments:

1. There shall be two access points along the existing access drive leading to the Lazelle Woods Community Rec Center, the closest of which shall be 225 feet to the west property line.
2. Sidewalks shall be constructed within the east right-of-way along Sancus Blvd.

3. The existing paved pedestrian path will be relocated per the attached Site Plan.
4. Parking shall be provided as indicated on the attached Site Plan. Parking for both the general office use and the assembly use are calculated per Variance 3.G.2.b.

General Office (10,657 sf): 60 spaces (Secured Parking– POV’s)
 Assembly Use (1,020 sf): 1:47 sf = + 22 spaces (Visitor Parking – including 4 accessible spaces)
 Total Spaces Required: 88 spaces*
 *does not include 15 fleet vehicles in Secured Parking

5. A southbound left turn lane with a length of 135’ (includes 60’ diverging taper) shall be provided at the site access point to Sancus Boulevard unless otherwise approved by the Department of Public Service.

C. Buffering, Landscaping, Open Space and/or Screening Commitments:

1. Deciduous street trees shall be provided along the Sancus Blvd. property line at the rate of approximately 40 feet on center. Exact planting locations shall be determined during site compliance review.

D. Building Design and Interior-Exterior Treatment Commitments

1. N/A

E. Dumpsters, Lighting, Outdoor Display Areas and/or Other Environmental Commitments:

1. N/A

F. Graphics and/or Signage Commitments:

1. All graphics and signage shall comply with the Graphics Code, Article 15 of the Columbus City Code as it applies to the I, Institutional Use District and any variance to those requirements will be submitted to the Columbus Graphics Commission for consideration.

G. Miscellaneous:

1. The subject site shall be in accordance with the attached Site Plan. The Site Plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any slight adjustment to the Site Plan shall be reviewed and may be approved by the Director of the Department of Building and Zoning Services, or a designee, upon submission of the appropriate data regarding the proposed adjustment.
2. Variances

a) Section 3349.04 (c) Rear Yard Setback - Reduce the setback along the east property line from 50 feet to 30 feet. The reduced setback is necessary to accommodate the required parking spaces and the storm water management required for both the site and the existing private drive cutting through the site in the form of detention basins. The existing storm sewer drainage easement directly east of the site prevents future development within 114' of the site.

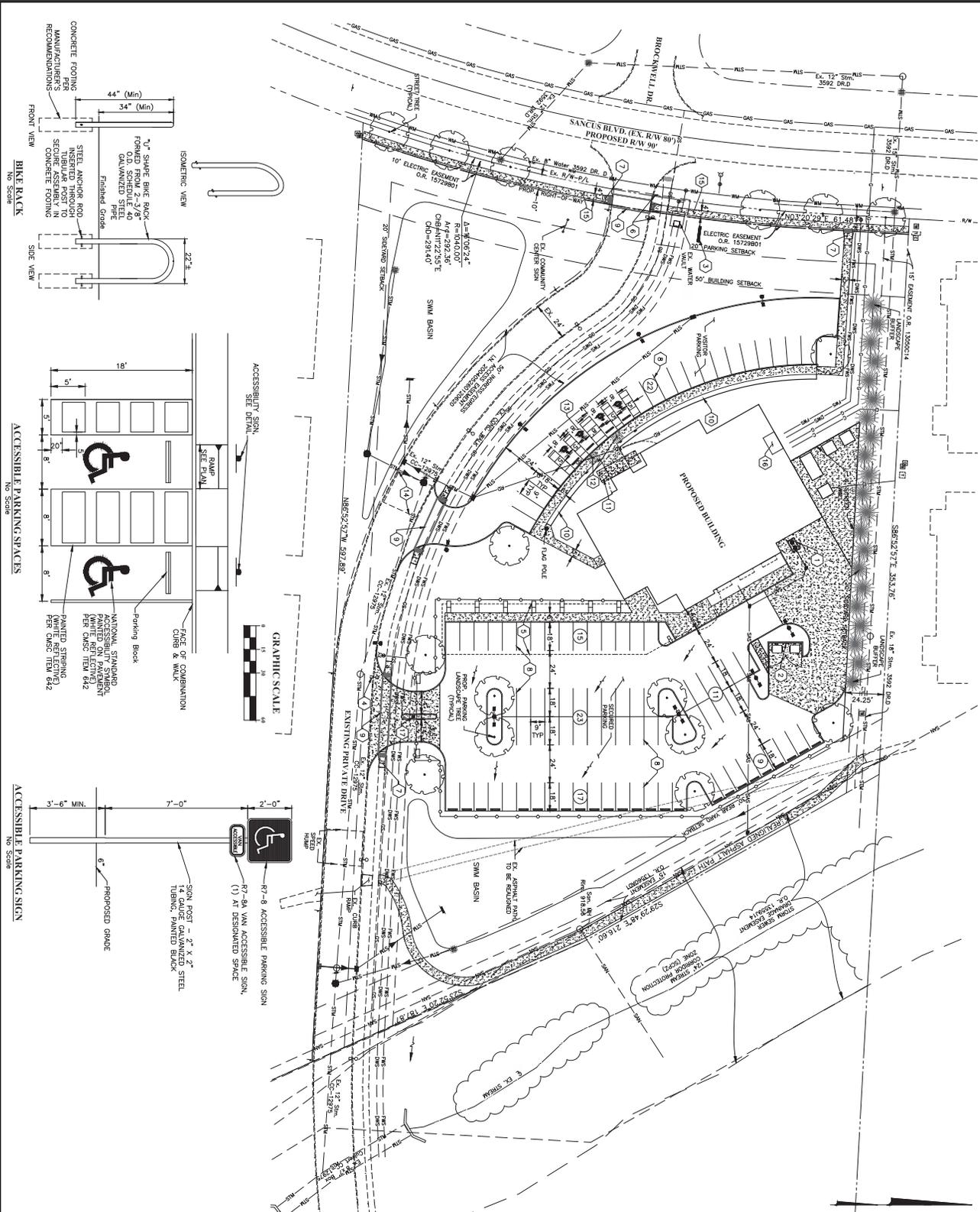
b) Section 3312.49 Minimum numbers of parking spaces required – Increase the required number of parking spaces for the General Office use to 60 in order to correlate with the actual number of personnel vehicles at the station during shift changes- 2 precincts of 15 personnel and a midwatch shift. Decrease the number of parking spaces required in the Assembly use from 1:30 sf = 34 spaces to 1:47 = 22 spaces. The Community Training Room will not serve as a Pride Center, but will be used for community training events such as self-defense classes and meetings of up to 20 people. Any larger community events will continue to be held at the Lazelle Woods Recreation Center adjacent to the site.

c) Section 3321.09 and Section 3321.11 – Provide an ornamental fence along the east property line in lieu of a screening fence, establishing visual access from the building to the adjacent pedestrian path for increased child safety along the route. Existing trees in the storm sewer drainage easement directly east of the site obscure the Recreation Center from view year-round. Omit screening along the south property line where the parking lot faces the rear wall of adjacent garages in order to provide enhanced visibility for emergency vehicles exiting the site.

The undersigned, being the owner of the subject property together with the applicant in the subject application, or their authorized representatives does hereby agree singularly and collectively for themselves, their heirs, successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions, or commitments shall in any manner act to negate, nullify, alter or modify any more restrictive provision of the Columbus City Code.

Signature: _____

Date: _____



- LEGEND**
- Existing**
- Water Main
 - Fire Suppression Water Service
 - Domestic Water Service
 - Storm Sewer
 - Sanitary Sewer
 - Underground Electric Line
 - Communications Line
 - Gas Main
 - Gas Service Line
 - Drainage Ditch
- Proposed**
- Electric
 - Fire
 - Transformer
 - Communications
 - Water Valve
 - Storm Inlet
 - Traffic Sign
 - Sanitary Clean Out
 - Storm Inlet
 - Manhole
 - Hydrant
 - Flow Arrow
 - Water Valve
 - Asphalt Pavement
 - Heavy Duty Concrete Pad
 - Ornamental Fence
 - 6" High Screen Wall
 - Site Light
 - Traffic or Accessible Parking Sign
 - Bumper (Parking) Block
 - Accessible Parking Symbol
 - Parking Count
 - Shade Tree
 - Green Tree
- CODED NOTES**
- Oil-Water Separator
 - Dwaster Screen
 - Site Sign
 - Relocate Existing Street Light
 - Covered Parking
 - Relocate Existing Stop Sign
 - Curb Ramp Per 2319, Typical
 - 4" Painted White Stripping, Typical
 - Painted White Crosswalk Stripping, Typical
 - Low Landscape Wall
 - Bike Racks (3)
 - Ramp Sidewalk Down to Flush with Asphalt 13:1 Max.
 - Accessible Parking Space, Typical, See Detail
 - Existing Speed Hump, to be Removed
 - Proposed Public Sidewalk
 - Water Meter and Backflow Preventer in Mechanical Room
 - Knock Box, Coordinate with Fire Department

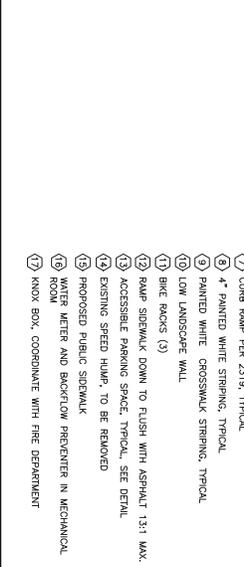
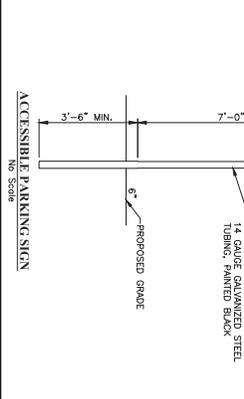
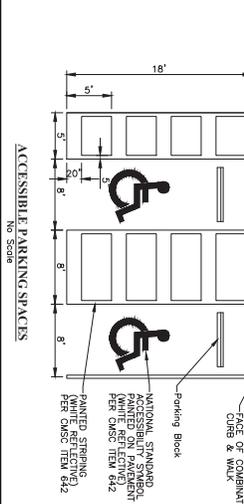
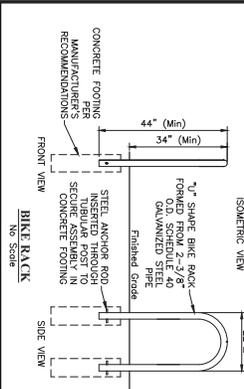
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SITE COMPLIANCE PLAN FOR POLARIS POLICE SUBSTATION 8118 SANCUS BOULEVARD SITE PLAN

m&w
muller & williamson architects, inc.
10000 Woodloch Forest Drive, Suite 100
Houston, TX 77055-1000
Tel: 281-411-1113
Fax: 281-411-1114

MARK	DATE	DESCRIPTION

DATE: OCTOBER 24, 2017
SCALE: 1" = 10'
SHEET NO.: 204-1113
SHEET: 2/3



FOR USE BY: AREA COMMISSION / COMMUNITY GROUP / HISTORIC ARCHITECTURAL REVIEW

Case Number 217-032

Address 8146 Sencus Blvd.

Group Name For North Columbus Communities Coalition

Meeting Date 10/3/17

Specify Case Type
 BZA Variance / Special Permit
 Council Variance
 Rezoning
 Graphics Variance / Plan / Special Permit

Recommendation (Check only one)
 Approval
 Disapproval

NOTES: _____

Vote 9-0

Signature of Authorized Representative James Palmerson
SIGNATURE

FNECC President
RECOMMENDING GROUP TITLE

614/832-9083
DAYTIME PHONE NUMBER

Please FAX this form to Zoning at (614) 645-2463 within 48 hours of your meeting day; OR MAIL to: Zoning, City of Columbus, Department of Building & Zoning Services, 757 Carolyn Avenue, Columbus, Ohio 43224.