

**STAFF REPORT
DEVELOPMENT COMMISSION
ZONING MEETING
CITY OF COLUMBUS, OHIO
NOVEMBER 9, 2017**

- 6. APPLICATION: Z17-037**
Location: **8835 SOUTH OLD STATE ROAD (43035)**, being 11.05± acres located at the northeast and southeast corners of South Old State Road and Candlelite Lane (31834101006000 and 8 others; Far North Columbus Communities Coalition).
Existing Zoning: R, Rural District (Annexation Pending).
Request: L-ARLD, Limited Apartment Residential District.
Proposed Use: Multi-unit residential development.
Applicant(s): Arlington Properties; c/o Jeffrey L. Brown, Atty.; 37 West Broad Street, Suite 460; Columbus, OH 43215.
Property Owner(s): Norma Jean Lunzar, et al; c/o Jeffrey L. Brown, Atty.; 37 West Broad Street, Suite 460; Columbus, OH 43215.
Planner: Kelsey Priebe; 614-645-1341; krpriebe@columbus.gov

BACKGROUND:

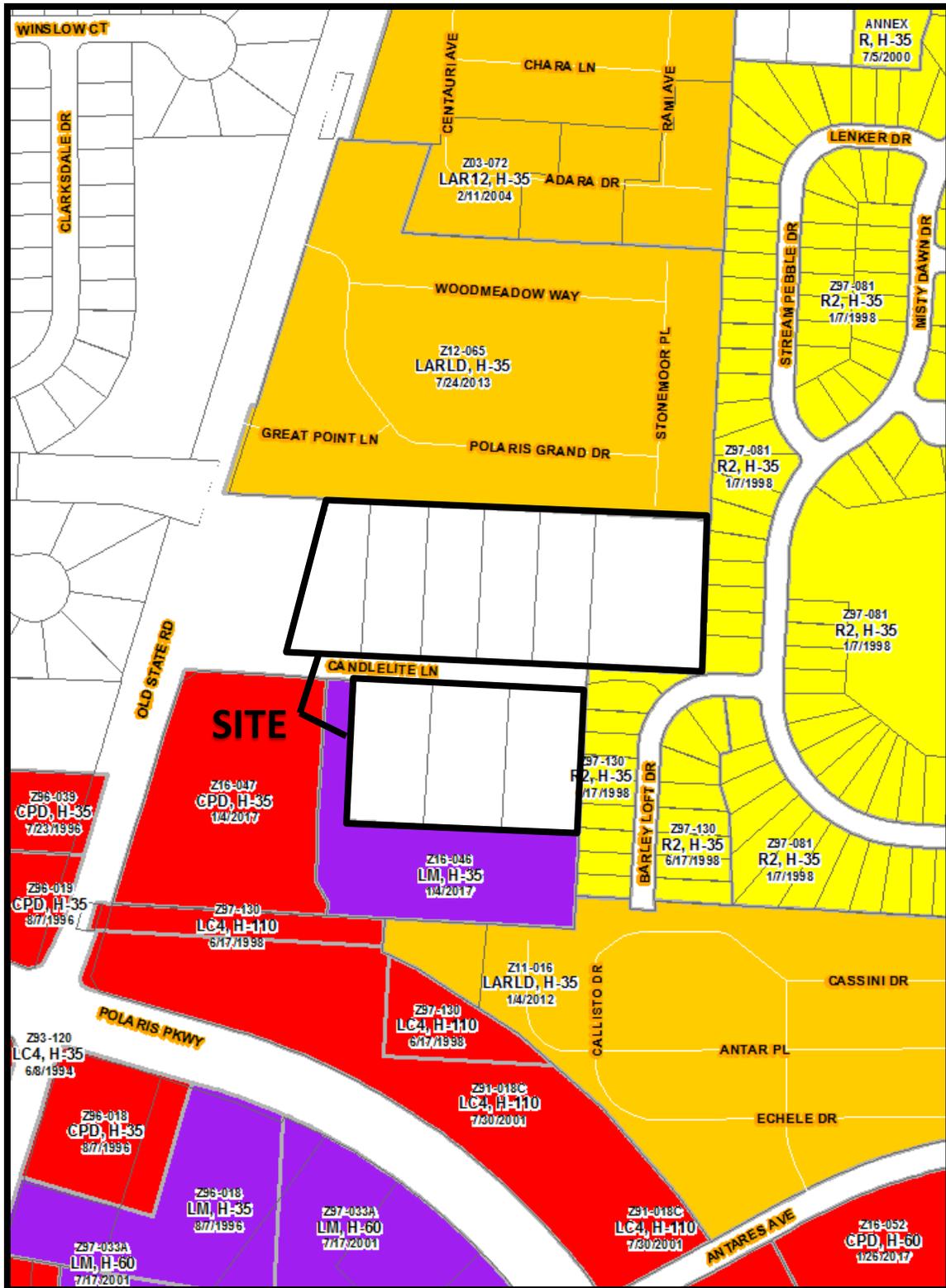
- The site consists of nine parcels that are developed with single-unit dwellings in the R, Rural District (annexation pending). The applicant proposes the L-ARLD, Limited Apartment Residential District, in order to construct a multi-unit residential development with a maximum of 176 dwelling units (15.93 du/AC).
- To the north of the site is a multi-unit residential development in the L-ARLD, Limited Apartment Residential District. To the south is a shopping center in the CPD, Commercial Planned Development District and a self-storage facility in the L-M, Limited Manufacturing District. To the west across South Old State Road are single-unit dwellings in Orange Township.
- Companion CV17-064 has been filed to vary the perimeter yard. That request will be heard by City Council and will not be considered at this Development Commission meeting.
- The site is located within the boundaries of the *Far North Area Plan (2014)*, which recommends “Medium Density” land uses for this location (6-10 du/ac). The Plan also recommends buffering between adjacent uses, through the use of such elements as existing and new vegetation, fencing, masonry walls, mounding, orientation of residential garages, and careful placement of site lighting. Additionally the Plan recommends that proposals for multi-unit residential development must demonstrate that they will not adversely impact the existing development pattern of the area. The proposed development utilizes fencing and landscaping as buffering between adjacent uses and the proposed construction is similar and compatible in regards to density with the existing multi-unit residential development to the north. Staff also notes that a self-storage facility is approved for construction to the immediate south of the subject site.

Lastly, the applicant has committed to site plan, elevations and the use of quality building materials. For these reasons, the higher density of this proposal is justified.

- The site is located within the boundaries of the Far North Columbus Communities Coalition, whose recommendation was not available at the time this report was finalized.
- The development text permits ARLD, Apartment Residential District uses, and includes development standards addressing density, traffic access, landscaping and buffering, building design, lighting, and graphics provisions. The text also commits to a site plan, elevations and the use of quality building materials.

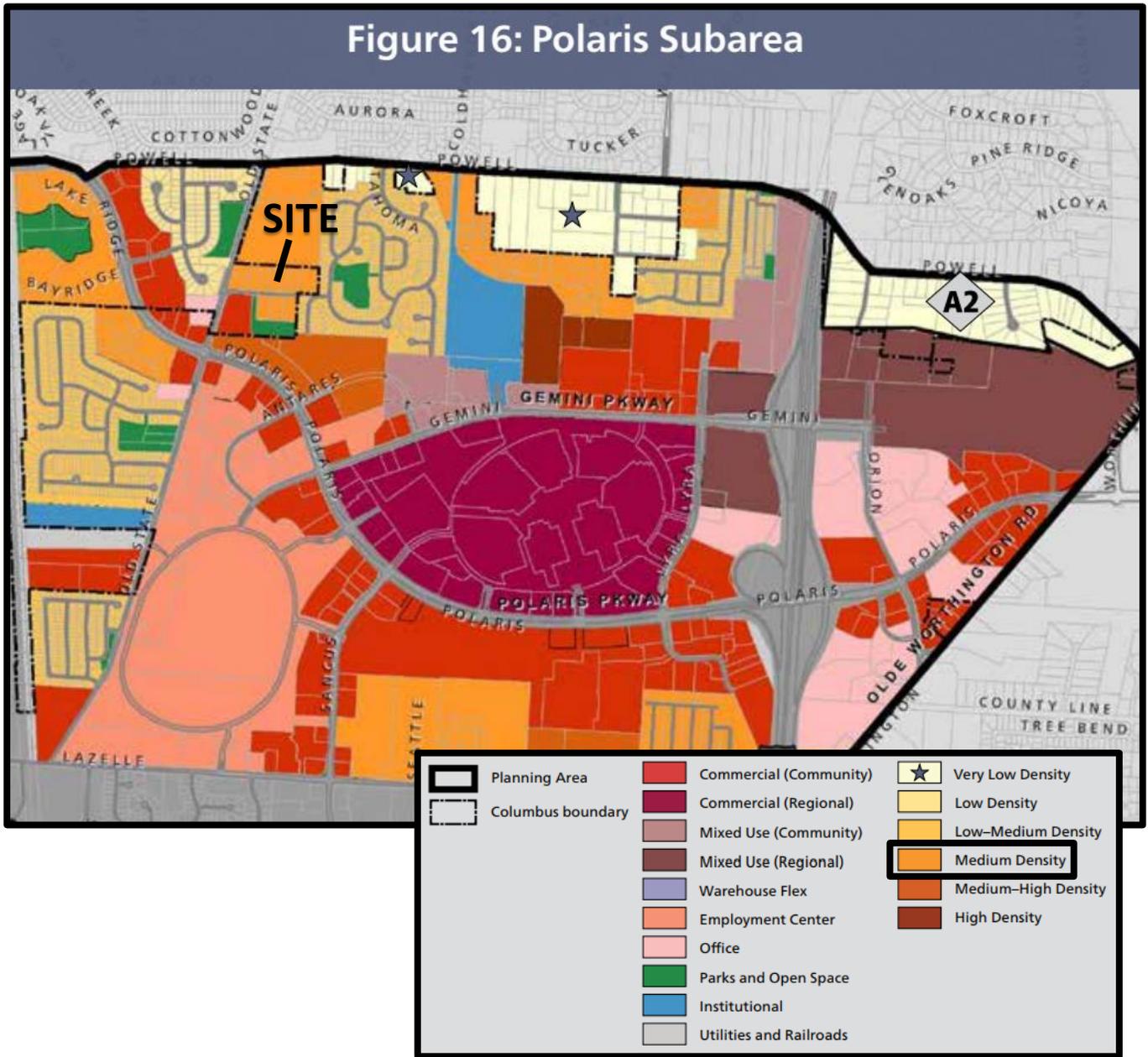
CITY DEPARTMENTS' RECOMMENDATION: Approval

The requested L-ARLD, Limited Apartment Residential District will allow a multi-unit residential development. The proposal is similar and compatible in regards to density with the existing multi-unit residential development to the north, and will be bordered to the south by a self-storage facility. Also, the proposal uses buffering between adjacent uses, particularly between higher density residential and lower density residential, as recommended in the Plan. Staff's support is based on the site being designed in a manner that mitigates its impact on nearby lower density residential developments, and the factors mentioned above.

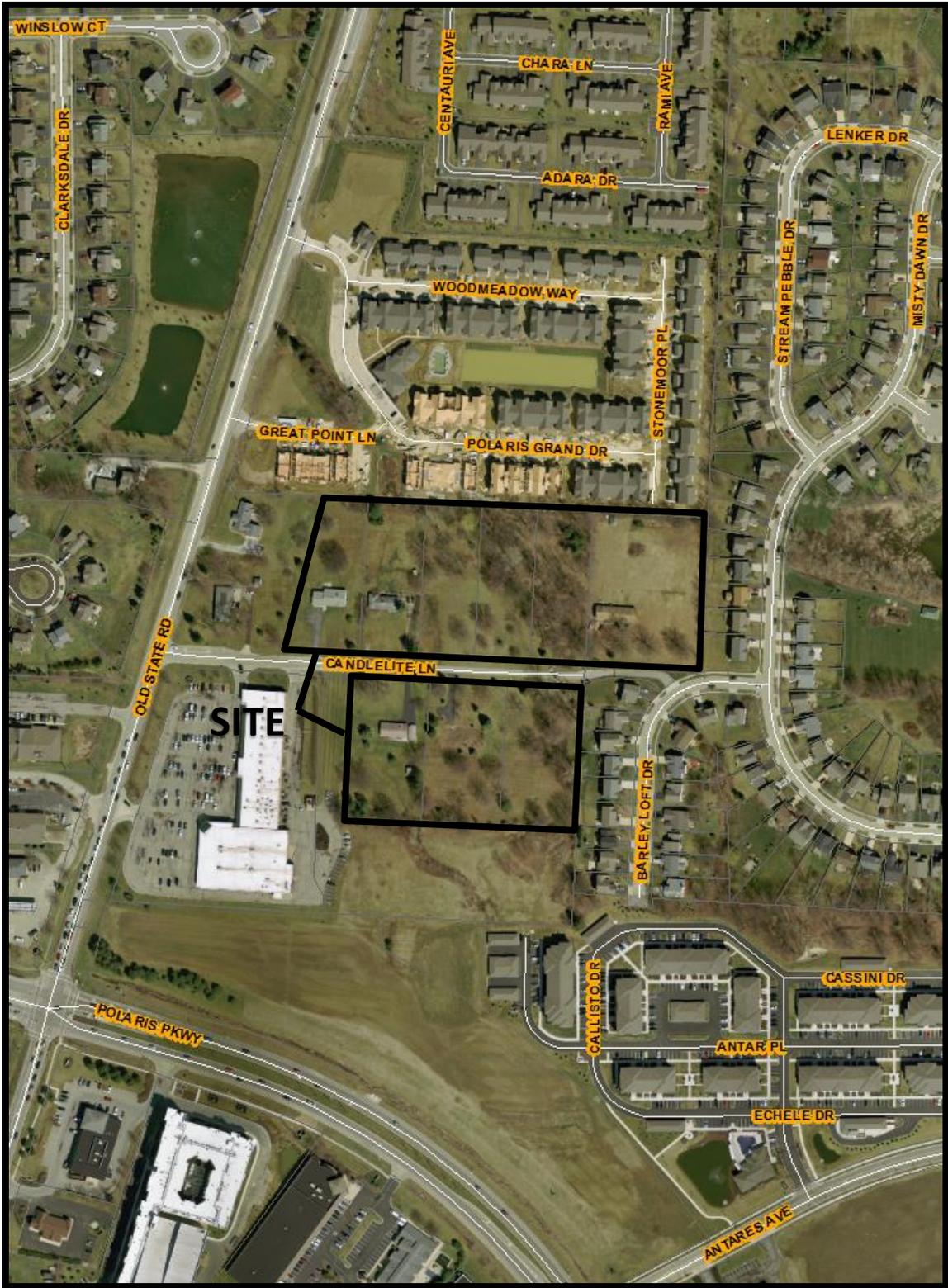


Z17-037
 8835 South Old State Road
 Approximately 11.05 acres
 R to L-ARLD

Figure 16: Polaris Subarea



Z17-037
 8835 South Old State Road
 Approximately 11.05 acres
 R to L-ARLD



Z17-037
8835 South Old State Road
Approximately 11.05 acres
R to L-ARLD

DEVELOPMENT TEXT

Application: Z17-037
Address: 8835 South Old State Road
Owner: Norma Jean Lunzar et al.
Applicant: Arlington Properties
Zoning Districts: L-ARLD
Date of Text: 10/26/17

1. Introduction: The subject site is being annexed from Orange Township into the City of Columbus. The site is on the east side of South Old State Road, 728 feet ± north of Polarius Parkway.

2. Permitted Uses: Those uses permitted in Section 3333.02 AR-12, ARLD and AR-1 apartment residential district use of the Columbus City Code.

3. Development Standards: Except as otherwise noted herein or on the submitted drawing, the applicable development standards of Chapter 3333 Apartment Districts of the Columbus City Code shall apply to this site.

A. Density, Height, Lot, and/or Setback Commitments.

1. Maximum number of dwelling units shall be 176.
2. See accompanying council variance regarding perimeter yard.

B. Access, Loading, Parking and/or Other Traffic Related Commitments.

1. Access shall be as depicted on the attached Site Plan unless modified by the City's Department of Public Service.
2. The applicant shall connect its sidewalks systems to the proposed pedestrian facilities to be constructed along S Old State Road.

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. The setback area west of the parking spaces and north of Candlelite Lane shall be landscaped as follows: one street tree for 35 feet of frontage. These trees may be evenly spaced or grouped.
2. The area within the north perimeter yard shall be landscaped as follows: in the areas shown on the submitted site plan at the rate of six (6) trees per 100 lineal feet with the six (6) trees consisting of a 3:1 ratio of evergreen trees to ornamental and/or street trees; the area within the east perimeter yard shall be landscaped as follows: in the area shown on the submitted site plan at the rate of eight (8) trees per 100 lineal feet with the eight (8) trees consisting of a 3:1 ratio of evergreen trees to ornamental and/or street trees.
3. The applicant will incorporate existing healthy and noninvasive trees as determined by an arborist which are located within the perimeter setback along the east property line north of Candlelite Lane except in the area of the detention pond and along the fence line. If existing trees which are being kept are in the areas where the landscape plan show new plantings, then the new plantings shall be relocated to accommodate the existing trees that are being maintained. The total number of new plantings shall remain the same even if existing trees are being kept.
4. Street trees shall be installed along the frontage of Candlelite Lane adjacent to the applicant's site subject to the review and approval of the City of Columbus were applicable on the basis of 1 tree for every 35 feet of frontage. Trees may be evenly spaced or grouped together.

5. Utility crossing(s) may be required across perimeter yard areas and shall be permitted for provisions of utilities to the site.

D. Building Design and/or Interior-Exterior Treatment Commitments.

1. The applicant has submitted building elevations as part of its zoning application. The buildings shall be developed in accordance with the submitted building elevations. The building elevations may be slightly adjusted to reflect engineering, topographical, or other site data developed at the time of the development and when engineering and architectural drawings are completed. Any slight adjustments to the building elevations shall be subject to review and approval by the Director of the Department of Building and Zoning Services, or a designee, upon submission of the appropriate data regarding proposed adjustment.

E. Lighting, Outdoor Display Areas, and/or other Environmental Commitments.

1. Maximum height of light poles shall be fourteen feet.
2. All external lighting (parking and wall-mounted) shall be cut-off fixtures (down lighting) and shall be designed to prevent offsite spillage.

F. Graphics and/or Signage Commitments.

1. Any variance to the standards of Columbus City Code shall be submitted to the Columbus Graphics Commission.

G. Miscellaneous Commitments.

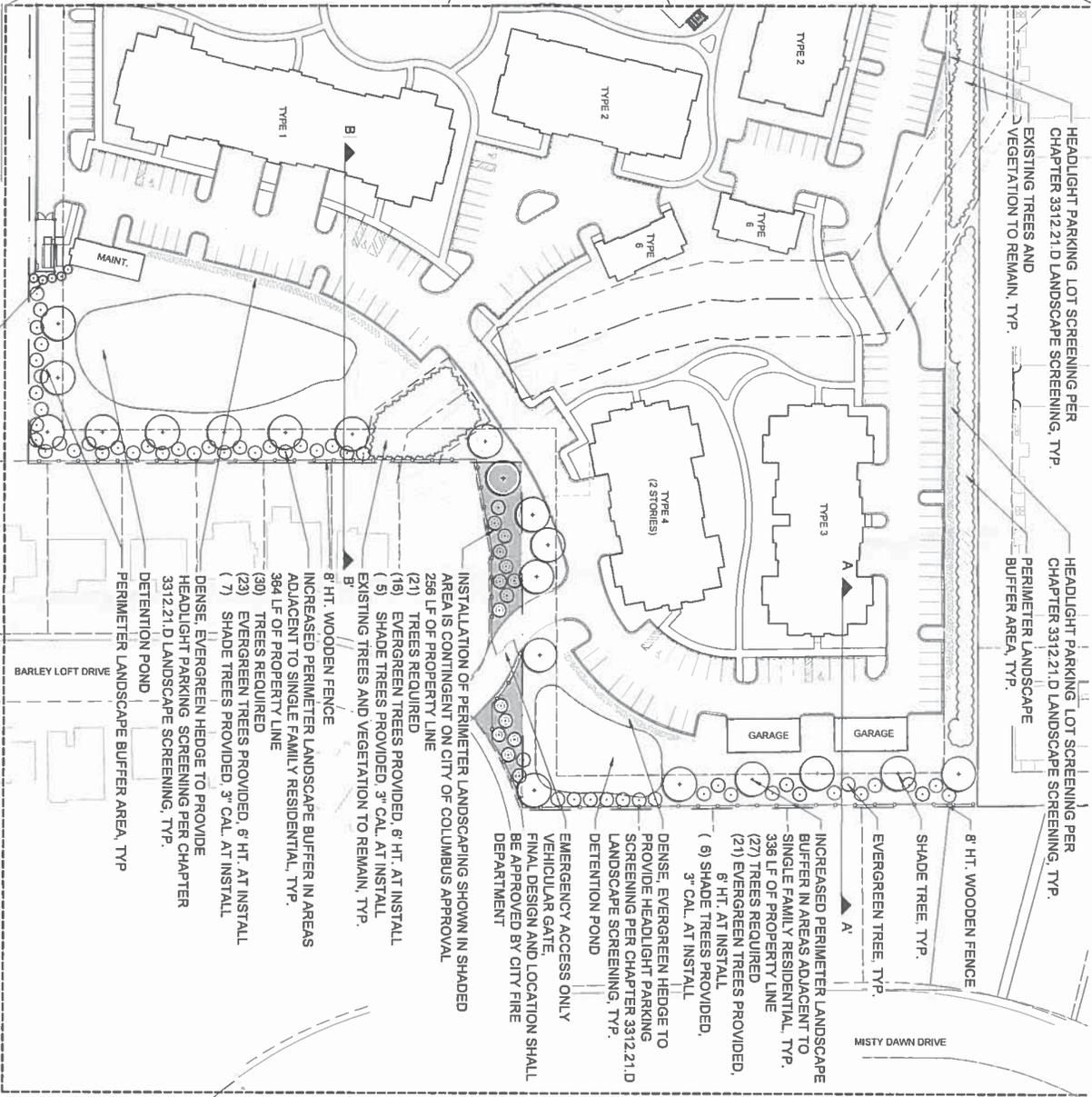
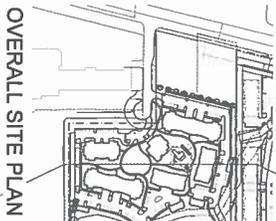
1. There shall be an internal sidewalk system within the development as shown on the submitted site plan.
2. The developer shall comply with the parkland dedication ordinance.
3. All new wiring shall be underground.
4. The proposed development shall be developed in general conformance with the submitted Site Plan. The plan may be adjusted to reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any adjustment to the Site Plan shall be reviewed and may be approved by the City's Director of the Department of Building & Zoning Services or his designee upon submission of the appropriate data regarding the proposed adjustment.

The undersigned, being the agent for the owner of the subject property together with the applicant in the subject application, does hereby agree on behalf of the owner and the applicant, singularly and collectively for themselves, their successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions, or commitments shall in any manner act to negate, nullify, alter, or modify any more restrictive provision of the Columbus City Code.

Respectfully Submitted,

Jeffrey L. Brown, Esq.

arlington1.txt (nct) 10/30/17 S:Docs/s&htxts/2017



EVERGREEN TREES SHALL BE INSTALLED AROUND TRASH COMPACTOR TO PROVIDE SCREENING. EVERGREEN SCREENING SHALL ALSO BE INSTALLED BETWEEN COMPACTOR AND SOUTH PROPERTY LINE.

INSTALLATION OF PERIMETER LANDSCAPING SHOWN IN SHADED AREA IS CONTINGENT ON CITY OF COLUMBUS APPROVAL
 256 LF OF PROPERTY LINE
 (21) TREES REQUIRED
 (18) EVERGREEN TREES PROVIDED, 6" HT. AT INSTALL
 (5) SHADE TREES PROVIDED, 3" CAL. AT INSTALL
 (5) EXISTING TREES AND VEGETATION TO REMAIN, TYP.

8" HT. WOODEN FENCE
 INCREASED PERIMETER LANDSCAPE BUFFER IN AREAS ADJACENT TO SINGLE FAMILY RESIDENTIAL, TYP.
 364 LF OF PROPERTY LINE
 (30) TREES REQUIRED
 (23) EVERGREEN TREES PROVIDED, 6" HT. AT INSTALL
 (7) SHADE TREES PROVIDED, 3" CAL. AT INSTALL

DENSE, EVERGREEN HEDGE TO PROVIDE HEADLIGHT PARKING SCREENING PER CHAPTER 3312.21.D LANDSCAPE SCREENING, TYP.

DETECTION POND
 PERIMETER LANDSCAPE BUFFER AREA, TYP.

INCREASED PERIMETER LANDSCAPE BUFFER IN AREAS ADJACENT TO SINGLE FAMILY RESIDENTIAL, TYP.
 336 LF OF PROPERTY LINE
 (27) TREES REQUIRED
 (21) EVERGREEN TREES PROVIDED, 6" HT. AT INSTALL
 (6) SHADE TREES PROVIDED, 3" CAL. AT INSTALL

DENSE, EVERGREEN HEDGE TO PROVIDE HEADLIGHT PARKING SCREENING PER CHAPTER 3312.21.D LANDSCAPE SCREENING, TYP.

DETECTION POND
 EMERGENCY ACCESS ONLY
 VEHICULAR GATE
 FINAL DESIGN AND LOCATION SHALL BE APPROVED BY CITY FIRE DEPARTMENT

HEADLIGHT PARKING LOT SCREENING PER CHAPTER 3312.21.D LANDSCAPE SCREENING, TYP.
 EXISTING TREES AND VEGETATION TO REMAIN, TYP.

HEADLIGHT PARKING LOT SCREENING PER CHAPTER 3312.21.D LANDSCAPE SCREENING, TYP.
 PERIMETER LANDSCAPE BUFFER AREA, TYP.

8' HT. WOODEN FENCE
 SHADE TREE, TYP.
 EVERGREEN TREE, TYP.

MISTY DAWN DRIVE

BARLEY LOFT DRIVE



GENERAL NOTES

The east perimeter shall have the following buffer landscape per the development standards for this property.

(9) trees per 100 lineal feet of property line with the (8) trees consisting of a 3:1 ratio of evergreen trees to ornamental and/or street trees.

Minimum Tree Sizes per Ch. 3312.13.C of Site Development Standards

Deciduous/Shade Trees shall be 2" caliper, min. at time of planting.

Evergreen/Conifer Trees shall be 4" height, min. at time of planting.

Ornamental Trees shall be 1.5" caliper, min. at time of planting.

Shrubs shall be 2' ht., min. at time of planting.

Ornamental Grasses shall be Number 2 size container, min. at time of planting.

Street Number: **17501**

ZONING SUBMITTAL
 EASTERN PERIMETER
 LANDSCAPE ENHANCEMENT



CANDLELITE LANE DEVELOPMENT
 Columbus, Ohio

Arlington Properties
 2117 2nd Avenue North, Suite 300

Prepared By:	MDJ
Reviewed By:	MDJ
Drawn By:	MDJ
Checked By:	MDJ
Responsible:	MDJ
Date:	