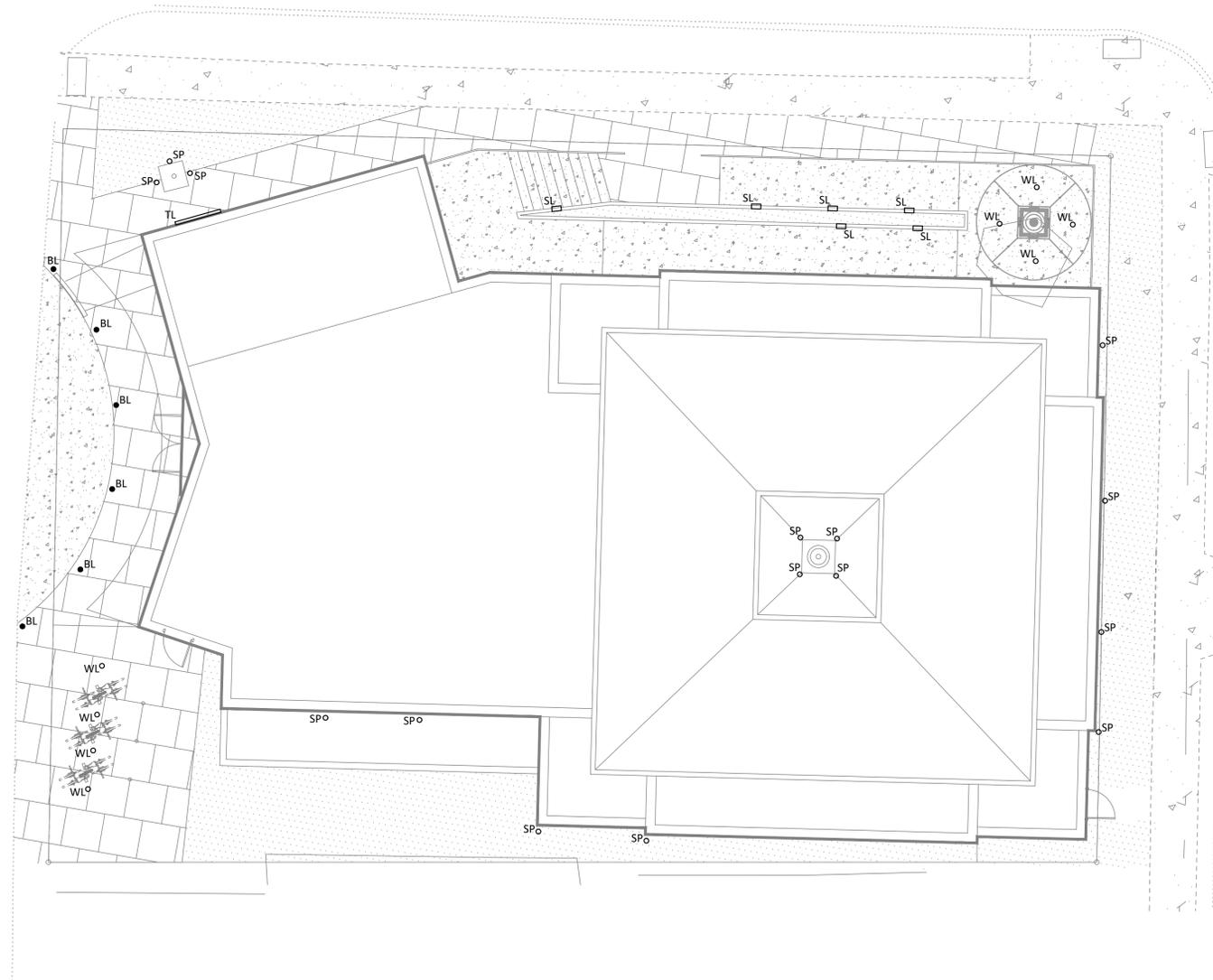






*SITE LUMINAIRE SCHEDULE*

CALLOUT	SYMBOL	DESCRIPTION	MODEL
BL	•	BOLLARD LIGHT	BEGA 99620
SL	□	STEP LIGHT	BEGA 22272
SP	○	SPOT LIGHT	LITHONIA OLBS-8-50K-DDB
TL	▬	BULLETIN BOARD TAPE LIGHTING	ACOLYTE LED RB-68-12-1.5-41 PROVIDE WITH AC1 MOUNTING CHANNEL
WL	○	IN GRADE WELL LIGHT	BEGA 77019



**1 SITE LIGHTING PLAN**  
SCALE: 1/8" = 1'-0"



JOB NO. :

**KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

PROJECT:

John Quillen, PE, MBA  
907 Mimosa Ct. #B  
Lebanon, OH 45036  
OH - PE # 79076

ARCHITECT:

Peter S. Marzke, AIA  
Principal  
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F 614.235.8105  
psmarzke@marzkearchitects.com

02/11/2019

DRAWN BY: SH

CHECKED BY: JQ

REVISIONS:

NO.	DESCRIPTION

**SITE LIGHTING PLAN**

**E1**

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

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01/31/2019

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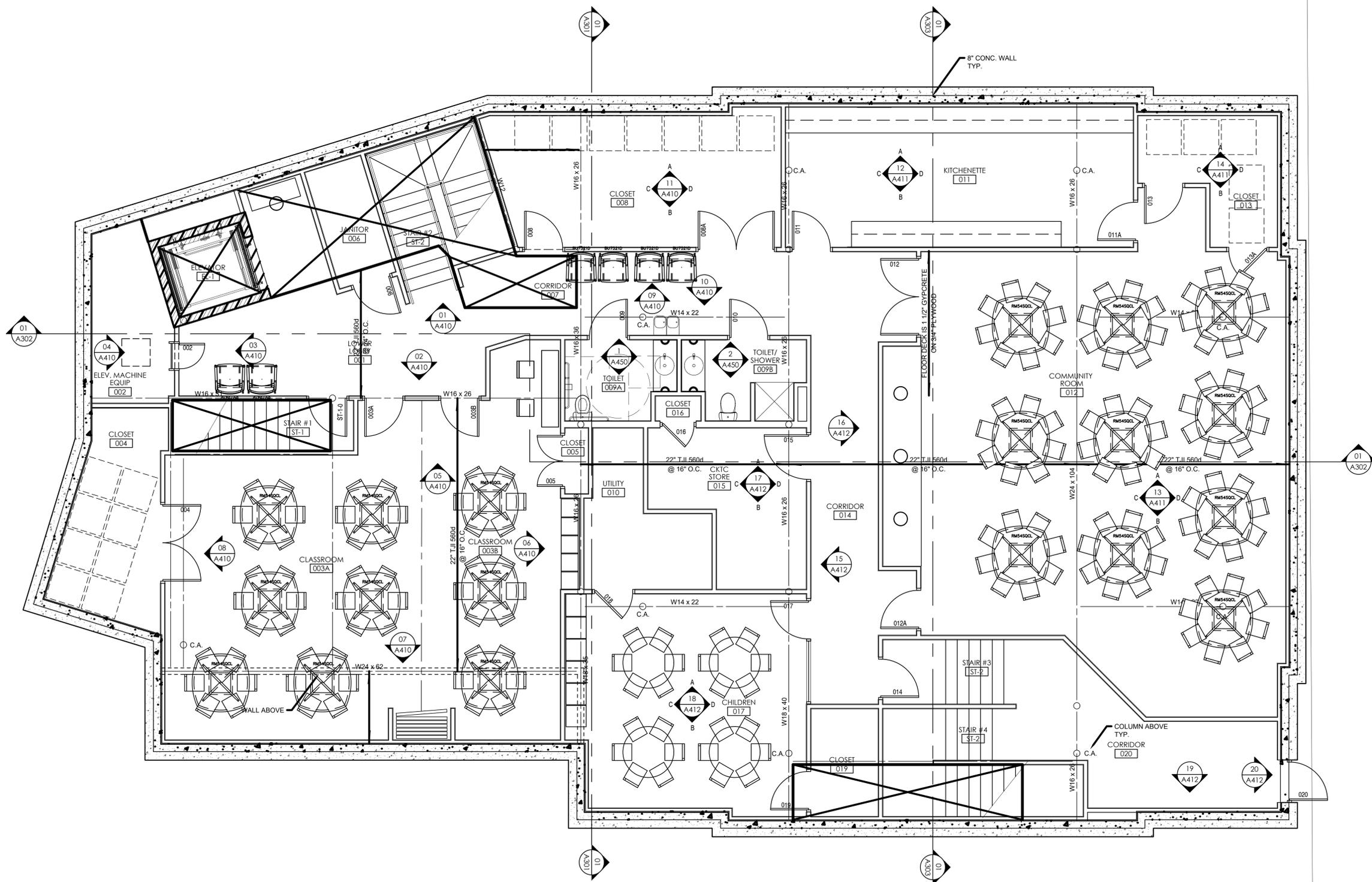
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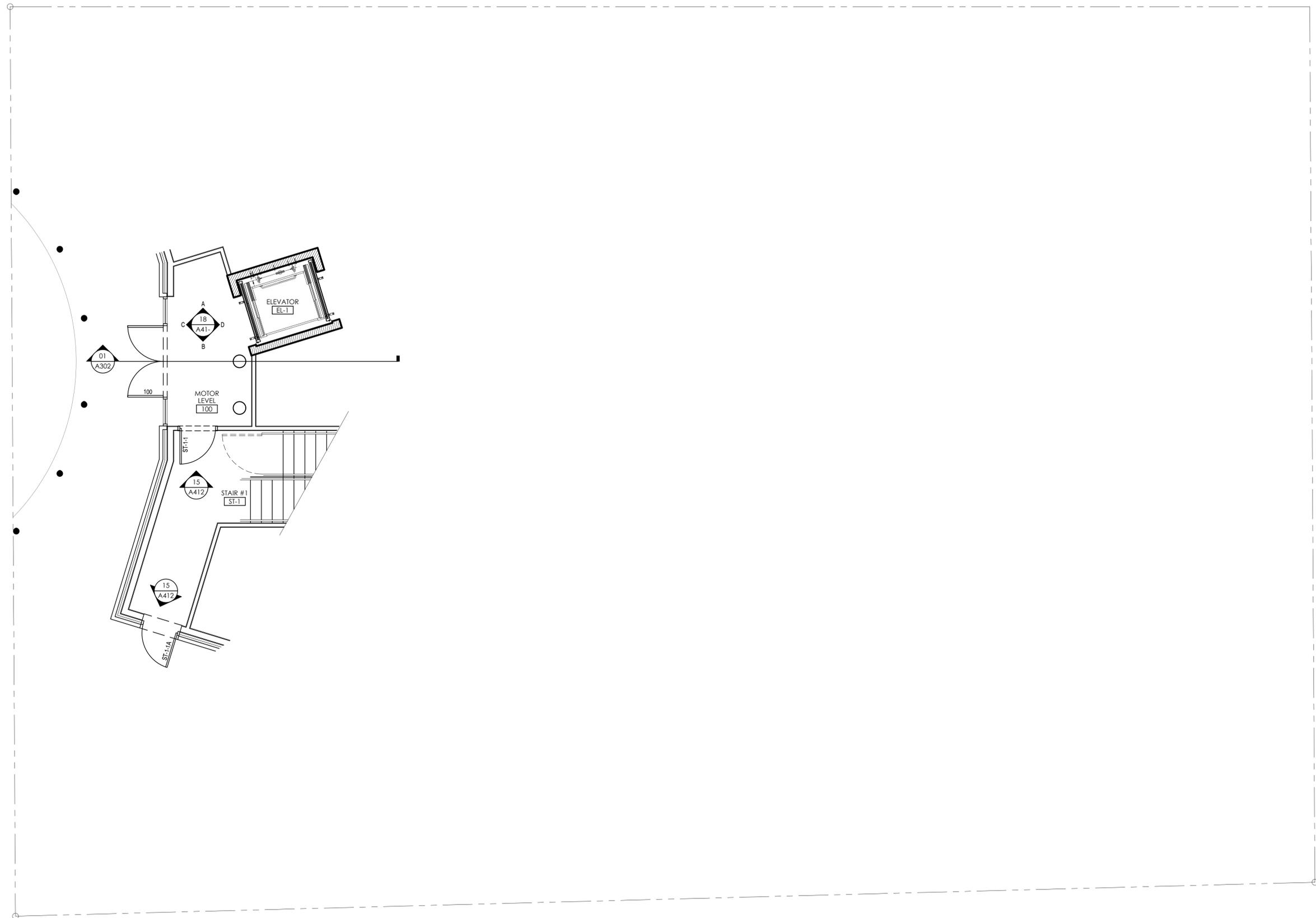
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LOWER LEVEL FLOOR PLAN

A-101



**1 LOWER LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



1 MOTOR LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0" 

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

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DRAWN BY: MM

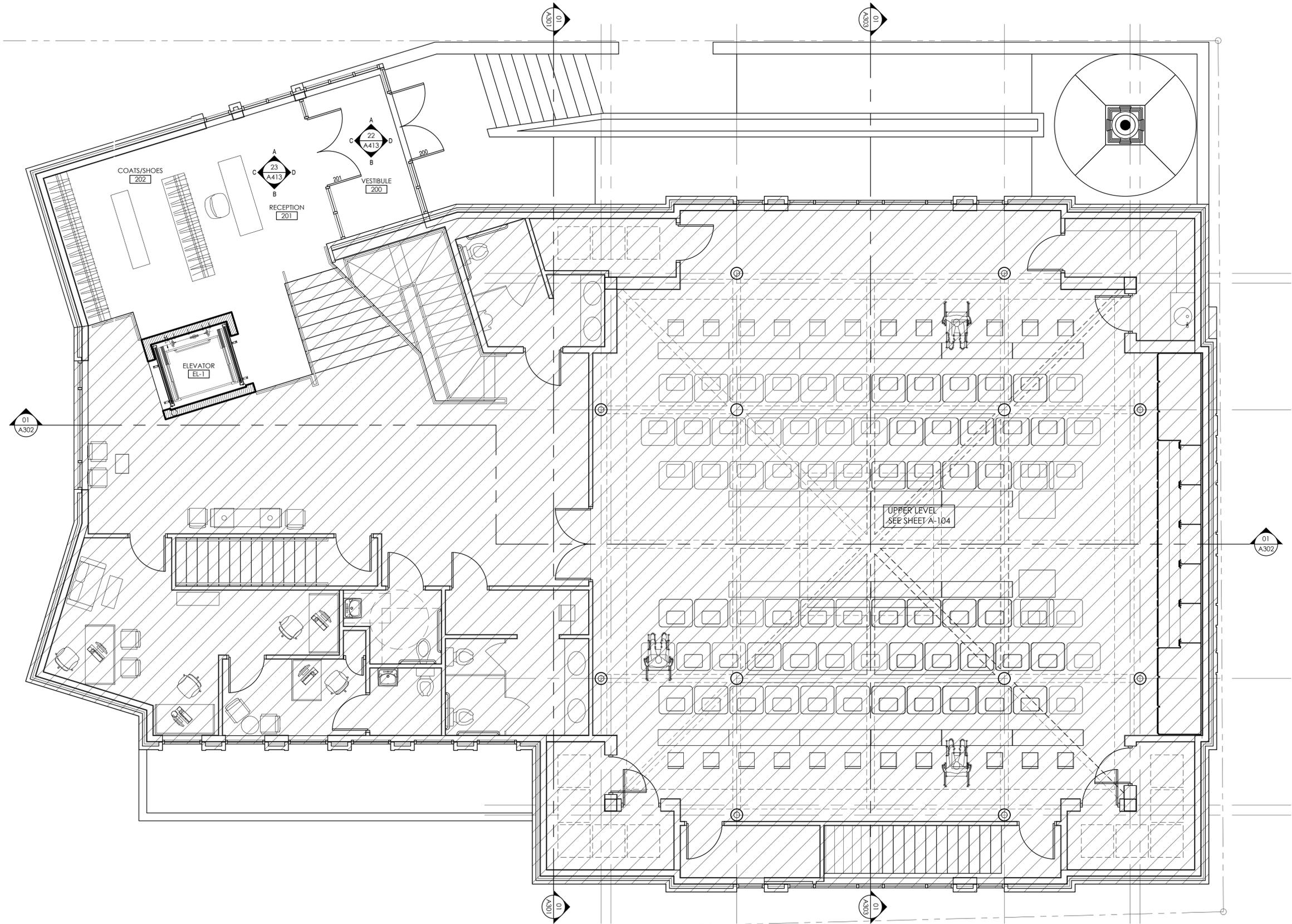
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REVISIONS:

△	XX/XX/18

MOTOR LEVEL FLOOR PLAN

A-102



**1 VESTIBULE LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



JOB NO.:

**PROJECT:**  
**KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

**ARCHITECT:**

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DRAWN BY: MM

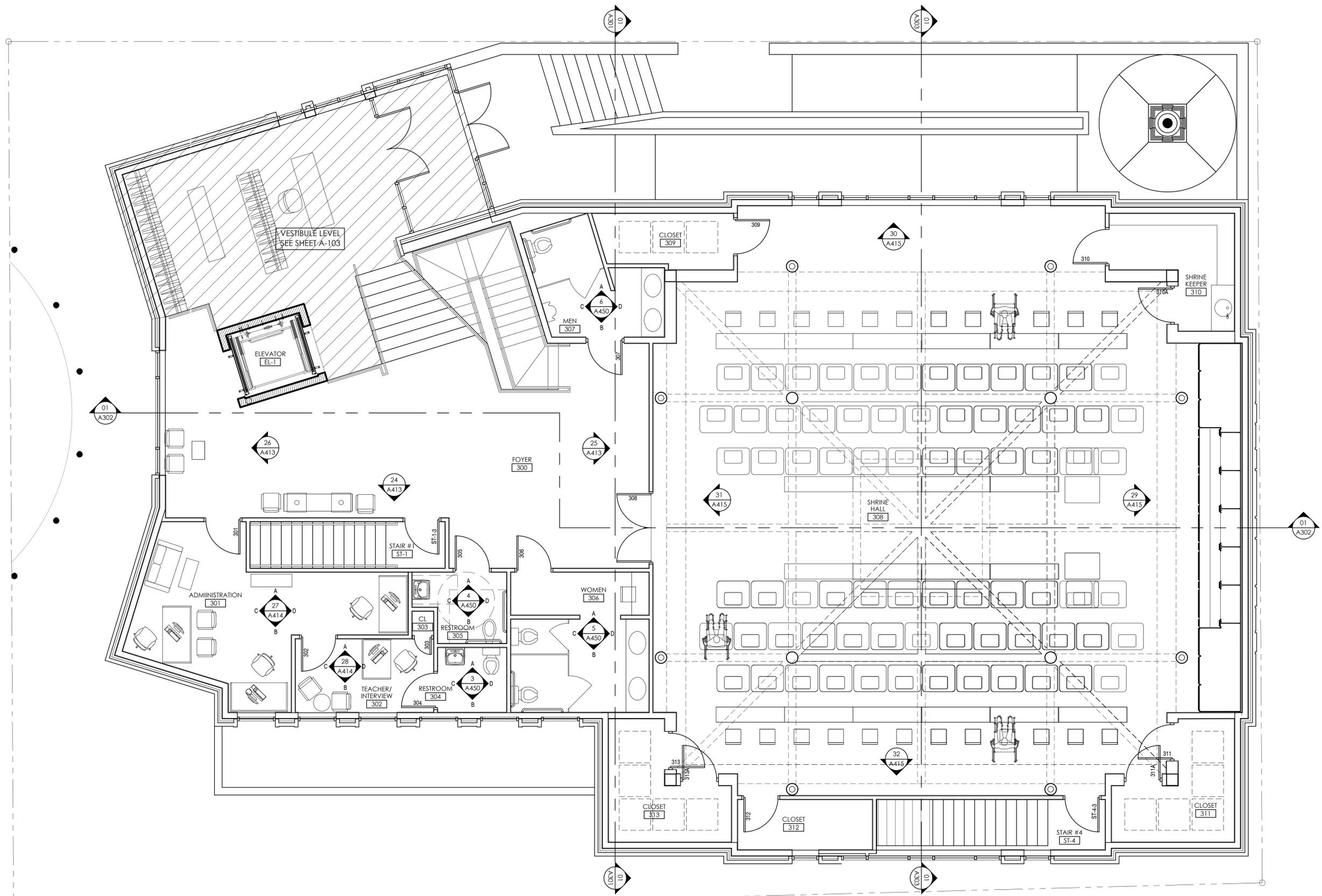
CHECKED BY:

REVISIONS:

△ XX/XX/18

**VESTIBULE LEVEL FLOOR PLAN**

**A-103**



1 UPPER LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"  
 NORTH

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
 COLUMBUS, OH 43215

ARCHITECT:

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01/31/2019

DRAWN BY: MM

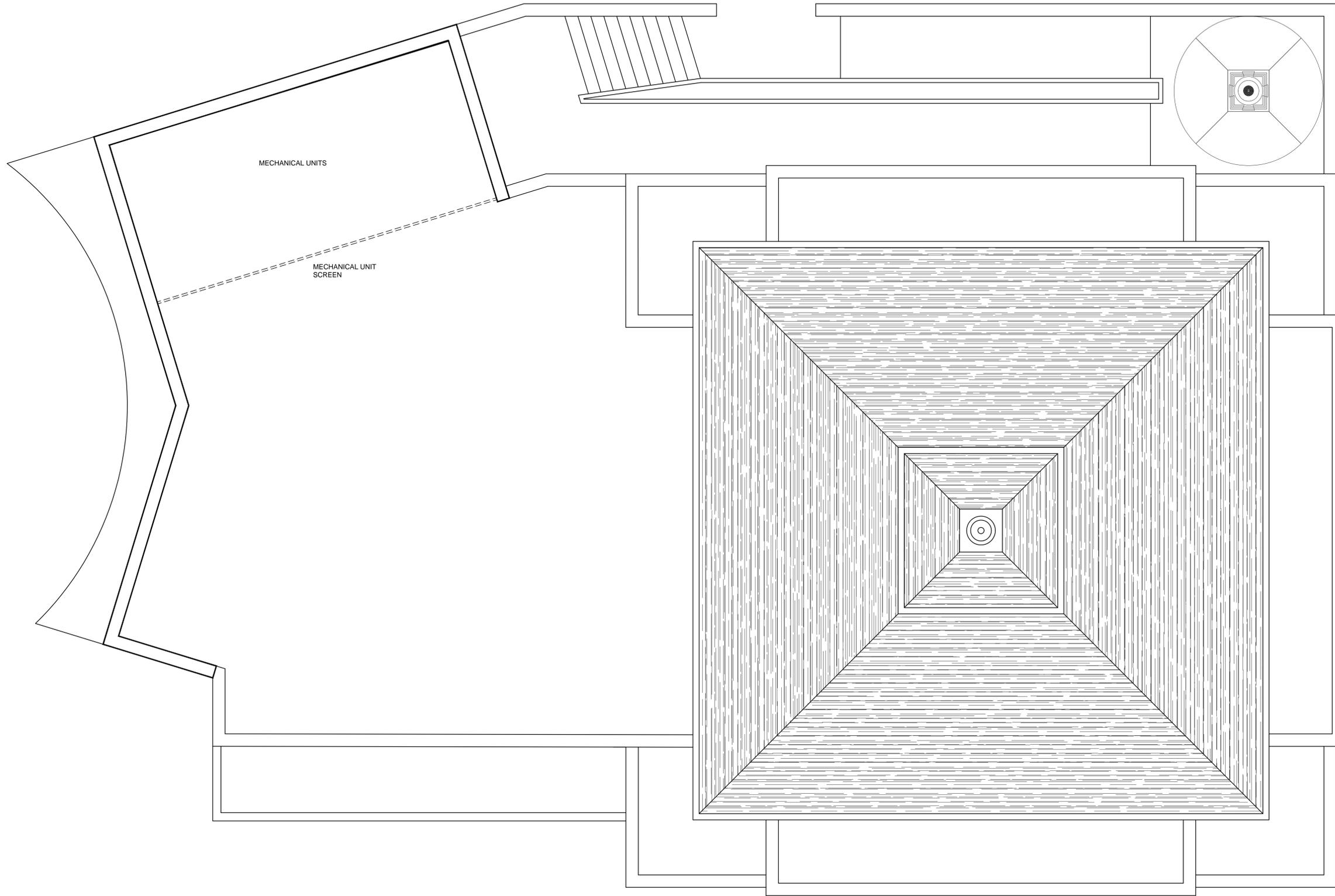
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REVISIONS:

XX/XX/18

UPPER LEVEL FLOOR PLAN

A-104



JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
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01/31/2019

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CHECKED BY:

REVISIONS:

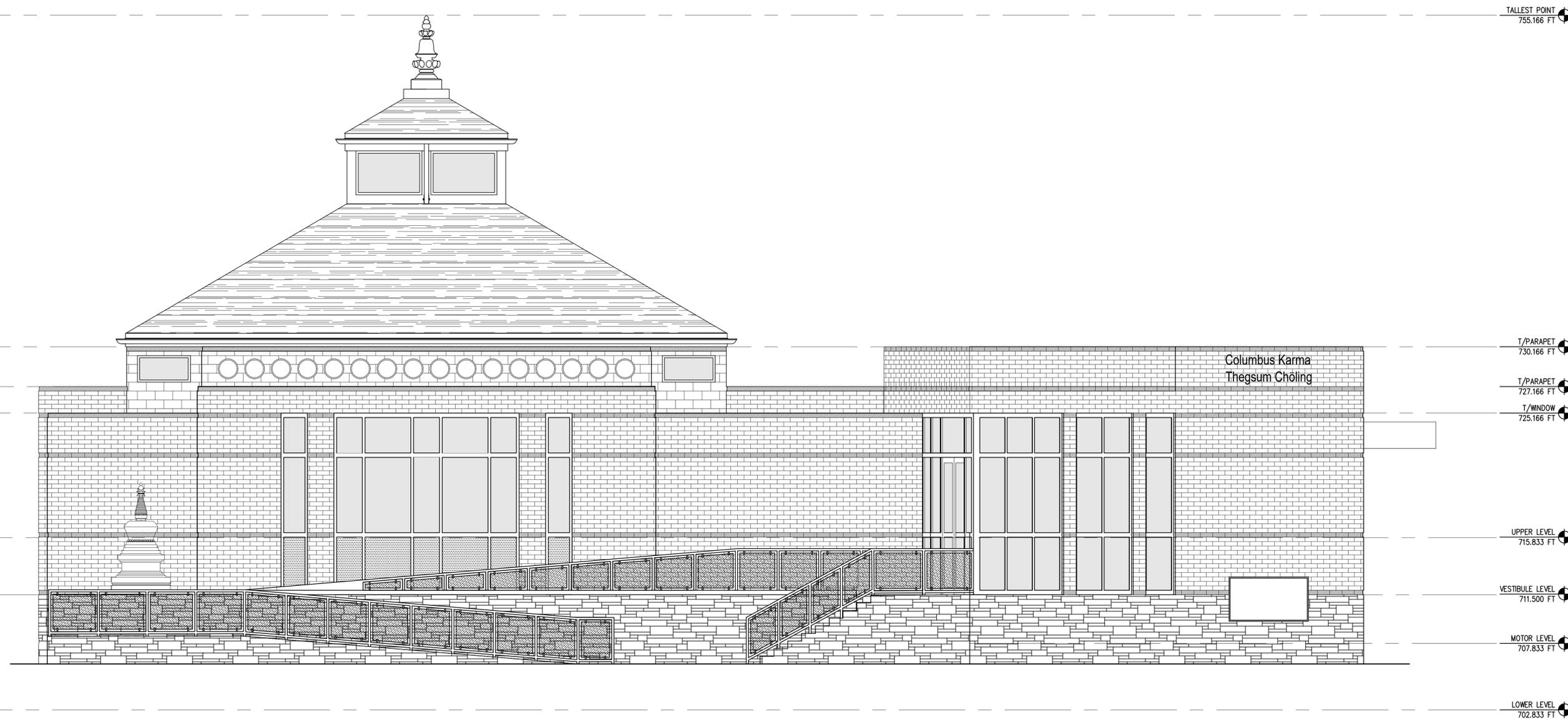
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ROOF PLAN

A-105

1 ROOF PLAN  
SCALE: 3/16" = 1'-0"





1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

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01/31/2019

DRAWN BY: MM

CHECKED BY:

REVISIONS:

△ XX/XX/18

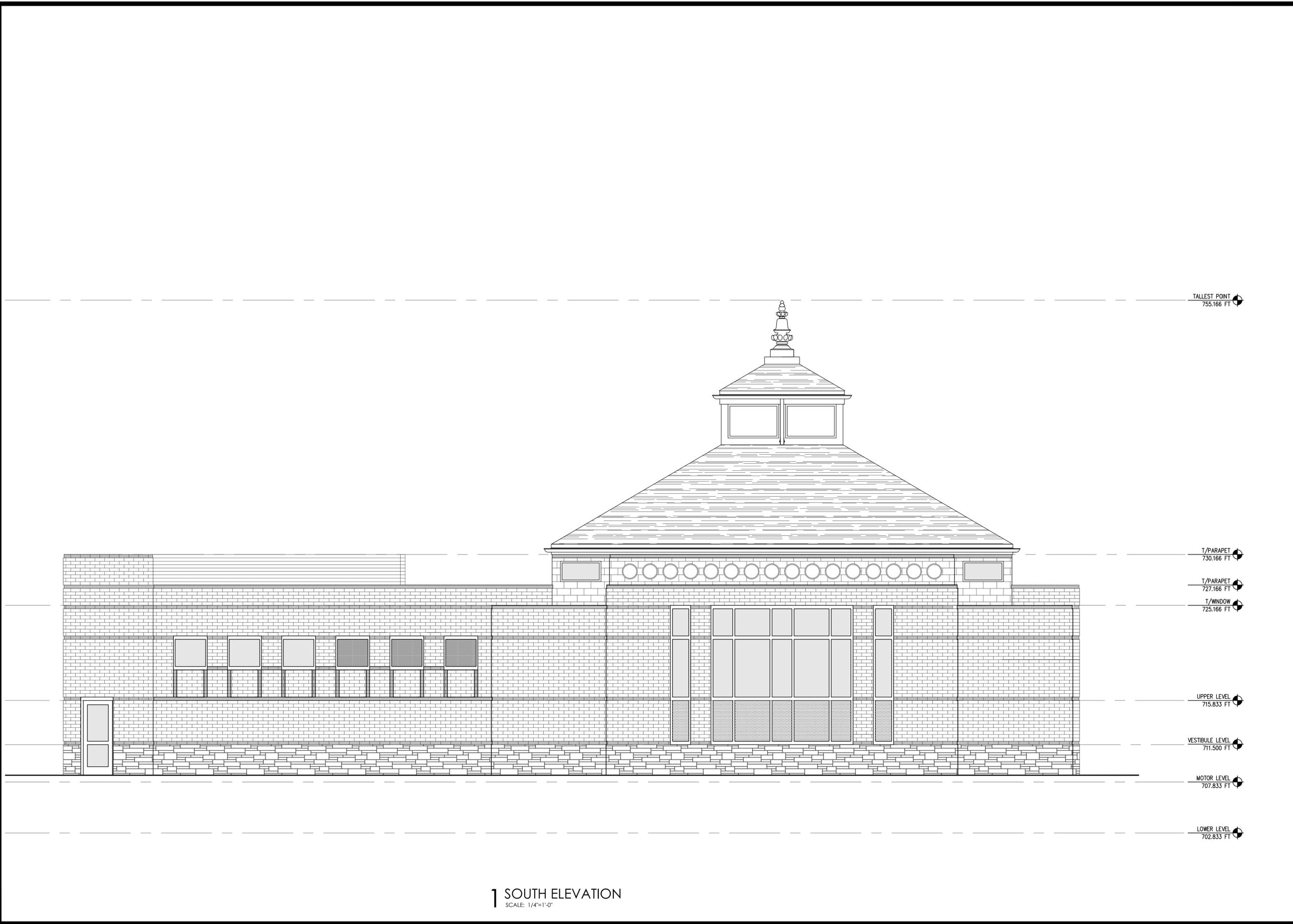
**NORTH  
EXTERIOR  
ELEVATION**

**A-201**



Columbus Kae na  
Phosum Chöng





1 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
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ARCHITECT:

ARCHITECT:

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MANUFACTURED WITH A SUSTAINABLE PERSPECTIVE

01/31/2019

DRAWN BY: MM

CHECKED BY:

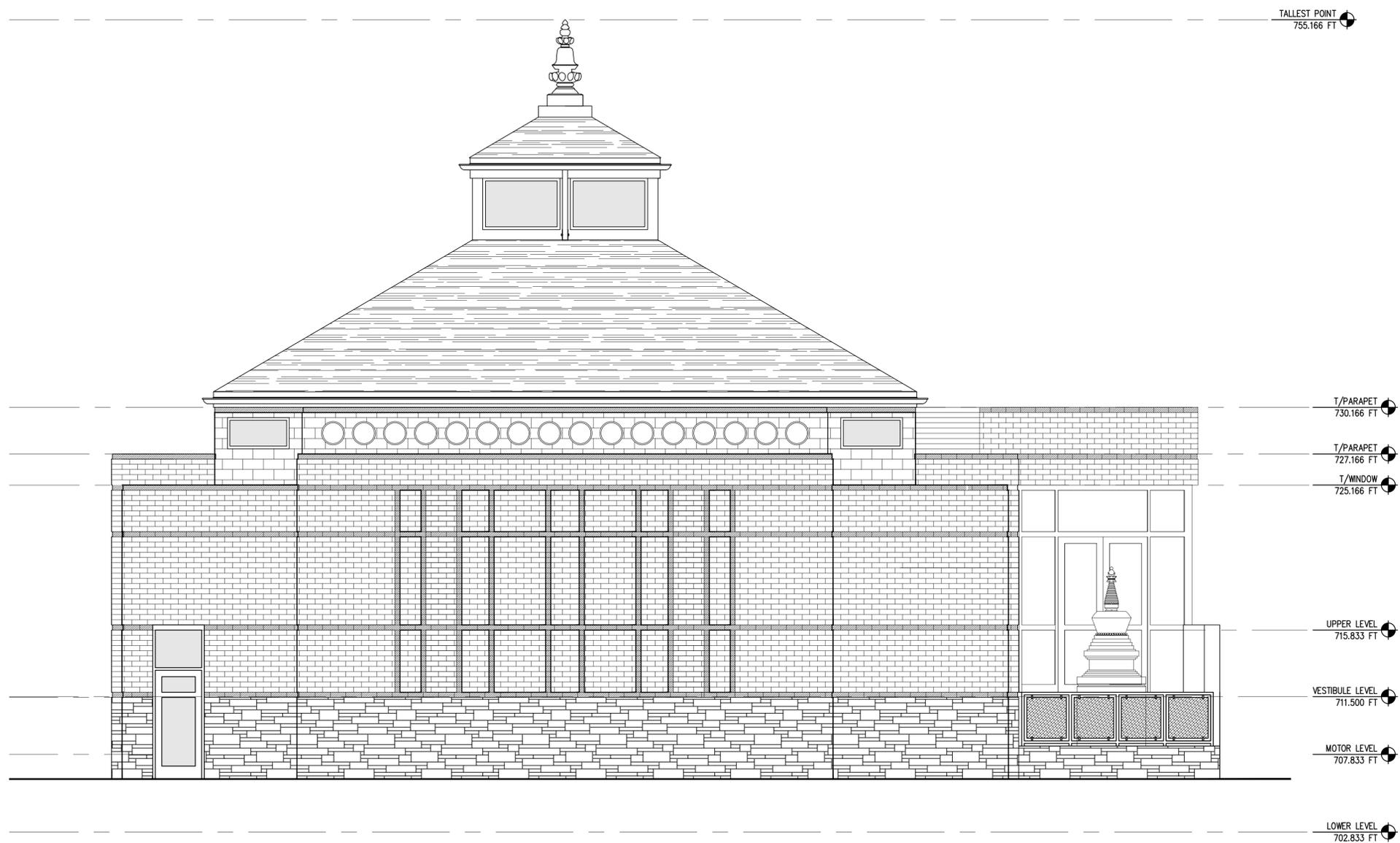
REVISIONS:

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**SOUTH  
EXTERIOR  
ELEVATION**

**A-202**





1 EAST ELEVATION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

ARCHITECT:

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01/31/2019

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CHECKED BY:

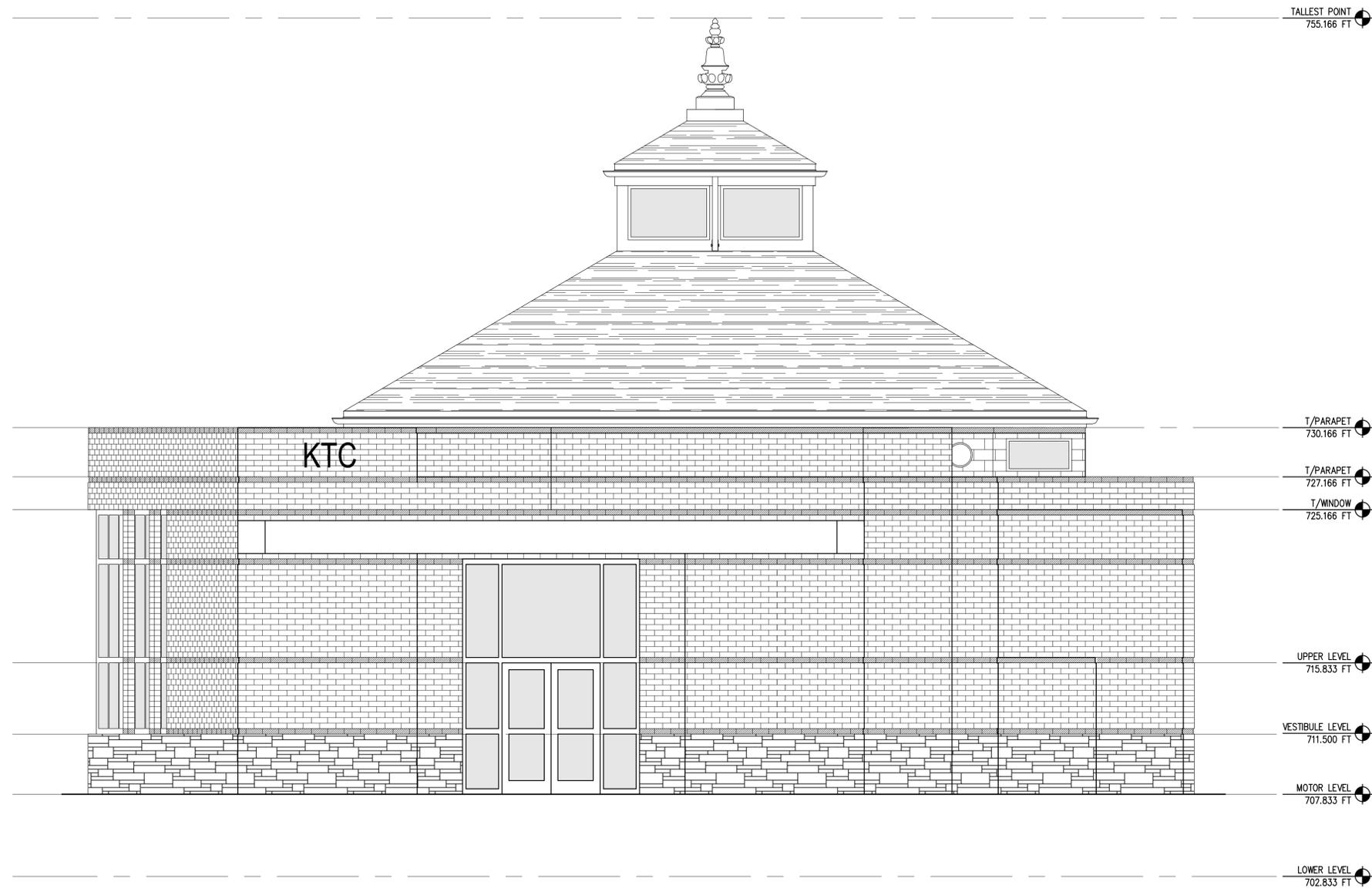
REVISIONS:

XX/XX/18

EAST  
EXTERIOR  
ELEVATION

A-203





1 WEST ELEVATION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
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DRAWN BY: MM

CHECKED BY:

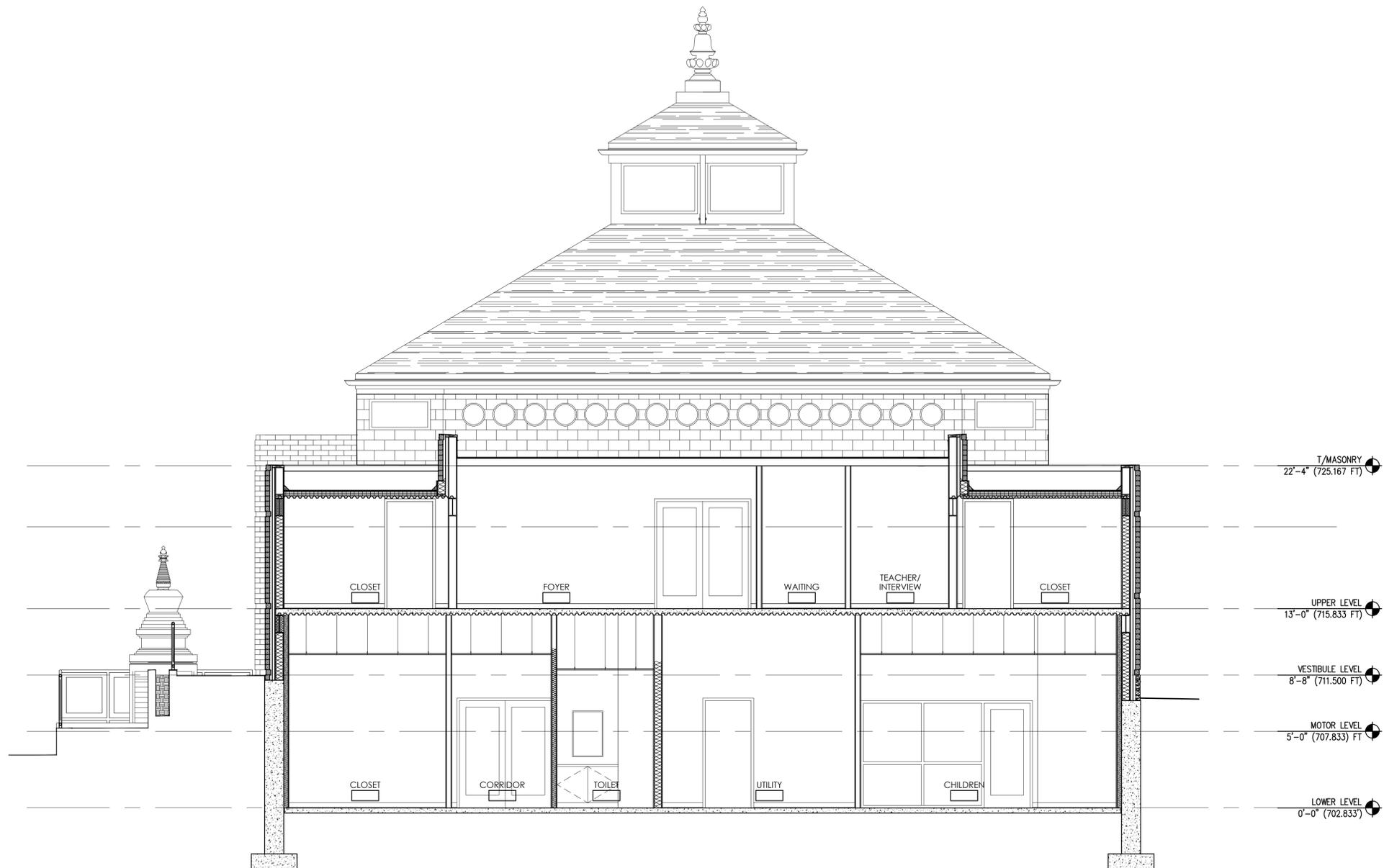
REVISIONS:

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WEST  
EXTERIOR  
ELEVATION

A-204





1 BUILDING SECTION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

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MANAGED WITH A DIFFERENT PERSPECTIVE

01/31/2019

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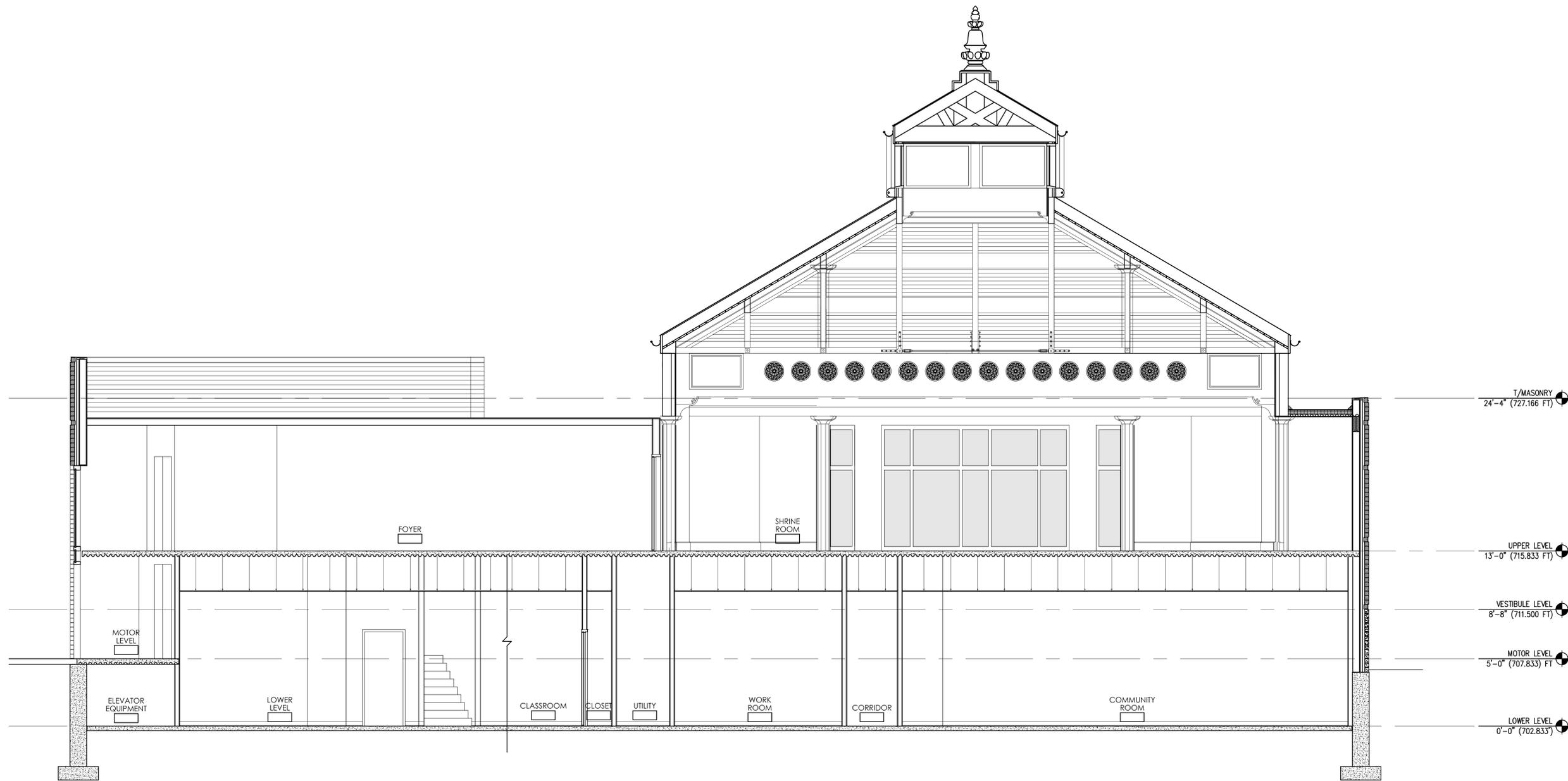
CHECKED BY:

REVISIONS:

XX/XX/18

BUILDING SECTION

A-301



1 BUILDING SECTION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

ARCHITECT:

ARCHITECT:

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01/31/2019

DRAWN BY: MM

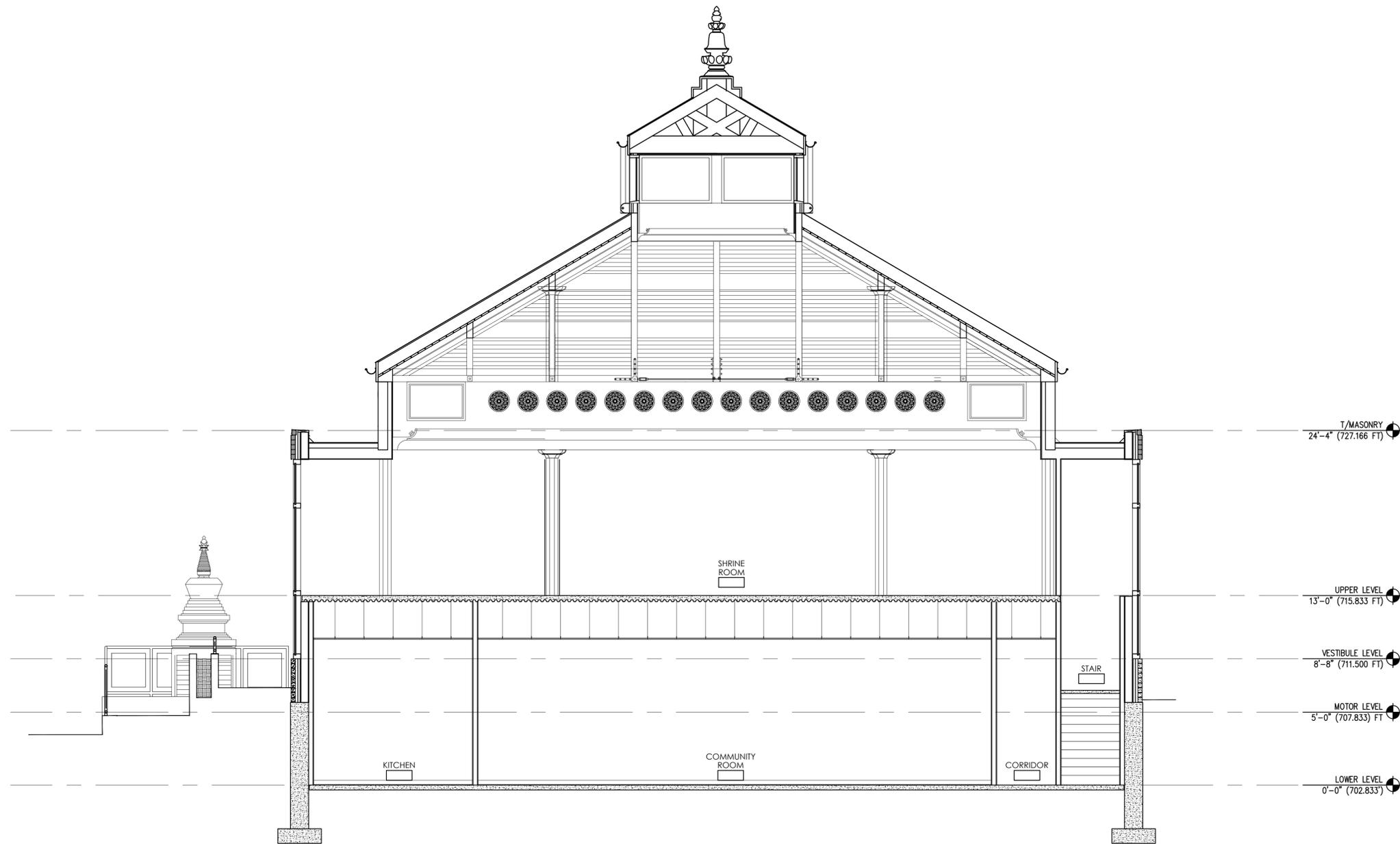
CHECKED BY:

REVISIONS:

XX/XX/18

BUILDING SECTION

A-302



1 BUILDING SECTION  
SCALE: 1/4"=1'-0"

JOB NO.:

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
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01/31/2019

DRAWN BY: MM

CHECKED BY:

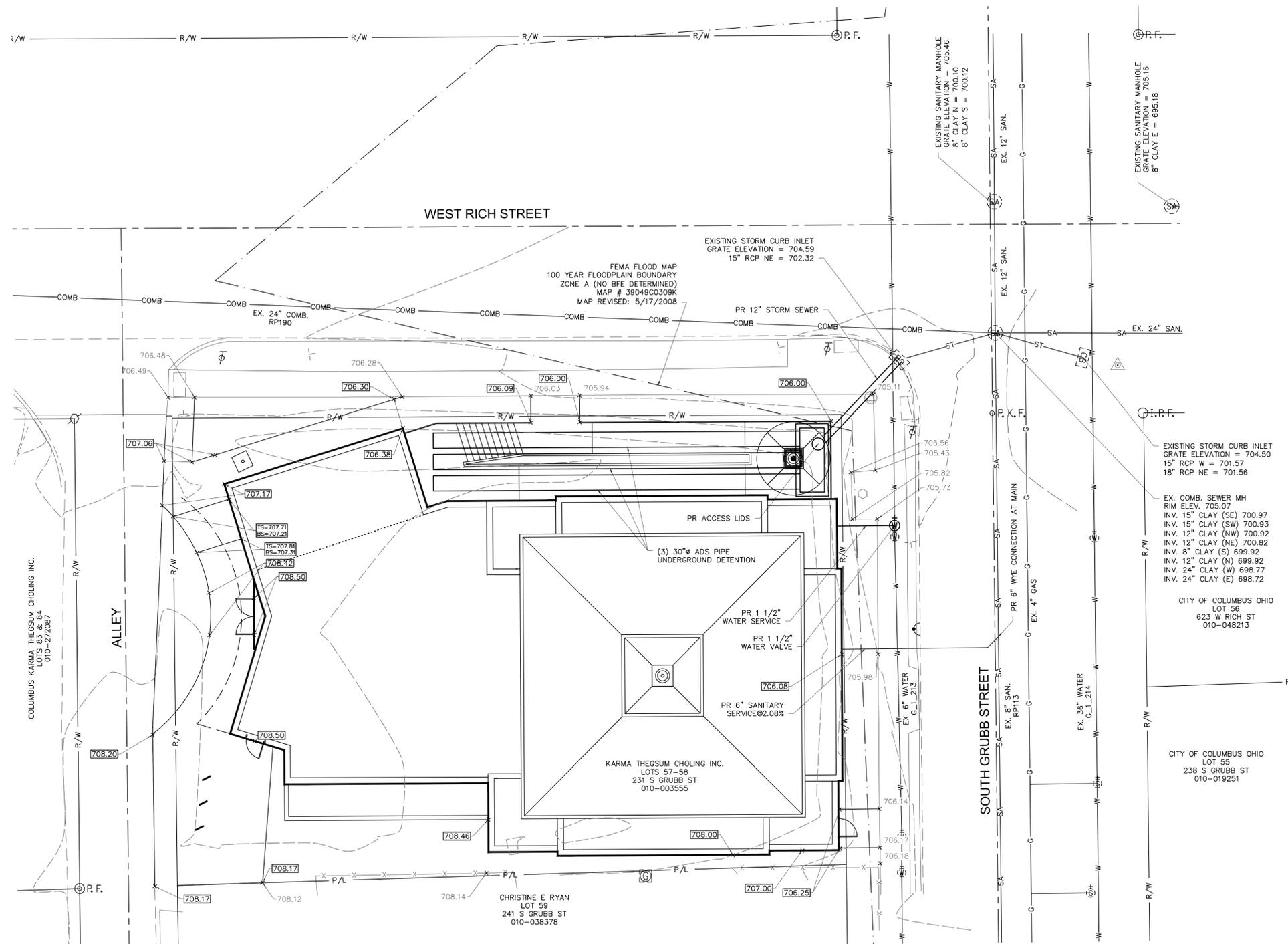
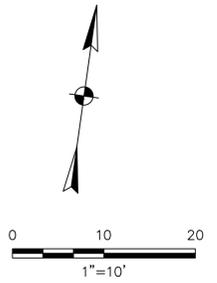
REVISIONS:

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BUILDING SECTION

A-303





[wagne@cwgd.net] D:\Project\2017\170041\Drawing\CC02.dwg - February 13, 2018 @ 6:51pm

EASEMENT REFERENCE			REVISIONS		
CITY NO.	COUNTY RECORDER		NO.	DESCRIPTION	APPROVAL/DATE
	VOL.	PAGE			

PLAN PREPARED BY:		
PHONE: 614-846-9279 FAX: 614-846-9276 E-MAIL: cwgd@cwgd.net 972 Linkfield Drive Worthington, Ohio 43085		

GRADING AND DRAINAGE PLAN

PROJECT TITLE: PRIVATE STORM SEWERS FOR					
CKTC BUDDHIST TEMPLE					
231 S GRUBB ST, COLUMBUS, OHIO					
DIVISION USE ONLY			OWNER		
			CONTRACTOR		
			INSPECTOR		
AGREEMENT		COMPLETED			
RPD	CKD	CLD	CON.	DR.	

CITY OF COLUMBUS DEPARTMENT OF PUBLIC UTILITIES DIVISION OF SEWERAGE AND DRAINAGE	
SCALE: 1"=10'	SHEET: <b>2 / 3</b>
CONTRACT DRAWING NO. <b>CC-</b>	RECORD PLAN NO.

**EROSION AND SEDIMENT CONTROL**

LAND DISTURBANCE OF ONE ACRE OR GREATER ARE REQUIRED TO SUBMIT TO THE CITY FOR APPROVAL OF EROSION AND SEDIMENT CONTROL MEASURES. THE CONTRACTOR PROPOSING SUCH LAND-DISTURBING ACTIVITIES MUST COMPLY WITH ALL PROVISIONS OF THE DIVISION OF SEWERAGE AND DRAINAGE EROSION AND SEDIMENT POLLUTION CONTROL REGULATION. ALL LAND-DISTURBING ACTIVITIES SHALL BE SUBJECT TO INSPECTION & SITE INVESTIGATION BY THE CITY OF COLUMBUS TO DETERMINE COMPLIANCE WITH THE STANDARDS AND REGULATIONS. FAILURE TO COMPLY WITH THESE REGULATIONS IS SUBJECT TO ENFORCEMENT ACTION BY THE CITY.

DIRECT DISCHARGE OF SEDIMENT LADEN WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF COLUMBUS REGULATIONS. THE CONTRACTOR WILL BE HELD LIABLE FOR VIOLATION AND SUBSEQUENT FINES.

STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGH THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING AND (IF NECESSARY) MANUAL REMOVAL OF DIRT OR MUD IN THE STREET GUTTERS.

THIS PLAN MUST BE POSTED ON-SITE. A COPY OF THE SWPPP PLAN AND APPROVED EPA STORMWATER PERMIT (WITH THE SITE-SPECIFIC NOI NUMBER) SHALL BE KEPT ON-SITE AT ALL TIMES.

THE PROPERTY OWNER, ITS ADMINISTRATORS, EXECUTORS, SUCCESSORS, HEIRS OR ASSIGNS SHALL MAINTAIN THE STORMWATER CONTROL FACILITY OR FACILITIES IN GOOD WORKING CONDITION ACCEPTABLE TO THE CITY AND IN ACCORDANCE WITH THE SCHEDULE OF LONG TERM MAINTENANCE ACTIVITIES IN THE STORMWATER CONTROL FACILITY MAINTENANCE PLAN.

THE PROPERTY OWNER SHALL MAINTAIN COPIES OF COMPLETE DATED AND SIGNED INSPECTION CHECKLISTS IN A MAINTENANCE INSPECTION LOG, ALONG WITH RECORDED DATES AND DESCRIPTIONS OF MAINTENANCE ACTIVITIES PERFORMED BY THE PROPERTY OWNER TO REMEDY THE DEFICIENCIES OBSERVED DURING PRIOR INSPECTIONS. THE MAINTENANCE INSPECTION LOG SHALL BE KEPT ON THE PROPERTY AND SHALL BE AVAILABLE TO THE CITY UPON REQUEST. A COPY OF THE MAINTENANCE INSPECTION LOG SHALL BE SUBMITTED ANNUALLY BY DECEMBER 31ST OF EACH YEAR TO THE DIVISION OF SEWERAGE AND DRAINAGE. MAINTENANCE INSPECTION LOGS SHALL BE SUBMITTED TO:

CITY OF COLUMBUS  
DIVISION OF SEWERAGE AND DRAINAGE  
STORMWATER AND REGULATORY MANAGEMENT SECTION  
1250 FAIRWOOD AVENUE  
COLUMBUS, OHIO 43206

**SEDIMENT/EROSION CONTROL STANDARDS & CRITERIA**

IN ORDER TO CONTROL SEDIMENT POLLUTION OF WATER RESOURCES THE OWNER OR PERSON RESPONSIBLE FOR THE DEVELOPMENT AREA SHALL USE CONSERVATION PLANNING AND PRACTICES TO MAINTAIN THE LEVEL OF CONSERVATION ESTABLISHED BY THE FOLLOWING STANDARDS:

1. TIMING OF SEDIMENT-TRAPPING PRACTICES. SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL THROUGHOUT EARTH-DISTURBING PERIMETER CONTROLS, AND OTHER PRACTICES INTENDED TO TRAP SEDIMENT SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRADING. THEY SHALL CONTINUE TO FUNCTION UNTIL THE UPSLOPE DEVELOPMENT AREA IS REESTABLISHED.
2. STABILIZATION OF DENUDED AREA. DENUDED AREAS SHALL HAVE SOIL STABILIZATION APPLIED WITHIN SEVEN DAYS IF THEY ARE TO REMAIN DORMANT FOR MORE THAN FORTY-FIVE DAYS. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, AND SHALL ALSO BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FORTY-FIVE DAYS.
3. SEDIMENT BARRIER. STREET FLOW RUNOFF FROM DENUDED AREAS SHALL BE FILTERED.
4. STORM SEWER INLET PROTECTION. ALL STORM SEWER INLETS WHICH ACCEPT WATER RUNOFF FROM THE DEVELOPMENT AREA SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL NOT ENTER THE STORM SEWER SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
5. CONSTRUCTION ACCESS ROUTES. MEASURES SHALL BE TAKEN TO PREVENT SOIL TRANSPORT ONTO SURFACES WHERE RUNOFF IS NOT CHECKED BY SEDIMENT CONTROLS, OR ONTO PUBLIC ROADS.
6. CUT AND FILL SLOPES. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER WHICH WILL MINIMIZE EROSION. CONSIDERATION SHALL BE GIVEN TO THE LENGTH AND STEEPNESS OF THE SLOPE, SOIL TYPE, UPSLOPE DRAINAGE AREA, GROUNDWATER CONDITIONS, AND SLOPE STABILIZATION.
7. ESTABLISHMENT OF PERMANENT VEGETATION. A PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL GROUND COVER IS ACHIEVED WHICH, IN THE OPINION OF THE APPROVING AGENCY, PROVIDES ADEQUATE COVER AND IS MATURE ENOUGH TO CONTROL SOIL EROSION SATISFACTORILY AND TO SURVIVE ADVERSE WEATHER CONDITIONS.
8. DISPOSITION OF TEMPORARY PRACTICES. ALL TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DISPOSED OF WITHIN THIRTY DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY PRACTICES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE APPROVING AGENCY. TRAPPED SEDIMENT SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION.
9. MAINTENANCE. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE DESIGNED AND CONSTRUCTED TO MINIMIZE MAINTENANCE REQUIREMENTS. THEY SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
10. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF THE CITY OF COLUMBUS AND/OR THE OHIO EPA.

**CONSTRUCTION SEQUENCE**

1. INSTALL PERIMETER SEDIMENT FENCE AND STABILIZED CONSTRUCTION ENTRANCE.
2. GRADE AND STOCKPILE TOPSOIL. SEDIMENT BARRIER AROUND STOCKPILE OR TEMPORARY SEEDING VEGETATIVE COVER ALL AREAS TO BE EXPOSED LONGER THAN 45 DAYS (TEMPORARY SEEDING).
3. INSTALL UTILITIES. INSTALL INLETS AND BASIN FILTERS AS SHOWN ON PLANS.
4. INSTALL PAVEMENT SUBGRADE AND DITCHES. INSTALL DITCH FILTERS AS SHOWN ON THE PLANS.
5. INSTALL IMPROVEMENTS AND FINAL GRADING.
6. PERFORM CONTINUING MAINTENANCE.
7. PERMANENT SEEDING AND MULCHING.
8. REMOVE SEDIMENT FILTER AFTER VEGETATION GROWTH IS ESTABLISHED.

**DETENTION AND OUTLET STRUCTURE MAINTENANCE**

THE DETENTION STRUCTURE IS A WATER QUANTITY STRUCTURE. AS SUCH, THEY ARE DESIGNED TO HOLD STORMWATER RUNOFF AND MAY ACCUMULATE SEDIMENT AFTER TIME AND WILL NEED TO BE SERVICED BY A QUALIFIED CONTRACTOR HIRED AT THE EXPENSE OF THE OWNER. THE DRAINAGE SYSTEM SHALL BE THOROUGHLY INSPECTED EVERY SIX MONTHS OR AFTER PERIODS OF EXTENDED RAIN EVENTS. ALL OF THE SEDIMENTATION SHALL BE REMOVED AND DISPOSED OF. IN ADDITION, THE OUTLET STRUCTURES AND ORIFICES SHALL BE INSPECTED TO MAKE SURE THEY ARE FREE OF DEBRIS AND IN GOOD WORKING CONDITION. ANY METAL, PLASTIC AND/OR CONCRETE SURFACE THAT ARE DETERIORATED SHALL BE REPLACED OR REPAIRED TO MEET THE DESIGN SPECIFICATIONS OF THESE PLANS.

AFTER EACH MAJOR RAIN EVENT THE OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT THE BASINS AND OUTLET STRUCTURES TO MAKE SURE IN PROPER WORKING CONDITION AND FREE OF DEBRIS. ANY DEBRIS SHALL BE IMMEDIATELY REMOVED AND PROPERLY DISPOSED OF.

**SEDIMENT FENCE DETAIL**

CONTRACTOR SHALL PLACE SEDIMENT FENCE ALONG THE PERIMETER OF THE PROJECT.

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE TO THE STRUCTURE).

THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP AND SECURELY SEALED.

POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). EXTRA STRENGTH FABRIC SHALL BE USED.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

THE FABRIC SHALL BE STAPLED OR WREED TO THE FENCE AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.

IT MAY BECOME NECESSARY TO REMOVE PORTIONS OF THE SEDIMENT FENCE DURING CONSTRUCTION TO FACILITATE THE GRADING OPERATIONS IN CERTAIN AREAS. HOWEVER, THE SEDIMENT FENCE SHALL BE IN PLACE IN THE EVENING OR DURING ANY INCLEMENT WEATHER.

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY THE FABRIC SHALL BE REPLACED PROMPTLY.

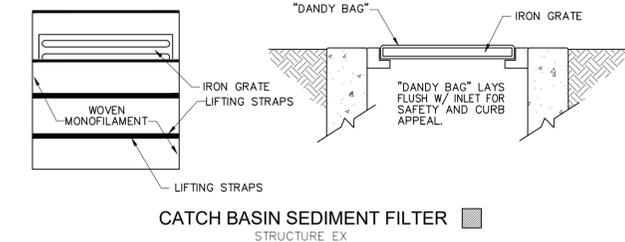
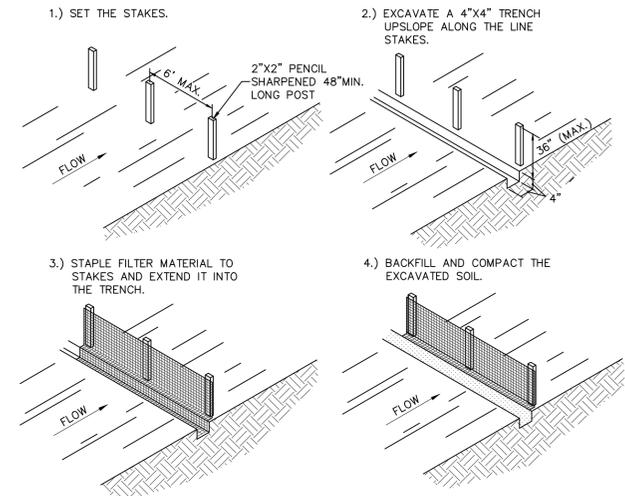
SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE PREPARED AND SEEDED.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

THE USE OF STRAW WATTLES HAS PROVEN TO BE A VERSATILE AND EFFECTIVE ESC BMP, ESPECIALLY IN RESIDENTIAL SETTINGS. STRAW WATTLES MAY BE SUBSTITUTED FOR SILT FENCE.

THE USE OF COMPOST FILTER SOCKS AND COMPOST BLANKETS ARE GAINING WIDER ACCEPTANCE NATIONWIDE. THEY ARE NOW APPROVED FOR USE ON ALL COLUMBUS SWPPP PLANS AND CONSTRUCTION SITES.



MAINTENANCE: REMOVE DRIED SEDIMENT FROM SURFACE OF UNIT WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. REMOVE FINE MATERIAL FROM INSIDE ENVELOPE AS NEEDED.

TO INSPECT CATCH BASIN: REMOVE UNIT WITH GRATE INSIDE, INSPECT CATCH BASIN AND REPLACE UNIT.

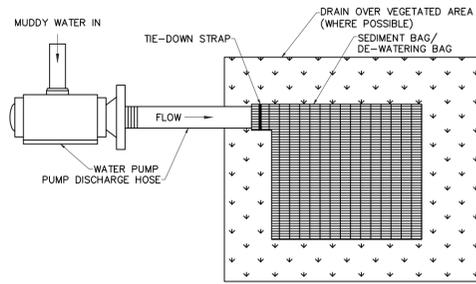
DANDY PRODUCTS INC.  
2011 R HARRISBURG PIKE  
GROVE CITY, OH 43123  
(800) 591-2284

**NOTICE**

THE PUMPING OR DIRECT DISCHARGE OF SEDIMENT-LADEN (MUDDY) WATER TO THE CITY'S SEWER SYSTEM OR A RECEIVING STREAM IS A VIOLATION OF OHIO EPA AND CITY OF COLUMBUS REGULATIONS.

ALL INLETS RECEIVING FLOW FROM RUNOFF, PUMPING ACTIVITIES, OR OTHER DIRECT DISCHARGES SHALL BE FITTED WITH AN INLET PROTECTION DEVICE THAT IS PROPERLY SIZED AND SECURED TO REDUCE THE DISCHARGE OF SEDIMENT INTO THE STORM SEWER SYSTEM AND RECEIVING STREAM. INLET PROTECTION IS REQUIRED ON ALL INLETS RECEIVING DISCHARGE REGARDLESS OF WHETHER OR NOT THE INTENT IS TRIBUTARY TO ANY DOWNSTREAM EROSION AND SEDIMENT CONTROLS.

DISCHARGE HOSES USED DURING PUMPING ACTIVITIES SHALL BE FITTED WITH SEDIMENT BAGS THAT ARE PROPERLY SIZED PER MANUFACTURER'S RECOMMENDATIONS REGARDLESS OF WHAT OTHER SEDIMENT CONTROLS ARE IN PLACE FURTHER DOWNSTREAM. SEDIMENT BAGS MUST BE PROPERLY SECURED TO THE DISCHARGE HOSE AND PLACED OVER VEGETATED AREAS, WHERE FEASIBLE, DURING DISCHARGE. SEE DETAIL BELOW OF A TYPICAL SEDIMENT BAG INSTALLATION.



**EROSION & SEDIMENT CONTROL NARRATIVE**

PLAN DESIGNER:

CW DESIGN GROUP, LLC  
972 LINKFIELD DRIVE  
WORTHINGTON, OHIO 43085  
PHONE: (614) 846-9279

OWNER & DEVELOPER:

PROJECT DESCRIPTION:

THE PROJECT WILL DEVELOPED A RECENTLY DEMOLISHED SITE WITH A NEW TEMPLE.  
EXISTING DESCRIPTION:

RECENTLY DEMOLISHED SITE - GRASS FIELD

ADJACENT AREAS:

THE PROJECT IS ADJACENT TO SINGLE FAMILY HOUSING.

SOILS:

THE SOIL FOR THE PROJECT IS

UX-URBAN LAND-OCKLEY COMPLEX, 0 TO 6 PERCENT SLOPES AS DETERMINED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE NRCS WEBSITE.

CRITICAL AREAS:

WEST RICH STREET, SOUTH GRUBB STREET AND ALLEY SHALL REMAIN CLEAR OF SEDIMENT / DEBRIS FROM THE PROJECT IMPROVEMENT CONSTRUCTION TRAFFIC AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE TO CLEAR WHEELS OF DEBRIS AND SEDIMENT TO LIMIT THE EXISTING ROADWAYS FROM ADDITIONAL SEDIMENT.

EROSION & SEDIMENT CONTROL MEASURES:

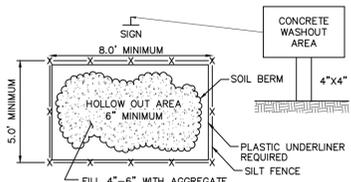
PROPOSED CONSTRUCTION WILL REQUIRE EROSION AND SEDIMENT RUNOFF PROTECTION BY USE OF SEDIMENT FENCE AND INLET PROTECTION.

MAINTENANCE:

MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL ITEMS SHALL BE IN ACCORDANCE WITH THE NOTES LISTED ON THESE PLANS.

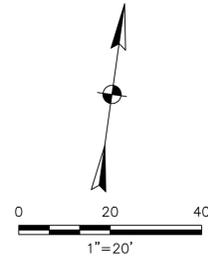
SITE CONTACT:

PHONE:  
EMAIL:  
OPEA NOI#



**CONCRETE WASHOUT AREA**

THE USE OF PORTABLE CONCRETE WASHOUT UNITS IS APPROVED (AND ENCOURAGED) FOR ALL CONSTRUCTION AREAS IN THE CITY OF COLUMBUS.



**SYMBOL LEGEND**

- < DOWN GUY
- (E) ELECTRIC MANHOLE
- ▲ CONTROL POINT
- ⊕ FIRE HYDRANT
- ⊕ CATCH BASIN
- I.R.F. IRON PIN FOUND
- ⊕ I.R.P. IRON PIPE FOUND
- + SIGN
- ⊕ SANITARY MANHOLE
- ⊕ STORM MANHOLE
- +TEL TELEPHONE MARKER
- ⊕ TELEPHONE, POWER AND LIGHT POLE
- ⊕ WATER VALVE
- ⊕ GAS VALVE

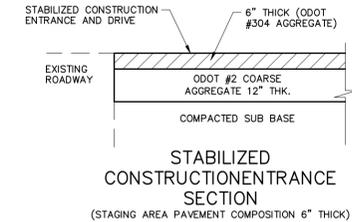
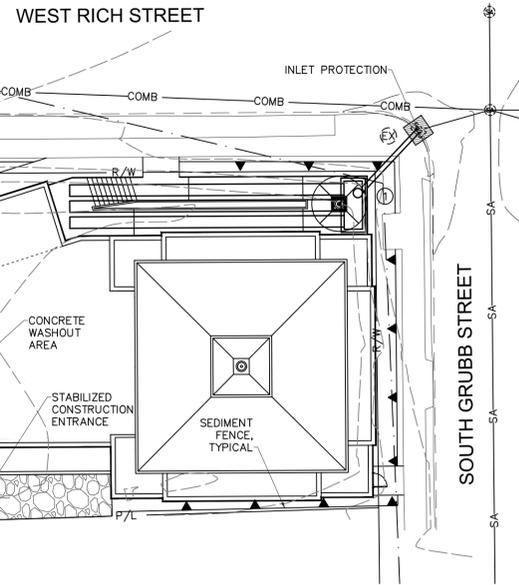
- FLOW ARROW
- ← FLOOD ROUTE
- x 730.0 PROPOSED ELEVATION
- x 730.0 EXISTING ELEVATION

**LINWORK SYMBOLOGY**

- COM — COMMUNICATION
- OHE — OVERHEAD ELECTRIC
- GAS — GAS LINE
- P/L — PROPERTY LINE
- R/W — RIGHT-OF-WAY
- SA — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE



STABILIZATION TYPE	ALL SEEDING ITEMS ARE COVERED UNDER ODOT SPECIFICATIONS.											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDING												
DORMANT SEEDING												
TEMPORARY SEEDING												
SODDING												
MULCHING												

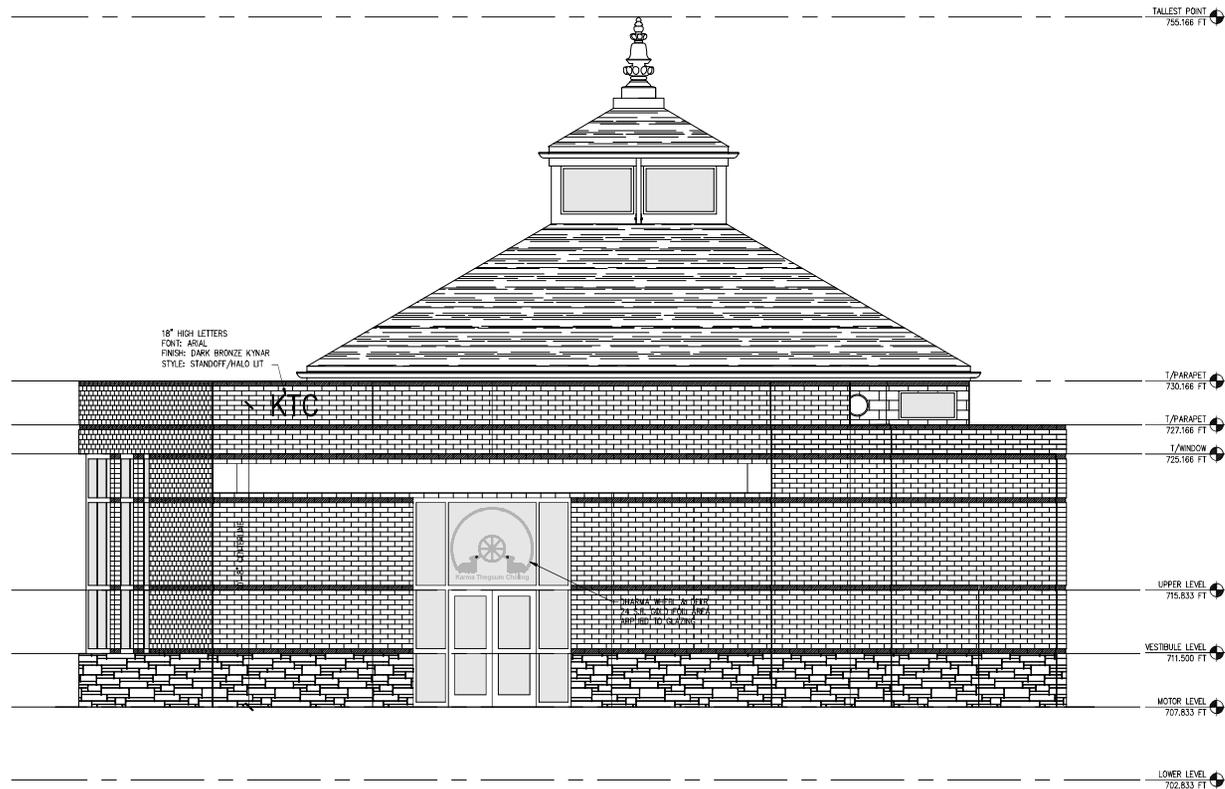


**STABILIZED CONSTRUCTION ENTRANCE DETAIL**

THE EARTHWORK CONTRACTOR SHALL INSTALL AND MAINTAIN THE CONSTRUCTION ENTRANCE AND STAGING AREA. THE EARTHWORK CONTRACTOR SHALL PERIODICALLY ADD CLEAN STONE AND MAINTAIN THE GRAVEL EDGES FOR THE DURATION OF THE PROJECT. WHEN THE CONSTRUCTION ENTRANCE AND DRIVE ARE NO LONGER NEEDED, THE EARTHWORK CONTRACTOR SHALL REMOVE THE GRAVEL AND RESTORE THE GROUND TO ITS ORIGINAL CONDITION.

[wagne@cwgd.net] D:\Project\2017\170041\Drawing\CO03.dwg - February 13, 2018 @ 6:51pm

EASEMENT REFERENCE			REVISIONS			PLAN PREPARED BY:		PROJECT TITLE:				CITY OF COLUMBUS	
CITY NO.	COUNTY RECORDER		GRANTOR	NO.	DESCRIPTION	APPROVAL/DATE	CWD Design Group ENGINEERS/SURVEYORS	PRIVATE STORM SEWERS FOR				DEPARTMENT OF PUBLIC UTILITIES	
	VOL.	PAGE						CKTC BUDDHIST TEMPLE				DIVISION OF SEWERAGE AND DRAINAGE	
							PHONE: 614-846-9279 FAX: 614-846-9276 E-MAIL: cwgdg@cwgd.net 972 Linkfield Drive Worthington, Ohio 43085	231 S GRUBB ST, COLUMBUS, OHIO				SCALE: SHEET: 3 / 3	
							STORMWATER POLLUTION PREVENTION PLAN						
								DIVISION USE ONLY				OWNER	
												CONTRACTOR	
												INSPECTOR	
												AGREEMENT COMPLETED	
												R/PD CKD CLD CON. DR.	
												CC-	



WEST GRAPHICS ELEVATION  
SCALE: 1/4"=1'-0"

JOB NO. :

PROJECT: **KARMA THEGSUM CHÖLING**

W. RICH STREET  
COLUMBUS, OH 43215

ARCHITECT:

ARCHITECT:

Peter S. Marzani, AIA  
Principal Architect  
Peter S. Marzani Architects, Inc.  
1000 North High Street, Suite 200  
Columbus, OH 43215  
614.221.1111  
www.psmarchitects.com

01/31/2019  
DRAWN BY: MM

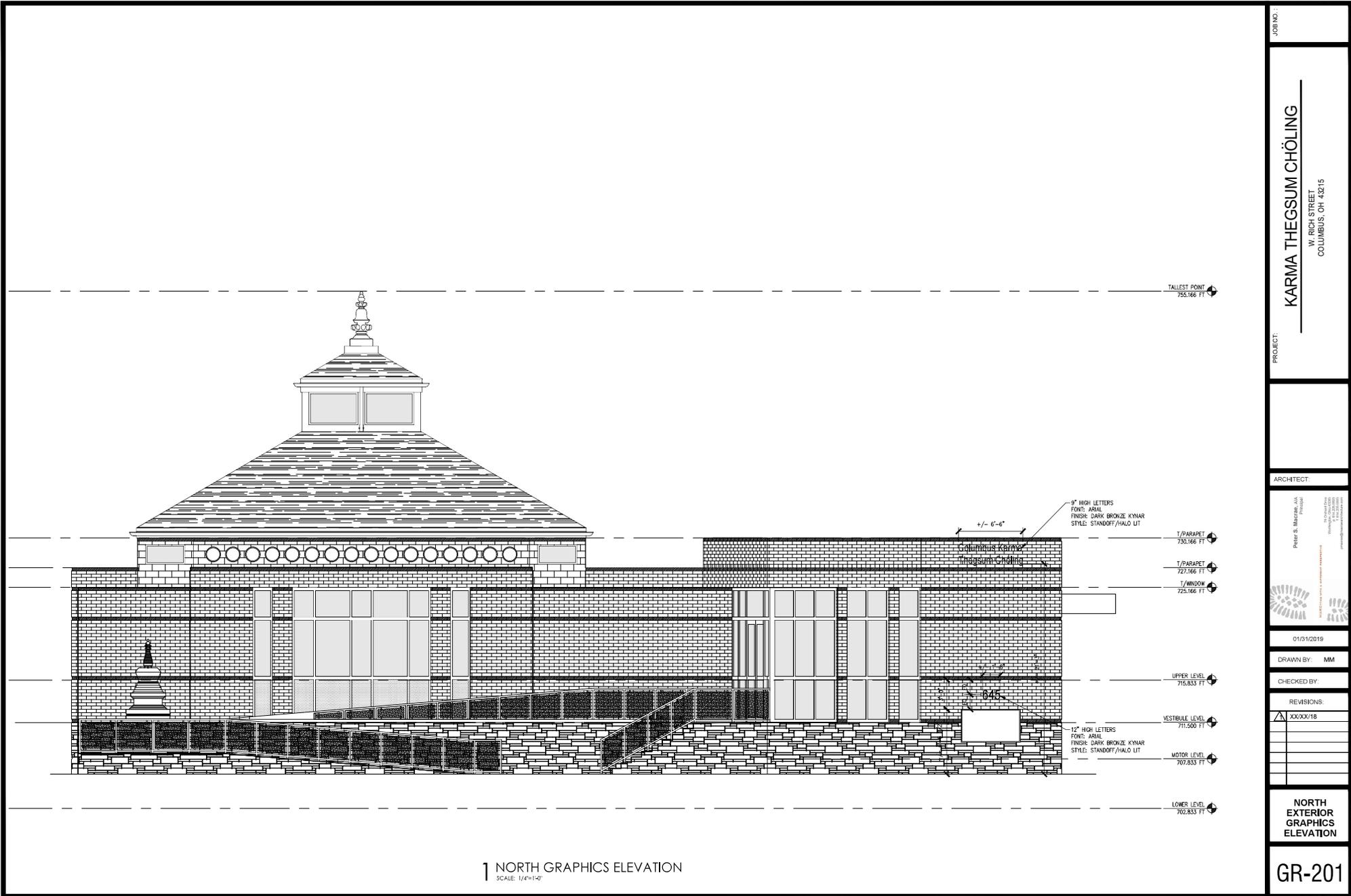
CHECKED BY:

REVISIONS:

△	XXXX18

WEST  
EXTERIOR  
GRAPHICS  
ELEVATION

GR-204



TALLEST POINT  
755.166 FT

9" HIGH LETTERS  
FONT: ARIAL  
FINISH: DARK BRONZE KYNAR  
STYLE: STANDOFF/HALO LIT

+/- 6'-6"

T/PARAPET  
730.166 FT

T/PARAPET  
727.166 FT

T/WINDOW  
725.166 FT

UPPER LEVEL  
715.833 FT

VESTIBULE LEVEL  
711.500 FT

12" HIGH LETTERS  
FONT: ARIAL  
FINISH: DARK BRONZE KYNAR  
STYLE: STANDOFF/HALO LIT

MOTOR LEVEL  
707.833 FT

LOWER LEVEL  
702.833 FT

1 NORTH GRAPHICS ELEVATION  
SCALE: 1/4"=1'-0"

JOB NO. :

PROJECT: **KARMA THEGSUM CHÖLING**  
W. RICH STREET  
COLUMBUS, OH 43215

ARCHITECT:

ARCHITECT:

Peter S. Marzani, LLC  
Architects  
1000 N. High Street, Suite 200  
Columbus, OH 43215  
614.462.1111  
www.petermarzani.com

01/31/2019

DRAWN BY: MM

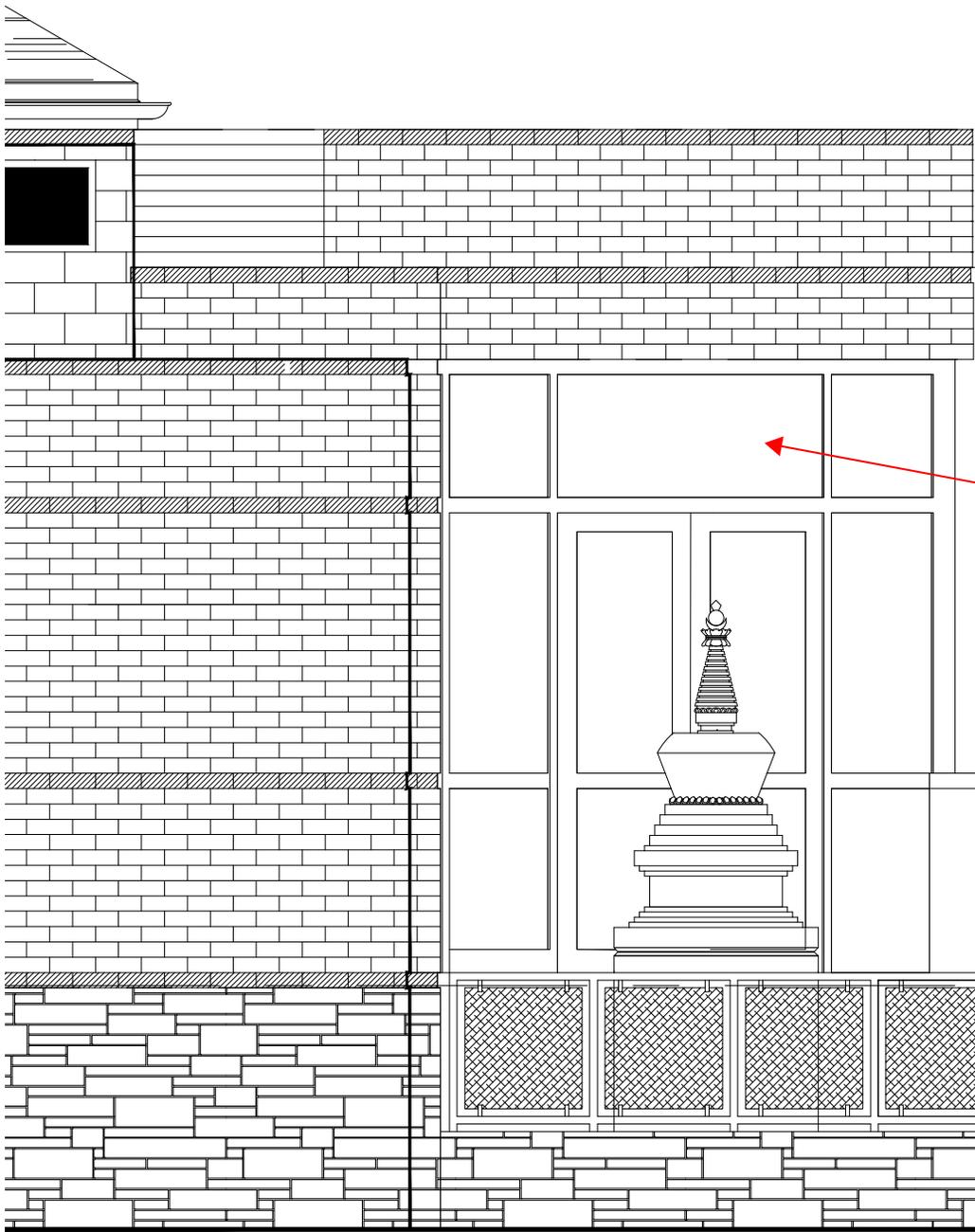
CHECKED BY:

REVISIONS:

△ XXXX18

NORTH  
EXTERIOR  
GRAPHICS  
ELEVATION

GR-201



T/PARAPET  
730.166 FT

T/PARAPET  
727.166 FT

T/WINDOW  
725.166 FT



Karma Thegsum Chöling

UPPER LEVEL  
715.833 FT

VESTIBULE LEVEL  
711.500 FT

MOTOR LEVEL  
707.833 FT