

ROCKY FORK - BLACKLICK ACCORD

IMPLEMENTATION PANEL

THE ROCKY FORK-BLACKLICK ACCORD

STAFF REPORT

June 18, 2020

City of New Albany Rezoning Application Case No: ZC-43-2020

Review and Action on the Motor Enclave District rezoning application for 19.68+/- acres generally located north of State Route 161, south of Smith's Mill Road and west of Kitzmiller Road (PIDs: 222-004470 and 222-004469).

Request: Rezone from Infill Planned Unit Development (I-PUD) to I-PUD (Infill Planned Unit Development)

Proposed Uses: Vehicle warehouse, office, private community center and various supportive accessory uses.

Applicant: The Motor Enclave New Albany, LLC, c/o Aaron Underhill, Esq. Aaron Underhill

INTRODUCTION/PROPOSAL SUMMARY:

The applicant requests review and recommendation to rezone 19.68 +/- acres from Infill Planned Unit Development (I-PUD) to I-PUD (Infill Planned Unit Development). The city's Codified Ordinances Section 1159.01 and 1159.02 describes the purpose and intent of the PUD text. The code states the objective of the PUD is to encourage ingenuity, imagination and design efforts to produce a development that maintains the overall land use intensity and open space requirements of the code and Strategic Plan but allows more flexible standards and a departure from the strict application of the standards in traditional districts.

The intent of the zoning text is to create a campus style community center where members can come together around a common interest, their vehicles. This site is located in the Rocky Fork Blacklick Accord's Office district which has the same standards for both office buildings as well as warehouses.

The proposed text divides the permitted uses into two categories, primary and supportive uses. The intended primary use for this zoning district is a "private automobile garage campus". The text defines this use to mean a single campus that will contain multiple buildings with private garage units that are individually owned under a condominium form of ownership. These private garage units are to be used for the interior parking and storage of privately owned cars as well as some, none or all of the following uses: (1) non-commercial maintenance of vehicles, (2) personal leisure and entertainment and (3) professional office space.

The zoning text also permits a maximum of two private community building. The community buildings allow a variety of supportive permitted uses intended to enhance the experience of owners and visitors to the site. The list of permitted supportive uses include retail automotive sales, coffee and similar shops, vehicle storage, auto repairs and servicing, parts and insurance sales, gathering space for owners of garages and rentals of space for events.

SPECIAL NOTE: *This review is based on the proposed application's conformance to the Rocky Fork-Blacklick Accord. Nothing noted in this review is intended to speak to the application's conformance with other city zoning requirements and policies.*

The zoning text prohibits traditional self-storage units, residential uses and exterior storage of vehicles equipment or personal property. Additionally, the text prohibits the storage of gasoline, oil, propane tanks or any other type of fuel within any private garage unit nor does it allow any maintenance or repair of vehicles for commercial purposes within these individual units.

CONSIDERATIONS:

- This rezoning encompasses a total of 19.68+/- acres.
- The site is currently zoned Infill Planned Unit Development (I-PUD) in which mixed use type office, community facilities and open space are currently permitted. The text allows for any portion of the property that is not conveyed to the applicant or an affiliated business entity may be developed and operated in accordance with the existing text.
- The application is solely for rezoning the site. Preliminary site, landscape and architectural plans were submitted with this application. The applicant is required to return to the Planning Commission for review and approval of a final development plan application under the new I-PUD zoning classification to finalize the site, landscape and architectural modifications.
- The proposed use appears to be appropriate due its location within the New Albany Business Park as well as its proximity to adjacent commercial uses.
- The proposed zoning text permits a maximum of 175 private garage units and up to two private community buildings that with no more than 14,000 square feet between the two.
- As described in the zoning text and shown on the preliminary development plan, there are some wetland and preservation areas within this zoning district that the applicant intends to preserve which does accomplish an Accord goal of ensuring preservation of existing trees and woodlands when possible.
- The Accord states that the intent of the planning document is to leave rural road-related open space in their natural wooded state and that unnecessary destruction of wooded areas should be avoided. The text requires the preservation of existing wetlands on the site and existing tree row along State Route 161. The tree row along Kitzmiller Road is allowed to be removed but the text requires landscaping to re-establish the tree row. The text requires that a minimum of 6 trees per 100 lineal feet be installed within the setback area along Kitzmiller Road therefore the rural character will be preserved.
- The proposed text maintains several requirements included in the existing text and adds additional requirements that meet more recommendations of the Accord standards including:
 - Fully shielded, cut-off lighting must be used.
 - Security lighting is “motion sensor” type.
 - Outdoor light poles cannot exceed 30 feet in height.
 - All external outdoor lighting fixtures must be similar.
 - Headlight screening must be provided within parking areas.
- The required and proposed setbacks for this zoning district are as follows.

Zoning Boundary	Required Setbacks Proposed in the Text	Accord Recommendation
State Route 161	50 foot pavement and 75 foot building setback from the edge of right-of-way	The Accord does not have a specific recommendation for setbacks along State Route 161.

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		The proposed pavement setback matches the existing zoning text for this property and increases the building setback from 50 feet to 75 feet.
Kitzmilller Road	Varies. North of the proposed access drive along Kitzmilller Road there is a minimum 105 foot pavement and 115 foot building setback measured from the right-of-way centerline. All other portions of the zoning district along Kitzmilller Road there is a 140 foot pavement and 150 foot building setback measured from the right-of-way center line. .	Kitzmilller Road is identified as a rural road in the Accord and a 250 foot building and pavement setback is recommended. The proposed setback is appropriate since it consistent with the existing residential setback requirements and existing development in the area.
Other Perimeter Boundaries	A minimum 2 foot building and pavement setbacks along all other property lines that are not adjacent to public right-of-way. The text states that all buildings and pavement areas must be located outside of any wetlands or preservation areas as generally illustrated on the preliminary development plan.	The Accord does not have specific side yard setback recommendations for property lines not adjacent to public right-of-way. The proposed setbacks are appropriate to allow for this cluster development in order to preserve wetlands located on site.

- The Accord states that is maximum amount of parking permitted for this use is one space per 250 square feet. The zoning text states that each private garage unit shall have a minimum of one and a maximum of three unstriped paved parking spaced in front of the door for the unit. Additionally, the zoning text permits a minimum of 110 additional parking spaces to be provided throughout the site. The preliminary development plan shows a total of 319 parking spaces throughout the site which equates to one parking space per 591 square feet, therefore the parking recommendation is being met.
- The text requires the installation of street trees along a portion of Kitzmilller Road at an average of 1 tree per 30 feet. The text is silent on leisure trail therefore the city’s codified ordinances apply which requires it to be installed along Kitzmilller Road.
- The Accord recommends a maximum building height of 65 feet for this type of use. The text provides a maximum height limitation of 40 feet.
- The Accord states that any side of a building which faces a public right-of-way or green shall be of compatible materials and style as the other sides of the building. The text states that buildings shall be positioned on the site so that the overhead garage doors are not oriented towards Kitzmilller Road and instead will be oriented towards State Route 161. Based on the submitted conceptual architectural drawings, it appears that all buildings on site will receive the same design treatment on all sides of the buildings and are appropriately oriented. However, staff recommends the architectural design and details should be added to the text to memorialize some key elements shown on the drawing including the use of more architectural elements on elevations that face Kizmilller Road and State Route 161.
- The text states that complete rooftop screening of mechanical units is required unless a waiver is granted by the Planning Commission as part of a final development plan.

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STAFF’S COMMENTS AND RECOMMENDATION:

The proposed uses and their location are appropriate due to its location within the New Albany Business Park. As proposed, the development of this site is sensitive to the existing wetlands and will maintain the majority of the trees on site. While the existing tree row on Kitzmiller Road may be removed, the text requires the re-establishment of the tree row. The proposed 115-150 foot building setback along Kitzmiller Road is appropriate as it is consistent with setbacks established by existing residential homes along the road. In order to preserve wetland and tree preservation areas, a cluster type development is necessary. The site is unique due to the environmental features on site and in the immediate area as well as the desired architectural design of the buildings. Based on the submitted conceptual architectural drawings, the applicant is seeking to utilize a barn form of architecture which is not a typical practice for traditional office development and makes the application difficult to score against the Accord standards. The score card and standards of the Accord are based on a traditional, suburban office campus design. While the buildings do not have a traditional office design or site orientation, staff is encouraged and supportive of the desired design as it is sensitive to the rural, predominately residential character of Kitzmiller Road. Additionally, the conceptual drawings demonstrate four sided architecture. Staff recommends that more details shown in the renderings be added to the zoning text in order to ensure that appropriate barn design is achieved. The rezoning scores an 86% on the report card. The use is appropriate for the site and achieves a design that is sensitive to the existing rural character of Kitzmiller Road, therefore staff recommends approval of the application.

Approximate Site Location:



Source: Google Earth

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PROJECT: Motor Enclave Zoning District Rezoning – ZC-43-2020 (19.68+/- acres)
APPLICANT: THE MOTOR ENCLAVE NEW ALBANY LLC C/O AARON UNDERHILL, ESQ
EXISTING ZONING: INFILL PLANNED UNIT DEVELOPMENT (I-PUD)
RFBA DISTRICT: Office

DRAFT EVALUATION CHECKLIST
 EVALUATED FOR RFBA: JUNE 18, 2020
 BY: CHRIS CHRISTIAN (CNA)

SUB-AREA	REQUESTED ZONING	RFBA DISTRICT	USE TYPE	ACREAGE	Sq. Ft. OR # OF UNITS	PROPOSED DENSITY	RFBA PERMITTED DENSITY		PUBLIC PARKLAND	
							BASE (10k/acre)	BONUS (12k/acre)	PROVIDED	REQUIRED
	I-PUD	Office	Office/ Commercial/ Warehouse	19.68 +/-	N/A	N/A	196,800 s.f.	236,160 s.f.	N/A	N/A
TOTAL ACREAGE				19.68 +/-						
TOTAL OFFICE SPACE				19.68 +/-			196,800 s.f.	236,160 s.f.		

EVALUATION SUMMARY		YES	PARTIAL	NO	?	COMMENTS
1.0	Key Principles	5	1	0	0	
2.0	Strategies	3	5	0	0	
3.0	General Development Standards	17	2	0	0	
4.0	District Development Standards	15	7	0	0	
TOTAL		40	15	0	0	86% compliant [47.5/55=86.36% including met and half for partials]

KEY:
 ✓ = met p = partially met ? = cannot determine (-) N/A = not applicable

1.0 Key Principles	Yes	No	Comments
1.1 Maintain aesthetic character of rural roads.	✓		The zoning text requires that the existing rural character of Kitzmiller be preserved and promoted with additional randomized tree plantings.
1.2 Use open space as an organization element.	✓		Landscaped setbacks and preserved areas will create a hierarchy of space on the site for development.
1.3 Use a compact form of development in town and village clusters with defined edges such as green belts and natural corridors.	-	-	N/A
1.4 Develop mixed uses in town and village centers.	-	-	N/A
1.5 Develop diversity in housing prices and types.	-	-	N/A
1.6 Create a center focus that combines civic, cultural, and recreational uses,	-	-	N/A
1.7 Create an ample supply of squares, greens parks and landscaping.	P		Parking areas and parking screening will be provided with landscaping however the zoning text provides an exemption from with additional onsite tree planting requirements of New Albany city code.
1.8 Guarantee permanent protection of greenbelts, streams, creeks, woodlands, grasslands, wetlands, and historic sites.	✓		A certain portion of the Zoning District contain environmentally sensitive elements that will be preserved and protected.
1.9 Development in town must be located within easy walking or biking distances of other neighborhoods, schools, retail centers and transit stops.	✓	-	The site is located within walking and/or biking distances of nearby retail centers and transit stops and it is identified as a site along the future Veloloop route...
1.10 Development must pay its own way. <i>(No criteria to review this stnd established)</i>	✓	-	Required by city code.
2.0 Strategies	Yes	No	Comments
2.1 Development should be compatible with the rural landscape.	p		The landscaping requirements are being met however the recommended 250 foot setback is not being met as the building setback is 115 feet.
2.2 Higher density residential should be located adjacent to open space.	-	-	N/A
2.3 Reserve the natural features.	p		The text requires the preservation of existing wetlands on the site and existing tree row along State Route 161. The tree row along Kitzmiller Road is allowed to be removed but the text requires landscaping to re-establish the tree row.
2.4 Retail development should be community-based.	-	-	N/A
2.5 Developers should be encouraged to mix uses and housing types where appropriate.	-	-	N/A
2.6 Historic and cultural resources should be protected and preserved.	-	-	None known.
2.7 Scenic qualities along roadways should be maintained.	p		The preliminary development plan preserves the existing vegetation and natural character along State Route 161. The tree row along Kitzmiller Road is allowed to be removed but the text requires landscaping to re-establish the tree row. Therefore the landscaping requirements are being met however the text allows a setback of 50 feet along Kitzmiller Road where the Accord recommends 250 foot rural setback

2.8 Rural character of the land along regional roads should be maintained.	p		The preliminary development plan preserves the existing vegetation and natural character along State Route 161. The tree row along Kitzmiller Road is allowed to be removed but the text requires landscaping to re-establish the tree row. Therefore the landscaping requirements are being met however the text allows a setback of 50 feet along Kitzmiller Road where the Accord recommends 250 foot rural setback
2.9 Density bonuses and design flexibility are encouraged to allow cluster development.	✓		The development standards help encourage clustering of development on the site. .
2.10 Neighborhood commercial uses should be confined to the community centers or plazas.	p		Limited retail is permitted for members of the motor enclave however it is not open to the general public.
2.11 Future development should have adequate facilities such as parkland, schools, and police protection, to support the new development. <i>(Community-wide strategy.)</i>	✓		Impact statement provides explanation of support for community services.
2.12 Land that has direct access to the expressway should be designated for light industry, office or commercial use.	✓		Site is located close to the interstate and similar zoned property. The applicant is requesting rezoning to I-PUD (Infill Planned Unit Development)
3.0 General Development Standards	Yes	No	Comments
3.1 Open Space			
3.1.1 Strategies to preserve and maximize open space.	✓		The proposed text establishes protections for existing some vegetation and all wetlands on the site. Text requires 70% max lot coverage.
3.1.2 Maintain major stream corridors in their natural state or allow such state over time.			N/A—there are no streams that run through this site.
3.1.3 Construct pathways through stream corridors.	-		N/A—there are no streams that run through this site.
3.1.4 Rural road open space should be left in its natural wooded state, be allowed to revert to that state, or remain as farmland or grassland.	p		The preliminary development plan preserves the existing tree row along State Route 161. The tree row along Kitzmiller Road is allowed to be removed but the text requires landscaping to re-establish the tree row
3.1.5 Open space should connect with stream and rural road spaces and with each other.	✓		There are preservation commitments in the text that protect environmentally sensitive areas and encourage compact development.
3.1.6 Maximum lot coverage of buildings and parking lots shall not exceed 70%.	✓		The text requires a maximum 70% lot coverage.
3.2 General Landscape, Screening & Buffering			
3.2.1 Street trees on both sides of new public and private streets at a maximum separation of 30 feet apart, unless tree groupings (of equal quantity) are more practical.	✓		Commitment in the text.
3.2.2 Preserve or replace hedgerows on rural roads and arterials. Within rural road setback, provide 4 trees/100 lineal feet in natural hedgerow manner. Mix of 2" caliper trees.	✓-		The zoning text exceeds this standard by requiring a minimum of 6 trees per 100 lineal feet to be installed in the setback areas.
3.2.3 Landscaping within the setback along roadways should appear natural in character.	✓-		The zoning text requires that the existing rural character of Kitzmiller be preserved and promoted with additional randomized tree plantings.
3.2.4 Site layout should avoid unnecessary destruction of wooded areas. Attempt to preserve existing trees and tree rows.	p		A certain portion of the Zoning District contains environmentally sensitive elements that will be preserved and protected. Based on the preliminary development plan it appears that the existing natural character along State Route 161 will be preserved however due to

			the smaller than recommended setback along Kitzmiller Road, the existing natural character along that road will be removed. The applicant is however proposing to re-establish the tree row within the setback areas.
3.2.5 Landscape designs reviewed by registered landscape designer or architect.	✓		Commitment in text
3.2.6 Minimum size at installation shall be 2" caliper for deciduous shade and ornamental trees and 6' high for evergreen trees. Landscaping requirements may be waived if healthy plant material within the setback area is preserved.	✓		Commitment in text
3.2.7 Headlight screening of parking lots should be a minimum of 4 feet high.	✓		Headlight screening required by city code.
3.2.8 Mounding for screening purposes are usually 4' foot high having a 3:1 slope beginning at the setback line, a 5' wide crest, and sloping gently to the R.O.W. line. Mounds should be landscaped with a mix of shrubs, deciduous, evergreen, and ornamental trees.	-		Due to the unique character of this site, mounding is not required or desired.
3.3 Lighting			
3.3.1 Fully shielded, cut-off lighting used.	✓		Committed in text
3.3.2 Security lighting is "motion sensor" type.	✓		Committed in text
3.3.3 Outdoor light poles do not exceed 30 feet.	✓		A maximum light pole height of 20 feet is committed in the text.
3.3.4 All wiring is underground.	✓		The text requires all utilities to be installed underground.
3.3.5 All external outdoor lighting fixtures are similar.	✓		Committed in text
3.3.6 Ground mounted lighting is shielded and landscaped.	✓		Committed in the text.
3.4 Roadways			
3.4.1 Roadways should follow the Roadway Plan.	✓	-	The existing right-of-way along Kitzmiller Road is sufficient.
3.4.2 Appropriateness of street light fixture, type, and light level of the luminaire.	✓		Text commitment that street lights meet city standards.
3.4.3 Size and use of streets should be consistent with Accord.	-	-	There are no new proposed public streets as part of this rezoning.
4.0 District Development Standards		Yes	No
4.1 Office			
4.1.1 The office zones are envisioned as campus-style suburban office development where greens and landscaping play a prominent role in public open space delineation.	✓		The preliminary development plan demonstrates an appropriate campus style design for the proposed uses and is integrated well into surrounding natural features.
4.1.2 Office uses and other significant employment and revenue producing uses are permitted in this district.	✓		Zoning will allow for revenue producing businesses.
4.1.2 Buildings should front major roadways with parking located behind the buildings.	p		The zoning text does not contain any requirements for the location of parking spaces and the preliminary development plan shows parking spaces located in front buildings. Additionally, overhead garage doors are not permitted to be oriented towards Kitzmiller Road but are permitted to be oriented towards State Route 161.
4.1.3 Building arrangements should provide convenient and safe pedestrian connections between buildings and parking lots, and other civic or public uses.	p		Based on the preliminary development plan, it appears that convenient and safe pedestrian connections are available between the parking areas and buildings however, there are no sidewalk requirements between or along buildings in the zoning text.
4.1.4 Permitted Base Density is 10,000 square feet per acre; with bonus up to 12,000 sf.	-	-	N/A

Streets			
4.1.5 Streets within the Office District should be two-way.	✓		City’s Strategic Plan calls for 2 lane road with center turn lane.
4.1.6 On-street parking is discouraged.	✓		None proposed, and not supported by city’s thoroughfare plan.
4.1.7 Sidewalks should be provided to encourage walking and should be setback a minimum of 10 feet from the street.	p		City code requires sidewalks or leisure trail along Kitzmiller Road. Minimum setback from the street is 6 feet.
4.1.8 Street trees should be provided on both sides of the street at a minimum of 40 feet on center.	✓	-	Commitment in the text.
4.1.9 Streets should connect with each other. Cul-de-sacs are discouraged	✓	-	City code discourages cul-de-sacs and dead end streets. Street network to be determined.
Parking			
4.1.10 Primary parking should be located behind office buildings and not between the primary street and the office buildings. Minimal short-term visitor and “drop-off” parking can be provided at the front of the building.	p		The zoning text does not contain any requirements for the location of parking spaces and the preliminary development plan shows parking spaces located in front buildings. Additionally, overhead garage doors are not permitted to be oriented towards Kitzmiller Road but are permitted to be oriented towards State Route 161.
4.1.11 Parking lots between buildings should be interconnected to encourage parking areas shared among buildings to reduce paved areas.	✓		Based on the preliminary development plan, the proposed parking areas will be shared between buildings.
4.1.12 Parking areas should be screened from view by evergreen landscape materials or masonry walls to a height of no less than four feet.	✓		Screening of parking lots will be per code which achieves a similar result. The landscaping provided in the setback area as well as existing landscaping on site will provide substantial screening.
4.1.13 Parking areas located behind buildings should include curbed landscape spaces with deciduous trees. These landscaped areas shall amount to not less than five percent of the vehicular use area and be evenly distributed throughout the parking area to minimize the visual impact of the parking areas.	✓		Zoning text requires 5% of parking lot landscaping.
4.1.14 Use of non-automotive transportation such as walking and bicycling is encouraged. Bicycle parking should be convenient, covered and located near all building entrances.	✓		The development is along the planned route for the city’s Veloloop and the text requires Bicycle parking shall be provided near Community Buildings using a bicycle rack or similar provision at the rate of one parking space per 700 square feet of Community Building gross floor area.
4.1.15 The maximum amount of parking permitted is one space per 250 square feet.	✓		The zoning text states that each private garage unit shall have a minimum of one and a maximum of three unstriped paved parking spaced in front of the door for the unit. Additionally, the zoning text permits a minimum of 110 additional parking spaces to be provided throughout the site. The preliminary development plan shows a total of 319 parking spaces throughout the site which equates to one parking space per 591 square feet, therefore the parking recommendation is being met.
Civic / Public Space			
4.1.16 Office buildings should be setback from the primary street right-of-way a minimum of 50 feet to maintain a natural greenway as a visual amenity.	✓		The text provides a minimum 50 building setback from Kitzmiller Road and a 75 foot building setback from State Route 161.
4.1.17 Common open spaces or greens that are framed by buildings and that create a “campus-like” office environment are encouraged.	✓		Based on the preliminary development plan, the site is integrated well into existing landscaped and green space areas on the site and the surrounding area.

Site Orientation			
4.1.18 Buildings should be orientated to front the primary public roadways.	p		Based on the conceptual architecture renderings, it appears that this requirement is partially being met. Additional details must be added to the text to reflect the design intent of the drawings.
4.1.19 All lots should front on public or private roads.	✓		This requirement is being met.
4.1.20 When open space between buildings occurs, pedestrian connections shall be established between the rear parking area and the sidewalk in the front of the building.	-		N/A
Architecture			
4.1.21 Buildings should be sited in relationship to each other to provide convenient pedestrian connections between each building, to parking, and to any other civic or public uses within convenient walking distances.	p		Based on the preliminary development plan, it appears that convenient and safe pedestrian connections are available between the parking areas and buildings however, there are no sidewalk requirements between or along buildings in the zoning text.
4.1.22 The maximum building height is three stories, not to exceed 65 feet in height.	✓		Zoning text provides for 40' height limitation.
4.1.23 Any side of a building that faces a public right-of-way or green shall be of compatible materials and style as the other sides of the building.	p		The conceptual drawings provided by the applicant demonstrate 360 degree architecture. Additional details must be added to the text to reflect the design intent of the drawings.



Community Development Department

Planning Application

Case # _____
 Board _____
 Mtg. Date _____

Project Information	Site Address <u>Old Kitzmiller Road and Forest Drive, New Albany, Ohio 43054</u>																																																												
	Parcel Numbers <u>222-004470 and 222-004469</u>																																																												
	Acres <u>19.68 +/- Acres</u> # of lots created _____																																																												
Contacts	<table border="1"> <thead> <tr> <th>Choose Application Type</th> <th colspan="4">Circle all Details that Apply</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Appeal</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Certificate of Appropriateness</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Conditional Use</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Development Plan</td> <td>Preliminary</td> <td>Final</td> <td>Comprehensive</td> <td>Amendment</td> </tr> <tr> <td><input type="checkbox"/> Plat</td> <td>Preliminary</td> <td>Final</td> <td></td> <td></td> </tr> <tr> <td><input type="checkbox"/> Lot Changes</td> <td>Combination</td> <td>Split</td> <td>Adjustment</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Minor Commercial Subdivision</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Vacation</td> <td>Easement</td> <td></td> <td>Street</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Variance</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td><input type="checkbox"/> Extension Request</td> <td></td><td></td><td></td><td></td> </tr> <tr> <td><input checked="" type="checkbox"/> Zoning</td> <td colspan="2" style="border: 2px solid black;">Amendment (rezoning)</td> <td colspan="2">Text Modification</td> </tr> </tbody> </table>	Choose Application Type	Circle all Details that Apply				<input type="checkbox"/> Appeal					<input type="checkbox"/> Certificate of Appropriateness					<input type="checkbox"/> Conditional Use					<input type="checkbox"/> Development Plan	Preliminary	Final	Comprehensive	Amendment	<input type="checkbox"/> Plat	Preliminary	Final			<input type="checkbox"/> Lot Changes	Combination	Split	Adjustment		<input type="checkbox"/> Minor Commercial Subdivision					<input type="checkbox"/> Vacation	Easement		Street		<input type="checkbox"/> Variance					<input type="checkbox"/> Extension Request					<input checked="" type="checkbox"/> Zoning	Amendment (rezoning)		Text Modification	
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Description of Request: <u>A rezoning of the subject property from C-PUD, Comprehensive Planned Development District to I-PUD, Infill Planned Development District, to permit the development and operation of a private automotive garage and leisure facility.</u>																																																													
Signature	Property Owner's Name: <u>The New Albany Company LLC, c/o Aaron L. Underhill, Esq.</u> Address: <u>Underhill & Hodge LLC, 8000 Walton Parkway, Suite 260</u> City, State, Zip: <u>New Albany, OH 43054</u> Phone number: <u>614.335.9320</u> Fax: <u>614.335.9329</u> Email: <u>aaron@uhlawfirm.com</u>																																																												
	Applicant's Name: <u>The Motor Enclave New Albany, LLC, c/o Aaron L. Underhill, Esq.</u> Address: <u>Underhill & Hodge LLC, 8000 Walton Parkway, Suite 260</u> City, State, Zip: <u>New Albany, OH 43054</u> Phone number: <u>614.335.9320</u> Fax: <u>614.335.9329</u> Email: <u>aaron@uhlawfirm.com</u>																																																												
	Site visits to the property by City of New Albany representatives are essential to process this application. The Owner/Applicant, as signed below, hereby authorizes Village of New Albany representatives, employees and appointed and elected officials to visit, photograph and post a notice on the property described in this application. I certify that the information here within and attached to this application is true, correct and complete.																																																												
	Signature of Owner By: <u>Aaron L. Underhill</u> Date: <u>5/18/20</u> Signature of Applicant By: <u>Aaron L. Underhill</u> Date: <u>5/18/20</u> <small>Aaron L. Underhill, Attorney for Applicant</small>																																																												

APPLICANT:

The Motor Enclave New Albany, LLC
c/o Aaron L. Underhill, Esq.
Underhill & Hodge LLC
8000 Walton Parkway, Suite 260
New Albany, OH 43054

PROPERTY OWNER:

The New Albany Company LLC
c/o Aaron L. Underhill, Esq.
Underhill & Hodge LLC
8000 Walton Parkway, Suite 260
New Albany, OH 43054

ATTORNEY:

Aaron L. Underhill, Esq.
Underhill & Hodge LLC
8000 Walton Parkway, Suite 260
New Albany, OH 43054

SURROUNDING PROPERTY OWNERS:

North Ridge Shopping Center LLC
402 North Main Street
Wavonda, IL 60084

New Albany Business Park, Inc.
8000 Walton Parkway, Suite 120
New Albany, OH 43054

Mount Carmel New Albany
Surgical Hospital
6150 East Broad Street
Columbus, OH 43213

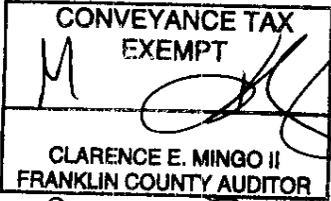
Abercrombie & Fitch
6301 Fitch Path
New Albany, OH 43054

Kevin Weldon
5786 Thompson Road
Columbus, OH 43230

Whitebarn Organics LLC
8000 Walton Parkway, Suite 100
New Albany, OH 43054

Thomas and Debra Ward, Trustees
5818 Kitzmiller Road
New Albany, OH 43054

New Albany Healthcare Real Estate
8435 Keystone Crossing Blvd.,
Suite 140
Indianapolis, IN 46240



910008

Barcode: 201010070133781
Pgs: 5 \$52.00 T20100059906
10/07/2010 4:08PM BXSTEWART TIT
Robert G. Montgomery
Franklin County Recorder

TRANSFERRED

OCT 07 2010

CLARENCE E. MINGO II
AUDITOR
FRANKLIN COUNTY, OHIO

QUIT CLAIM DEED

KNOW ALL MEN BY THESE PRESENTS: That **MRC LAND, LLC**, an Ohio limited liability company, TRUSTEE (the "Grantor"), with its principal office located in Franklin County, Ohio, for valuable consideration paid, grants, to **THE NEW ALBANY COMPANY LLC**, a Delaware limited liability company (the "Grantee", whether one or more than one), whose tax address is 8000 Walton Parkway, Suite 120, New Albany, Ohio 43054, the following described real property (the "Premises"):

Situated in the State of Ohio, County of Franklin and Village of New Albany, and being more particularly bounded and described as 19.623 acres on attached Exhibit "A" and as depicted on attached Exhibit "B".

Known as: south of Smith Mill Road and west of Kitzmiller Road, New Albany, Ohio 45054.

Auditor's Parcel Number: split out of 222-000237 and 222-000287

Prior Instrument References: Instrument 2010/0070133780; Instrument 199810150263210, Instrument 200911040159734; Official Record 12773E02, Official Record 12773E17 and Instrument 199903020052207; Recorder's Office, Franklin County, Ohio.

Subject to covenants, easements, conditions and restrictions if any, of record and further subject to taxes and assessment, if any, now a lien, not yet due and payable. Grantor agrees to combine all and any parcels without frontage in the same tax districts in order that the Premises has legal frontage.

IN WITNESS WHEREOF, Grantor has caused the execution and delivery of this Quit Claim Deed hereof by Brent Bradbury, the Vice President/Treasurer of **MRC LAND, LLC**, an Ohio limited liability company, TRUSTEE, the Grantor, this 15th day of October, 2010.

GRANTOR:

MRC LAND, LLC, an Ohio limited liability company, TRUSTEE

Brent Bradbury, Vice President / Treasurer

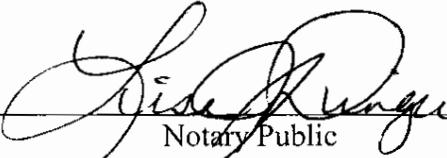
(RF)

120101339

Stewart Title Agency
of Columbus Box

STATE OF OHIO
COUNTY OF FRANKLIN, ss:

The foregoing Quit Claim Deed was acknowledged before me this 16th day of October, 2010, by Brent Bradbury, the Vice President/Treasurer of MRC LAND, LLC, an Ohio limited liability company, TRUSTEE, the Grantor, on behalf of said limited liability company.



Notary Public



LISA J. DINGER
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES 9-27-2011

This instrument prepared
under the direction of:
The New Albany Company LLC
8000 Walton Parkway, Suite 120
New Albany, Ohio 43054
(614) 939-8000

EXHIBIT "A"
(Page 1 of 2)

Situated in the State of Ohio, County of Franklin, Village of New Albany, Lots 23 & 24, Quarter Township 4, Township 2, Range 16, United States Military District, and being part of the residuum of that tract conveyed to The New Albany Company LLC of record in Instrument Numbers 199810150263210 (original 61.693 acres), 200911040159734 (0.745 acres), Official Record 12773 E02 (original 253.36 acres), Official Record 12773 E17 (original 79.559 acres), Instrument Numbers 199903020052207 and 199903120061921, and described as follows:

Beginning at an iron pin set marking a current northeast corner of said 61.693 acre tract, in the north line of a 2.31 acre tract conveyed to The State of Ohio as recorded in Official Record 25189 D11, said line being a north right-of-way line of Kitzmiller Road, and at the east terminus of the south right-of-way line for Smith's Mill Road as recorded in Plat Book 95, Page 91;

Thence **S 36° 34' 12" W**, along the north line of said Kitzmiller Road, said 2.31 acre tract, and the north line of a 0.490 acre tract conveyed to The State of Ohio as recorded in Official Record 25251 I10, **283.28 feet** to an iron pin set at an angle point in said north lines;

Thence **S 32° 04' 08" W**, along the north line of said Kitzmiller Road, and said 0.490 acre tract, **171.42 feet** to an iron pin set at an angle point in said north line of Kitzmiller Road, the southwest corner of said 0.490 acre tract, and the northwest corner of a 1.301 acre tract conveyed to The State of Ohio as recorded in Official Record 25998 C03;

Thence along the north lines of said Kitzmiller Road, and said 1.301 acre tract, the following courses;

S 36° 58' 40" W, 440.70 feet to an iron pin set;

S 28° 23' 19" W, 454.00 feet to an iron pin set at the southwest corner of said 1.301 acre tract, in the north line of a 1.648 acre tract conveyed to The State of Ohio as recorded in Official Record 25998 C07, and at the intersection of the north right-of-way of Kitzmiller Road with the Limited Access right-of-way of State Route 161, which is defined by said 1.648 acre tract;

Thence **N 56° 11' 49" W**, along the north line of said State Route 161, and said 1.648 acre tract, **379.98 feet** to an iron pin set at an angle point in said north line of State Route 161, and said 1.648 acre tract;

Thence **N 46° 35' 40" W**, along the north line of said State Route 161, and said 1.648 acre tract, **372.76 feet** to an iron pin set at an angle point in said north line of State Route 161, and the northwest corner of said 1.648 acre tract, the northeast corner of a 10.388 acre tract conveyed to The State of Ohio as recorded in Deed Book 3478, Page 173;

Thence **N 42° 04' 03" W**, along the north line of said State Route 161, and said 10.388 acre tract, **500.86 feet** to an iron pin set at an angle point in said north line of State Route 161, and said 10.388 acre tract;

Thence **N 37° 25' 51" W**, along the north line of said State Route 161, and said 10.388 acre tract, **167.00 feet** to an iron pin set at an angle point in said north line of State Route 161, and the northwest corner of said 10.388 acre tract, the northeast corner of a 2.348 acre tract conveyed to The State of Ohio as recorded in Deed Book 3440, Page 901;

Thence **N 37° 20' 18" W**, along the north line of said State Route 161, and said 2.348 acre tract, **214.89 feet** to an iron pin set at an angle point in said north line of State Route 161, the northeast corner of said 2.348 acre tract, in the north line of an original 253.36 acre tract conveyed to The New Albany Company LLC recorded in Official Record 12773 E02, and a southwest corner of a tract conveyed to Zarley Family LLC as recorded in Instrument Number 200003290059970 which contains lots 1, 2, 8, 9, 10, and 16 of Plat Book 65, Page 53;

Thence **S 86° 23' 42" E**, leaving the north right-of-way of said State Route 161, along the south line of said Zarley Family LLC tract, **140.04 feet** to an iron pin set at the southeast corner of said Zarley Family LLC tract;

Thence **N 03° 19' 46" E**, along the east line of said Zarley Family LLC tract, **37.60 feet** to an iron pin set at the east line of said Zarley Family LLC tract, and at the southwest corner of an original 7.823 acre tract conveyed to Mount Carmel New Albany Surgical Hospital of record in Instrument Number 200911040159733;

Thence along the south line of said 7.823 tract the following courses;

N 66° 34' 36" E, 274.23 feet to an iron pin set;

S 79° 16' 13" E, 56.23 feet to an iron pin set;

S 30° 53' 20" E, 331.70 feet to an iron pin set;

S 85° 56' 03" E, 67.70 feet to an iron pin set to the west line of the original 21.480 acre tract conveyed to Mount Carmel New Albany Surgical Hospital of record in Instrument Numbers 200812310186106;

EXHIBIT "A"
(Page 2 of 2)

Thence along the west line of said original 21.480 acre tract the following courses;

S 04° 03' 46" W, 19.48 feet to an iron pin set;

S 00° 18' 03" W, 93.50 feet to an iron pin set on the north line of said 0.745 acre tract;

Thence along the north line of said 0.745 acre tract the following courses;

S 53° 52' 22" E, 140.98 feet to an iron pin set;

S 12° 44' 38" W, 62.37 feet to an iron pin set;

S 15° 04' 24" E, 110.45 feet to an iron pin set;

S 82° 16' 01" E, 75.80 feet to an iron pin set;

N 85° 29' 40" E, 118.85 feet to an iron pin set;

N 00° 19' 14" W, 37.03 feet to an iron pin set;

N 45° 52' 03" E, 122.05 feet to an iron pin set;

N 51° 06' 32" E, 73.21 feet to an iron pin set on the south line of said original 21.480 acre tract;

Thence along the south line of said original 21.480 acre tract the following courses;

N 90° 00' 00" E, 274.17 feet to an iron pin set;

N 36° 30' 09" E, 347.59 feet to an iron pin set;

N 09° 02' 01" W, 351.78 feet to an iron pin set;

N 45° 44' 02" W, 106.68 feet to an iron pin set;

N 58° 03' 59" E, 70.41 feet to an iron pin set in the south right-of-way of said Smith's Mill Road;

Thence along said south right-of-way line, with a curve to the left, having a central angle of 27° 21' 12", a radius of 1011.92 feet, and an arc length of 483.10 feet, a chord bearing and chord distance of S 38° 51' 50" E, 478.52 feet to an iron pin set at a point of tangency in said south right-of-way line;

Thence S 52° 32' 27" E, along said south right-of-way line, 42.60 feet to the Point of Beginning.

Containing 19.623 acres of land, more or less, 0.261 acres of which are in APN 222-000237, and 19.362 acres of which are in APN 222-000287. Subject, however, to all legal highways, easements, and restrictions. The above description was prepared by Douglas R. Hock, P.S. 7661 on September 10, 2010 and is based on existing records and an actual field survey performed in August 2010. A drawing of the above description is attached hereto and made a part thereof.

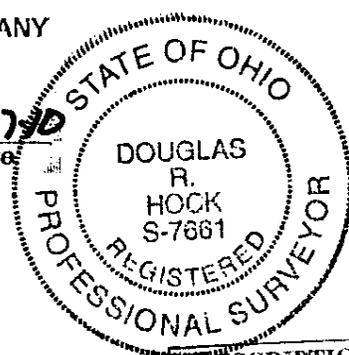
All iron pins set are 3/4" diameter, 30" long iron pipe with plastic cap inscribed "Advanced 7661".

Bearings are based on the same meridian as the bearings shown on the plat entitled "Smith's Mill Dedication and Easements", of record in Plat Book 95, Pages 91-94, Recorder's Office, Franklin County, Ohio. On said plat of record a portion of the centerline of Smith's Mill Road has a bearing of S 86° 23' 10" E.

All references used in this description can be found at the Recorder's Offices in Franklin County, Ohio.

VILLAGE OF NEW ALBANY
NO PLAT REQUIRED
APPROVED

A. Hobart 9-27-10
Signature Date



ADVANCED CIVIL DESIGN, INC.

Douglas R. Hock
Douglas R. Hock, P.S. 7661
9/10/10

0-76-A
on split
0.261 Acre
out of
(222)
237
+

on split
19,362 Acre
out of (222)
287

10:0001-402\dwg\#463\463_19.623Ac.doc

DESCRIPTION VERIFIED
DEAN C. RINGLE, P.E., P.S.
BY: *DR*
DATE: 10 Sep 10

DESCRIPTION VERIFIED
DEAN C. RINGLE, P.E., P.S.
BY: *DR*
DATE: 06 Oct 10

9-27-10
ZONING
APPROVED
A. Hobart

SURVEY OF REMAINDER PARCEL

Village of New Albany, Franklin County, Ohio
 Lots 23 & 24, Quarter Township 4, Township 2, Range 16, U.S.M.D.

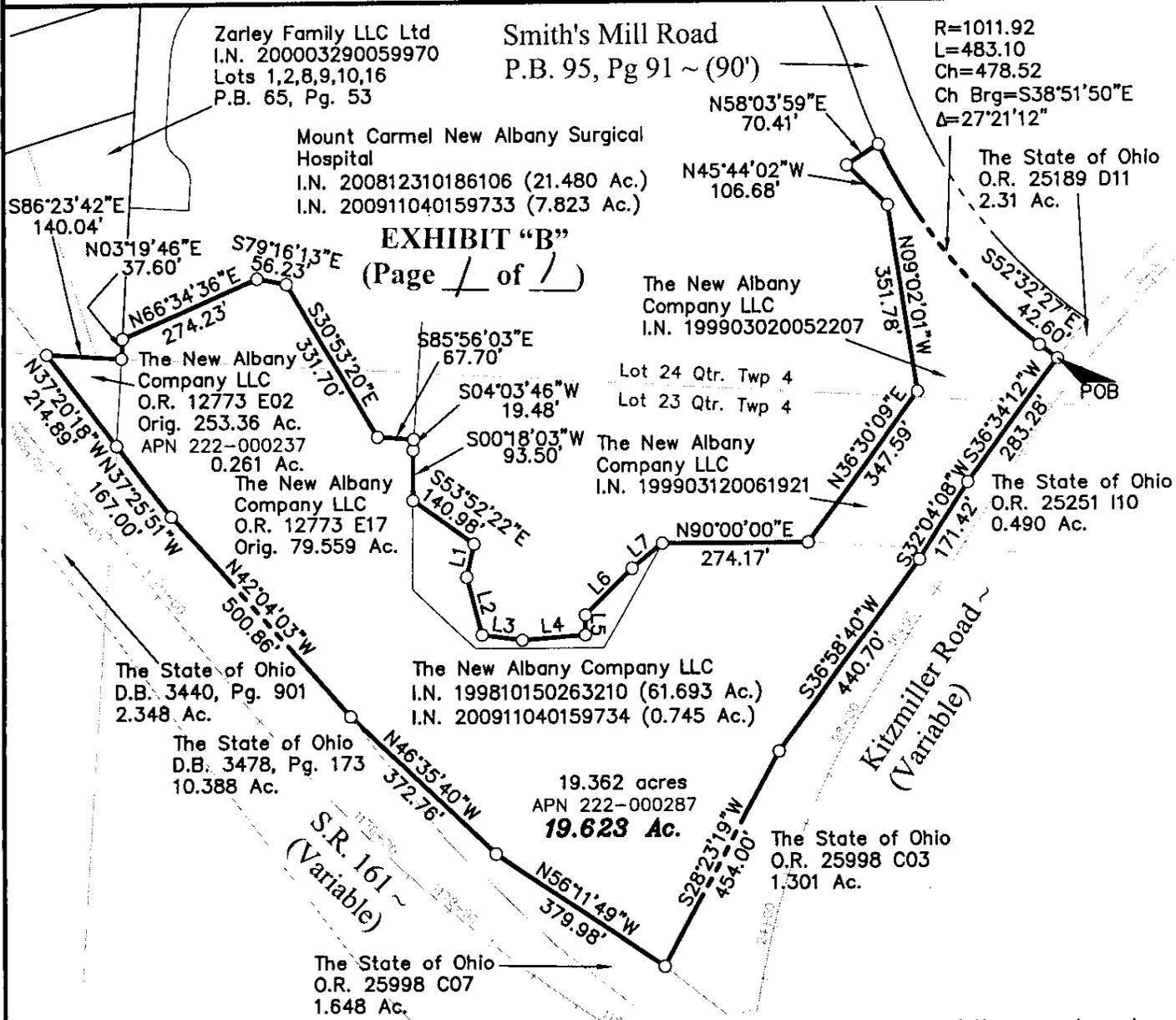


EXHIBIT "B"
 (Page / of /)

LINE TABLE		
LINE	LENGTH	BEARING
L1	62.37	S12°44'38"W
L2	110.45	S15°04'24"E
L3	75.80	S82°16'01"E
L4	118.85	N85°29'40"E
L5	37.03	N00°19'14"W
L6	122.05	N45°52'03"E
L7	73.21	N51°06'32"E

This exhibit is based on existing records and an actual field survey performed in September 2010.

Bearings are based on the same meridian as the bearings shown on the plat entitled 'Smith's Mill Dedication and Easements', of record in Plat Book 95, Pages 91-94, Recorder's Office, Franklin County, Ohio. On said plat of record a portion of the centerline of Smith's Mill Road has a bearing of South 86° 23' 10" East.

Iron pins set are 3/4" diameter iron pipe, 30" long with plastic cap inscribed "Advanced 7661".

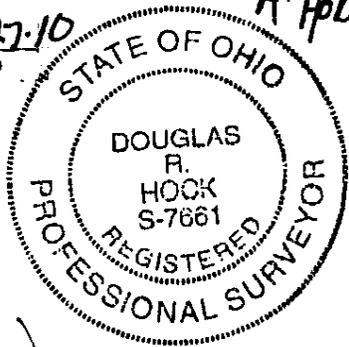
- Iron Pipe Found ○ Iron Pin Set
- Iron Rod Found ✕ Mag Nail Set
- ✕ Mag Nail Found △ RR Spike Set
- ▲ RR Spike Found ◻ Monument
- ◻ Monument Box

Survey Reference: #463

DRAWN BY: <i>JDW</i>	JOB NO.: 10-0001-402
DATE: 09/07/2010	CHECKED BY: <i>DRH</i>

VILLAGE OF NEW ALBANY
 NO PLAT REQUIRED
 APPROVED
A. Hobart
 Signature

9-27-10
ZONING APPROVED
A. Hobart



[Signature] 9/10/10
 Douglas R. Hock, P.S. 7661

ADVANCED
 CIVIL DESIGN
 ENGINEERS & SURVEYORS

422 Beecher Road
 Gahanna, Ohio 43230
 ph 614.428.7750
 fax 614.428.7755



Aaron L. Underhill
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

P: 614.335.9321
F: 614.335.9329
aaron@uhlfirm.com

May 18, 2020

Chris Christian
Planner
City of New Albany
99 West Main Street
New Albany, Ohio 43054

RE: School Impact of Rezoning of 19.68+/- acres located generally to the north of the intersection of State Route 161 and Kitzmiller Road in New Albany, Ohio (the “Property”)

Dear Chris:

This letter accompanies an application to rezone the Property from the C-PUD, Comprehensive Planned Unit Development designation to the I-PUD, Infill Planned Unit Development designation. The Property has been zoned C-PUD for over 20 years as part of the 1998 NACO PUD, with office and Community Facilities (CF) district uses being permitted. This rezoning will facilitate the development and operation of a private automobile campus providing for non-commercial storage of classic, muscle, performance, and exotic cars and associated leisure and limited commercial activities. The purpose of this letter is to analyze the impact of this zoning on the New Albany Plain Local School District.

The concept is to develop multiple buildings, each containing numerous private garage units that will be sold to buyers pursuant to a condominium form of ownership. The rezoning would allow for up to 175 individual private garage units. Various related improvements such as parking areas and open spaces will be owned by a condominium association as common elements, and up to two buildings may be developed for limited commercial uses.

Presently the Property is taxed at commercial rates. With the approval of the proposed rezoning, it will continue to be taxed in the same manner. The approval of the rezoning is a contingency of the sale of the property from its current owner (The New Albany Company LLC) to the applicant (The Motor Enclave New Albany, LLC). The land transfer itself will result in a higher base land value than is currently applicable to the Property for real estate tax purposes. In and of itself, this increase in value will benefit the school district. But the improvement of the Property as proposed will result in substantially more value being created for tax purposes, and as the recipient of nearly

63% of real property taxes, the New Albany Plain Local School District will be a major beneficiary.

While the Property as presently zoned and as proposed to be rezoned would both yield positive financial results for the schools, history has demonstrated that development of the uses permitted on the Property today may not occur for many years. The pending rezoning provides an opportunity to create a short time horizon for the school district to realize an increased financial benefit from the Property. And of course, with residential uses not being a component of the rezoning request, the benefit will come with no financial burden relating to the costs of educating new students from the project.

The applicant is pleased to bring forth this application and looks forward to working with the City. Please let me know if you have any questions.

Sincerely,



Aaron L. Underhill
Attorney for the Applicant

MOTOR ENCLAVE ZONING DISTRICT

Information concerning specific Code requirements for rezoning submittal by The Motor Enclave New Albany, LLC

Per C.O. 1111.03(g), a statement as to how the proposed zoning amendment will impact adjacent and proximate properties.

Response: The proposed zoning amendment will have little or no impact on adjacent and proximate properties. Permitted uses of the subject property under its current zoning include offices and those uses permitted in the CF, Community Facilities District under the Codified Ordinances. The proposed zoning will create a private automotive campus as described in the proposed zoning text which will generate much less traffic and other impacts than use that are presently permitted on the property. The property has a preservation area within its western portion and the property to the north contains a significant wooded preservation area. Combined with the site's location along the State Route 161 expressway, the development largely will be segregated from nearby uses and parcels.

Per C.O. 1111.03(i), any deed restrictions, easements, covenants and encumbrances to be imposed to control the use, development and maintenance of the area to be rezoned.

Response: Upon the completion of the zoning for this property and prior to selling the property to any third party, the property will be made subject to The New Albany Business Park CCRs and will become part of The New Albany Business Park Association. It is also subject to the requirements of the New Albany Community Authority.

Per C.O. 1159.07(b)(2)(F) The schedule of site development, construction of structures and associated facilities. Such schedule shall include the proposed use or reuse of existing features such as topography, streets, easements and natural areas.

Response: Development of the site will begin promptly after the approval of the first final development plan for the I-PUD and subject to receipt of all relevant permits.

Per C.O. 1159.07(b)(2)(J) Verification that an application, if required, has been submitted to the Ohio Environmental Protection Agency in compliance with Section 401 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain a Water Quality Certification Permit from the Ohio Environmental Protection Agency. In the case of an isolated wetland either a general state or individual state isolated wetland permit must be obtained from the Ohio Environmental Protection Agency (Sections 6111.021. - 6111.024 of House Bill 231).

Response: Please see separate materials prepared by EMH&T.

Per C.O. 1159.07(b)(2)(K) Verification that an application, if required, has been submitted to the U.S. Army Corps of Engineers, in compliance with Section 404 of the Clean Water Act in which anyone who wishes to discharge dredged or fill material into waters of the United States must obtain either a nationwide or individual permit from the U.S. Army Corps of Engineers.

Response: Please see separate materials prepared by EMH&T.



Engineers, Surveyors, Planners, Scientists

June 9, 2020

Mr. Steve Mayer
City of New Albany
Development Department
99 West Main Street
New Albany, OH 43054

Subject: M1 Concourse – Environmental Compliance

Dear Mr. Mayer,

This letter serves to inform the City of New Albany of environmental conditions associated with the proposed M1 Concourse development, located west of Kitzmiller Road, south of Smiths Mill Road, and north of State Route 161, in the City of New Albany, Franklin County, Ohio. The property consists of a mowed grassy field and woodlots.

The subject property along with the adjacent properties to the north and west were delineated by EMH&T for Waters of the U.S. in February 2001. The delineation report was verified by the U.S. Army Corps of Engineers (USACE) in February, 2002. The subject property at that time contained three wetlands. The New Albany Company applied for and received a Section 404 Individual Permit from the USACE in September 2003 and a Section 401 Water Quality Certification from the Ohio EPA in July 2003. The permits authorized fill of all wetlands located on the subject property except for portions of two wetlands within the setback along State Route 161 and minor encroachment from a preserved wetland in the northern woodlot. The vast majority of all preserved wetlands are located on adjacent properties. All of these preserved wetlands are contained within permit required preservation zones. Portions of the preservation zones overlap onto the subject property and need to remain undisturbed in a forested condition.

The property was recently inspected by the EMH&T Environmental Department. All previously authorized wetland impacts have been maintained by the New Albany Company. There are no wetlands on the subject property. It is my opinion that further coordination with the U.S. Army Corps of Engineers or Ohio EPA would not be required for development of this parcel.

If you have any questions regarding this information or require additional documentation, please do not hesitate to contact me at (614) 775-4515.

Sincerely,

EVANS, MECHWART, HAMBLETON & TILTON, INC.

A handwritten signature in blue ink that reads "Robert F. Milligan".

Robert F. Milligan
Director of Environmental Services
Principal

Cc: Amy Nagy, EMH&T

MOTOR ENCLAVE ZONING DISTRICT
I-PUD
June 9, 2020

I. INTRODUCTION AND BACKGROUND:

The Motor Enclave Zoning District (the “Zoning District”) consists of 19.58+/- acres located to the north of and adjacent to the intersection of Kitzmiller Road and State Route 161. While it has visibility from the highway, the lack of direct and convenient vehicular access to and from this property and its irregular shape have inhibited its development to date. Therefore, the market for the site is limited to uses that would benefit from its visible location, but will not generate a large volume of traffic. This zoning will facilitate the development of such a use, in the form of a “motor enclave” that will be a one-of-a-kind development in the State of Ohio.

The project will create a private campus where owners and collectors can store their unique automobiles and socialize with other like-minded individuals. The Motor Enclave New Albany, LLC is in contract to purchase the property that is the subject of this text. Its business model provides for the construction, development, and operation of private “white box” conditioned spaces that provide for vehicle storage within garages that are purchased subject to a condominium form of ownership. Each unit owner is permitted to finish its interior space in a customized manner by providing (for example) a private office, a mezzanine level, bar or other gathering space, entertainment space, bathrooms, or some combination thereof. Units are intended to provide a space where individuals may relax and enjoy their vehicles or congregate with family, friends, and business associates.

The development will provide an exclusive location for individuals to enjoy their classic, muscle, performance, or exotic vehicles. At the same time, the campus will provide for ancillary uses and structures which further the ownership and visitor experience, as more particularly described in this text. Due to the private and exclusive nature of the use, vehicular access will be provided using private drives connecting to Kitzmiller Road and Forest Drive, with access to and from the site being controlled by gates. Security will be further ensured by fencing the perimeter of the campus. The general public will not have access to the campus, except during limited special events, as visitors will need to be invited by private garage owners or by other permitted users. The existence of a preservation area to the north of the property and within the western portion of the site will provide further seclusion, as well as a significant aesthetic feature.

II. DEVELOPMENT STANDARDS:

A. Existing Zoning Rights: Prior to the approval of this rezoning application, the property that is the subject of this text was zoned C-PUD as part of Subarea 8g of the 1998 New Albany Company PUD. The zoning text for Subarea 8g was modified by the Planning Commission on January 21, 2015, and the modified version accompanies this text as Supplement #1 (the “Existing Text”). Given the very unique nature of the uses being proposed in this

rezoning, combined with the state of the economy based on the ongoing COVID-19 pandemic, the current property owner (The New Albany Company) desires to retain the right to develop the subject property in accordance with the Existing Text should the transaction to sell the property to the applicant fail to occur. Therefore, any portion of the Property that is not conveyed to the applicant or an affiliated business entity may be developed and operated in accordance with the Existing Text. Immediately and automatically upon the conveyance of any portion of the subject property to the applicant, the Existing Text shall no longer apply to the property that is conveyed.

B. Applicability of Standards: Unless otherwise specified in the submitted drawings or in this written text, the development standards of Part Eleven, Title Five of the Codified Ordinances of the City of New Albany shall apply to this Zoning District. In the event of a conflict between the standards contained in this text and those which are contained in the Codified Ordinances, this text shall govern. Where this text is silent on any standard, the standard contained in the Codified Ordinances shall be applied.

C. Permitted Uses: Uses within this Zoning District shall include three categories: Primary permitted uses; supportive permitted uses, and prohibited uses.

1. Primary Permitted Uses: The primary permitted uses within this Zoning District shall consist of those which fall within the definition of a “private automobile garage campus”. This term will be generally defined to mean “a single campus containing multiple buildings each containing numerous private garage units individually owned under a condominium form of ownership, with common elements such as parking lots, paved drives, grassed and landscaped areas, and buildings from which ancillary supporting uses will be operated. Each private garage unit may be used for the interior parking and storage of privately owned automobiles and the following uses: (1) Maintenance of and repairs to automobiles owned by the owner of the private garage unit or that owner’s affiliated business; (b) personal leisure and entertainment; and (c) professional office space (provided that no office space will be used by any more than two employees per 600 gross square feet at any one time).”

It is intended that the term “private automobile garage campus” is to be construed broadly to encompass any use which is in furtherance of or similar to those which are described in the immediately preceding paragraph. Any use that can be interpreted to be consistent with the spirit and intent of the defined term shall be permitted as determined by the Director of Community Development or her designee, provided that it does not otherwise qualify as a specific prohibited use as contemplated in Section I.B.3 of this text. In addition to other permitted vehicles, private garage unit owners that are in the business of selling vehicles shall be permitted to use the private garage unit for the purpose of storing vehicles that are licensed to an automobile dealership under his, her, or its ownership and may use the address of the private garage unit as the licensee’s address.

2. Supportive Permitted Uses: In order to support the primary permitted uses in this Zoning District and to enhance the experiences of owners and select visitors, the

following uses shall be considered to be “supportive permitted uses” and shall be limited to operation within any building(s) on the site that are designated in an approved final development plan as a Community Building” unless otherwise specifically noted. Except as provided in subsection k below, all of the uses in this Section II.C.2 shall serve owners of private garage units and may be available to serve persons who are not owners of garage units only by invitation or appointment.

- a. Retail automotive sales of new or pre-owned luxury vehicles, shown by appointment only and not otherwise accessible by visitors from the general public. No more than 50 automobiles may be displayed in total at any one time within the Community Building(s). Exterior displays and exterior storage of vehicles shall be prohibited. It is the intent to allow retail automotive sales on the site on a limited basis to provide opportunities to view, test drive, and purchase only classic, muscle, performance, and exotic vehicles. Sales of new vehicles by the common means of offering automobiles from a single manufacturer or limited group of manufacturers, and/or by offering used cars for sale which are not of the classic, muscle, performance, and/or exotic type, both in a traditional dealership arrangement, are prohibited;
- b. Coffee shops, ice cream (or similar) shops, and cafes with indoor and/or outdoor seating, not to exceed 4,000 square feet in gross floor area in any single tenant space;
- c. One private club accessible by owners of garage units, paying members, or tenants of the Community Buildings. This use may serve food and/or beverages (including alcohol) and may be located within one of the Community Buildings or within one private garage unit;
- d. Vehicle storage for private garage unit owners, paying members, or tenants, on the floors of buildings or using internal racking systems;
- e. Custom automobile repair facilities;
- f. Automobile detailing, restoration, and/or specialty parts sales and installation;
- g. “Speed shops,” defined to mean “a retail store that sell and installs aftermarket performance and styling details for vehicles.”
- h. Sales of automobile insurance and other insurance products;
- i. Rentals of space for events by businesses, non-profits, local governments, or members of the community;
- j. Outdoor ancillary uses such as (but not limited to) outdoor seating, fire pits, and gathering areas.

k. Limited events open to the general public such as (but not necessarily limited to) classic, muscle, performance and/or exotic car shows, provided that such events shall be permitted no more than 12 times in any calendar year and no individual event shall occur for greater than two consecutive days.

3. **Prohibited Uses:** Prohibited uses shall include those which are not permitted as contemplated in Sections I.B.1 and 2 above. For purposes of clarity and not by way of limitation, the following uses are prohibited:

a. Traditional self-storage units used, operated, and rented for purposes other than those contemplated in this text;

b. Any use of a private garage unit for the maintenance, repair, or storage of vehicles for commercial purposes;

c. Residential uses;

d. Storage of gasoline, oil, propane tanks (other than those relating to a barbeque grill or similar equipment), or other types of fuel within or outside of any structure; and

e. Exterior storage of vehicles, equipment, or personal property.

C. Density:

1. There shall be a maximum of 175 private garage units.

2. At least one and not more than two Community Buildings shall be permitted, provided that no more than 14,000 square feet of gross floor area shall be permitted in the aggregate. Community Buildings may be designated as “units” under the condominium declaration that will apply to the private garage units within the Zoning District or may be contained within one or more separate fee simple parcels that are not included as part of the condominium regime. Community Buildings are permitted in addition to the permitted 175 private garage units within this Zoning District.

3. Accessory buildings at gated vehicle entrances shall be permitted but each shall not exceed 250 square feet of gross floor area.

D. Setbacks: The following setback requirements shall apply to this Zoning District:

1. **State Route 161:** There shall be a minimum pavement setback of 50 feet and a minimum building setback of 75 feet from the edge of the right-of-way of State Route 161.

2. **Kitzmiller Road:** The size and configuration of the right-of-way of Kitzmiller Road, as well as topographical conditions within and adjacent to it, create

unique conditions for this Zoning District. First, the right-of-way significantly widens adjacent to the eastern boundary line of the Zoning District traveling from the north to the south. Second, the pavement of Kitzmiller Road is offset such that the centerline for the street does not coincide with the centerline of its right-of-way, yielding a condition where the paved street is closer to the western edge of the right-of-way than to the eastern edge. Third, there is a significant drop in elevation from the vehicular access point for the Zoning District on Kitzmiller Road to the intersection of Kitzmiller Road and State Route 161 on the south, meaning that many of the building facades that will be oriented toward Kitzmiller Road will be not be visible in whole or in part from that street.

There shall be a minimum pavement setback of 105 feet and a minimum building setback of 115 feet from the centerline of the right-of-way of Kitzmiller Road for all portions of the Zoning District located to the north of the southern edge of pavement for the access drive into the site from Kitzmiller Road. For all other portions of the Zoning District, there shall be a minimum pavement setback of 140 feet and a minimum building setback of 150 feet from the centerline of the right-of-way of Kitzmiller Road

3. **Perimeter Boundary:** Along any perimeter boundary of this Zoning District that is not adjacent to a public right-of-way, pavement and buildings shall be located outside of any wetlands or preservation areas as generally illustrated on the preliminary development plan and as finally determined in an approved final development plan. Along such perimeter boundaries where no wetlands or preservation areas are present, the minimum building and pavement setback shall be 2 feet.

4. **Building Separation; Internal Parcel Lines:** No structure shall be located less than 30 feet from another structure within this Zoning District. There shall be a zero setback requirement from parcel lines which are internal to this Zoning District.

5. **Community Buildings:** When a Community Building is not subjected to the condominium regime for this Zoning District, there shall be a zero setback requirement for pavement and a 5-foot minimum building setback requirement from shared parcels lines for that parcel and any adjacent parcels containing condominium units. If a Community Building will not be subjected to the condominium regime for this Zoning District, the applicant shall notify the City at the time of filing a building permit application for that Community Building.

E. **Lot Coverage:** There shall be a maximum lot coverage of 70% in this Zoning District.

F. **Access, Loading, Parking and Other Traffic Commitments:**

1. **Vehicular Parking:**

a. **Private Garage Units:** Each private garage unit shall have a minimum of one and a maximum of three unstriped paved parking spaces in front

of the pedestrian door and overhead garage door for that unit. Such parking spaces shall be a minimum of 9 feet wide and 19 feet long.

b. Additional Parking: A minimum of 110 additional paved and striped parking spaces shall be provided throughout the Zoning District as generally illustrated on the preliminary development plan and with final locations as approved as part of a final development plan.

2. Vehicular Access and Circulation: Vehicular access to and from this Zoning District shall be provided from one full movement access point on Kitzmiller Road and a second access point on Forest Drive. The access point on Kitzmiller Road shall be gated with entry and exit being provided by and through the use of an attendant or by key card, keypad, or similar device. The access point on Forest Drive shall be gated but is not intended as a primary entrance for owners, visitors, and tenants. This gate will be controlled by management for the campus and may or may not be motorized. Internal vehicular circulation shall be provided using private drives that are a minimum of 22 feet in width. These drives may be named so that individual garage units can be assigned addresses to allow for efficient wayfinding and mail delivery to one or more clustered mailbox units, the location(s) of which shall be approved as part of a final development plan.

3. Loading and Service Areas: Loading and service areas shall be fully screened from off-site view by the use of walls, fences, and/or landscaping. No loading spaces shall be required and therefore this Zoning District shall be exempt from the requirements of Codified Ordinances Section 1167.06.

4. Dedication of Rights-of-Way: There shall be no additional right-of-way required to be dedicated to the City for any public streets.

5. Bicycle Parking: Bicycle parking shall be provided near Community Buildings using a bicycle rack or similar provision at the rate of one parking space per 700 square feet of Community Building gross floor area.

G. Architectural Standards:

1. Character: Structures within this Zoning District shall be consistent in terms of design and architectural character with the drawings and renderings that accompany this text. Final architecture shall be approved as part of a final development plan.

2. Building Orientations:

a. Kitzmilller Road: Buildings shall be positioned on the site so that overhead garage doors for individual private garage units are not oriented in a manner that is generally facing Kitzmilller Road. The Community Building located to the north of the vehicular access point on Kitzmilller Road shall not be permitted to have overhead garage doors on its facade that generally runs parallel to Kitzmilller Road. Buildings shall not be required to have pedestrian doors along Kitzmilller Road.

b. State Route 161: Buildings along State Route 161 shall be permitted to have overhead garage doors for private garage units oriented toward State Route 161. The preservation of existing trees as required elsewhere in this text shall provide natural screening from State Route 161. No buildings shall be required to have operable or inoperable pedestrian doors on side facades oriented toward State Route 161.

3. Building Heights: The maximum building height in this Zoning District shall be 40 feet, as measured per the Codified Ordinances, and subject to Section 1165.03 of the Codified Ordinances. Complete rooftop screening of mechanical equipment shall be provided to eliminate views of the equipment from adjacent rights-of-way, except that this requirement may be waived by the Planning Commission as part of a final development plan where such screening is impossible or impractical to achieve based on adjacent right-of-way having a higher elevation than the elevation of the land that contains a building.

4. Rooftop Terraces: Rooftop terraces suitable for social gatherings shall be permitted on Community Buildings, provided that the designs and specifications for the same are approved by the Planning Commission as part of a final development plan. Rooftop terraces shall be designed so that they are not visible from Kitzmilller Road.

5. Balconies and Patios: Balconies shall be permitted on buildings containing private garage units. Patios shall be permitted on facades of buildings that are oriented toward wooded areas or open space.

6. Permitted Exterior Façade Materials:

a. Primary Materials: The following materials shall be permitted as primary exterior façade materials on all buildings: Metal siding and standing seam metal roofing, standard seam metal appearance PVC roofing (but only if such material provides a substantially similar aesthetic as standing seam metal, as determined by the Planning Commission as part of a final development plan), decorative block, stone, and brick.

b. Secondary Materials: The following materials shall be permitted as secondary trim exterior façade materials on all buildings: Metal fascia and metal soffits.

7. Overhead Garage Doors: Overhead garage doors shall not exceed 18 feet in height and 18 feet in width.

H. Buffering, Landscaping, Open Space and Screening Commitments

1. Fencing:

a. Along SR 161 and Kitzmiller Road: A four-board white horse fence exists along the Zoning District's frontage along State Route 161. This fence shall be maintained in its current location. A four-board white horse fence also exists along a limited portion of the Zoning District's frontage on Kitzmiller Road, which shall be extended where it will be visible from this street. This fencing shall not be required along portions of this frontage where the topography is such that the elevation of the ground is significantly lower than the elevation of the street, as determined at the time of final development plan review and approval.

b. Security Fencing: In order to provide security for the campus, additional fencing shall be provided around the entire perimeter of this Zoning District within required minimum setbacks. Such fencing shall be installed behind the required four-board white horse fence. Final locations for security fencing shall be approved as part of a final development plan. Security fencing shall be at least 6 feet but no more than 8 feet in height and shall be decorative in nature where visible from a public right-of-way. Where security fencing is not visible from a public right-of-way, it may consist of a black chain link fence.

2. Screening of Parking: Surface parking areas shall be screened in accordance with the requirements of the Codified Ordinances. Where parking lots are adjacent to wooded areas located to the north of and adjacent to the Zoning District or within the western portion of the Zoning District, this screening requirement may be waived by the Planning Commission when approving a final development plan if the existing trees and other vegetation provide the means to meet the intent of the parking lot screening requirements without the need for additional plantings or walls.

3. Parking Lot Landscaping: For each one hundred (100) square feet, or fraction thereof, of parking area, a minimum total of five (5) square feet of landscaped area shall be provided. Parking areas shall contain a minimum of one deciduous canopy tree for every ten (10) parking spaces. Trees used in parking lot islands shall have a clear

trunk of at least five (5) feet above the ground, and the remaining areas shall be landscaped with shrubs, or ground cover, not to exceed two (2) feet in height.

4. Tree Preservation: Existing trees and vegetation located within required minimum pavement setbacks along public street rights-of-way or within other areas which are generally designated on the preliminary development plan (and as more particularly specified in an approved final development plan) as being within a “preservation area” shall be preserved except as provided in this subsection. Understory weeds, brush, and plants may be removed from these areas in order to provide for a cleaner appearance. Trees which are dead or diseased, pose a potential danger to persons or property, or which are an invasive species may be removed from these areas. No trees shall be removed from wetlands areas (as generally illustrated on the preliminary plan and as more particularly specified in an approved final development plan) unless they are a danger to persons or property and are permitted to be removed in accordance with relevant state and federal permits. Due to the large number of trees that are being preserved on the western portion of the Zoning District and within required minimum perimeter setbacks, and the existence of a significant wooded preservation area located to the north of and adjacent to the Zoning District, the planting requirements of Codified Ordinances Section 1171.05(e) shall not apply to this Zoning District.

5. Street Trees: Deciduous street trees shall be planted at the average rate of thirty (30) feet on center along Kitzmiller Road. Trees may be grouped, provided that the quantity is equivalent to one per 30 feet or fraction thereof. Street trees shall be a minimum caliper of three (3) inches.

6. Additional Perimeter Plantings: Additional trees shall be required to be planted behind the required street trees on Kitzmiller Road and within the required pavement setback. These trees shall be deciduous or a combination of deciduous and evergreens. A minimum of six trees shall be planted per 100 linear feet in this area. Trees shall be randomly located so as to promote a rural character along Kitzmiller Road. The requirements for these plantings and street tree plantings along Kitzmiller Road may be waived in limited locations where they are impractical or impossible to plant and/or maintain due to topographical conditions or are unnecessary to improve the landscaping aesthetic of the site, as determined by Planning Commission as part of a final development plan approval.

7. Master Landscape Plan: A master landscape plan for the entire Zoning District shall be presented for review by the Planning Commission along with the first final development plan application that is filed, Landscaping shall conform to a master landscape plan that is approved by the Planning Commission, also subject to the review and approval of the City’s Landscape Architect.

I. Dumpsters, Mechanicals, Lighting, Outdoor Display Areas and Other Environmental Commitments

1. Mechanical Equipment: Any external ground-mounted mechanical equipment shall be screened at ground level from all adjacent public streets with materials that are similar to or the same as used on the majority of the building, or with fencing or landscaping that achieves complete opacity when viewed from off-site.

2. Service Areas and Dumpsters: Service areas and dumpsters shall be fully screened from off-site view at ground level using walls, fencing, and/or landscaping that achieves completed opacity when viewed from off-site. Exterior storage of materials, supplies, equipment, or products is prohibited.

3. Lighting:

a. Parking Lot Light Poles: Light poles within the parking lot shall not exceed 20 feet in height, shall be cut-off type fixtures, fully shielded, and shall be downcast. Parking lot lighting shall be from a controlled source in order to eliminate light spillage beyond the boundaries of the Zoning District. All light poles and standards shall be black or New Albany Green and constructed of metal.

b. Street Lighting: No street lighting or street light poles shall be permitted along Kitzmiller Road or State Route 161, except that one street light pole shall be permitted at each vehicular entrance into the site. Such poles shall not exceed 16 feet in height and shall utilize a pole design, color, and fixture that is consistent with those used in commercial areas of the City.

c. Prohibited Lighting: The following lighting shall be prohibited on building exteriors:

- i. Permanent or temporary colored lights or neon lights; and
- ii. String lighting that is visible from the public right-of-way.

d. Security Lighting: Security lighting, when used, shall be of a motion-sensor type.

e. Lighting Plan: All permanent lighting fixtures, plans, and specifications shall be provided for review and approval as part of a final development plan.

J. Graphics and Signage Commitments

1. Ground Signs: One ground sign shall be permitted at each vehicular entrance into the site. Each of these signs shall be permitted to identify the use within this Zoning District and provide an address. Secondary ground-mounted directional signs shall be permitted within the interior of the Zoning District to assist with vehicular and pedestrian wayfinding. The number of these directional signs shall not be subject to any limitation given the campus-like nature of this Zoning District, provided that the number of such signs shall be limited to that which is necessary to provide efficient internal wayfinding, as determined as part of the mater sign plan contemplated in subsection J.3 below.

2. Wall Signs: Wall signs shall be permitted on Community Buildings, provided that they shall be sized and designed in a manner that identifies uses to owners, visitors, and the fire department while within the Zoning District and not in a manner intended to advertise off-site. Wall signs indicating building addresses also shall be permitted. Wall signs and/or graphics indicating unit numbers and/or ownership names shall be permitted near or on the pedestrian access door for each private garage unit. Other wall signs on buildings containing private garage units shall be prohibited.

3. Master Sign Plan: A master sign plan for the entire Zoning District shall be presented for review by the Planning Commission along with the first final development plan application that is filed. Signage shall conform to a master sign plan that is approved by the Planning Commission. Specifications for signs shall meet relevant provisions of the Codified Ordinances except as otherwise provided in this text or approved in a final development plan.

4. Illumination: Signs shall be externally illuminated, except that the ground sign at the entrance into the Zoning District from Kitzmiller Road may be internally illuminated if approved as part of a final development plan. When external illumination is utilized, fixtures shall be shielded and shall be screened with landscaping.

5. Prohibited Signs: No signs shall be painted directly on the surface of any building or any wall or fence. No wall murals shall be allowed. No flashing, traveling, animated or intermittently illuminated signs or banners, tethered balloons, or pennants shall be used. Temporary interior window advertisements are prohibited, as are streamers, gas filled devices, revolving or rotating signs, and neon signs.

K. Utilities. All new utilities shall be installed underground.

III. APPEALS AND VARIANCES:

A. Appeals:

1. Taking of Appeals: Appeals to the Board of Zoning Appeals concerning interpretation or administration of the text or the underlying zoning ordinance by the Zoning Officer or any other administrative official may be taken by any person aggrieved, including a tenant, or by a governmental officer, department, board, or bureau. Such appeal shall be taken within twenty days after the date of the decision by filing a notice of appeal specifying the grounds thereof with the officer from whom the appeal is taken and the Board of Zoning Appeals.

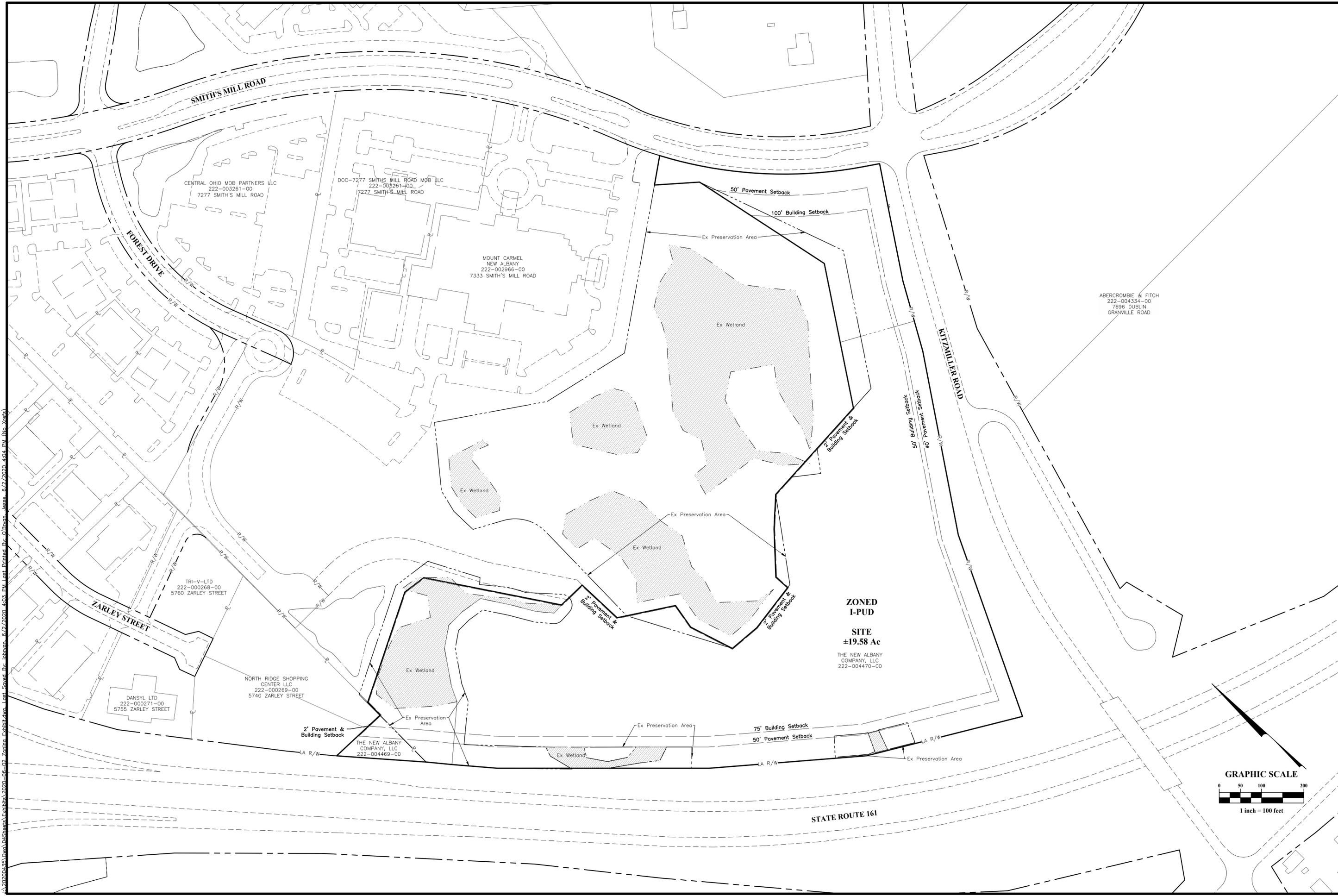
2. Imminent Peril: An appeal shall stay all proceedings in furtherance of the action appealed from, unless the Zoning Officer certifies to the Board of Zoning Appeals, after notice of appeal shall have been filed with him, that by reason of facts stated in the application a stay would, in his opinion, cause imminent peril to life or property. In such case, the proceeding shall not be stayed other than by a restraining order which may, on due cause shown, be granted by the Board of Zoning Appeals, after notice to the Zoning Officer or by judicial proceedings.

B. Variances:

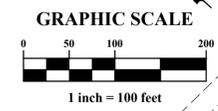
1. Nature of Variance: On a particular property, extraordinary circumstances may exist making a strict enforcement of the applicable development standards of this text or the Zoning Ordinance unreasonable and, therefore, the procedure for variance from development standards is provided to allow the flexibility necessary to adapt to changed or unusual conditions, both foreseen and unforeseen, under circumstances which do not ordinarily involve a change of the primary use of the land or structure permitted.

2. Variance Process: The procedures and requirements of Chapter 1113, Variances of the Codified Ordinances of the City of New Albany shall be followed in cases of appeals. The Planning Commission shall hear requests for variances in this zoning district.

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ZONED
I-PUD
SITE
±19.58 Ac
 THE NEW ALBANY
 COMPANY, LLC
 222-004470-00



MARK	DATE	DESCRIPTION

BROVENTURES LLC

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
 EXHIBIT
THE MOTOR ENCLAVE
NEW ALBANY
ZONING EXHIBIT

EMHT
 Earth & Mechanical Investigations & Testing, Inc.
 Engineers • Surveyors • Planners • Scientists
 5800 New Albany Road, Columbus, OH 43254
 Phone: 614.757.5500 Fax: 614.757.5500
 emht.com

DATE
 June 2, 2020

SCALE
 1" = 100'

JOB NO.
 20191247

SHEET
 1/1

LEGEND

	Proposed Pavement
	Future/Potential Pavement
	Existing Wetland
	Wetland Buffer
	Parking Count

PROJECT DESCRIPTION
 The development includes the construction of 175 garage units and a 14,000 SF community building.

STORMWATER MANAGEMENT
 The required stormwater management for this project will be provided by the proposed detention basin and underground detention. Final calculations will be submitted with the final engineering process.

SANITARY AND WATER SERVICE
 The water and sanitary service will be provided from the existing infrastructure in the Kitzmiller Road Right-Of-Way and or easement.

MONUMENTATION
 Monumentation in Compliance With C.O. 1159.07 (3) Will Be Set Prior To Completion Of Construction.

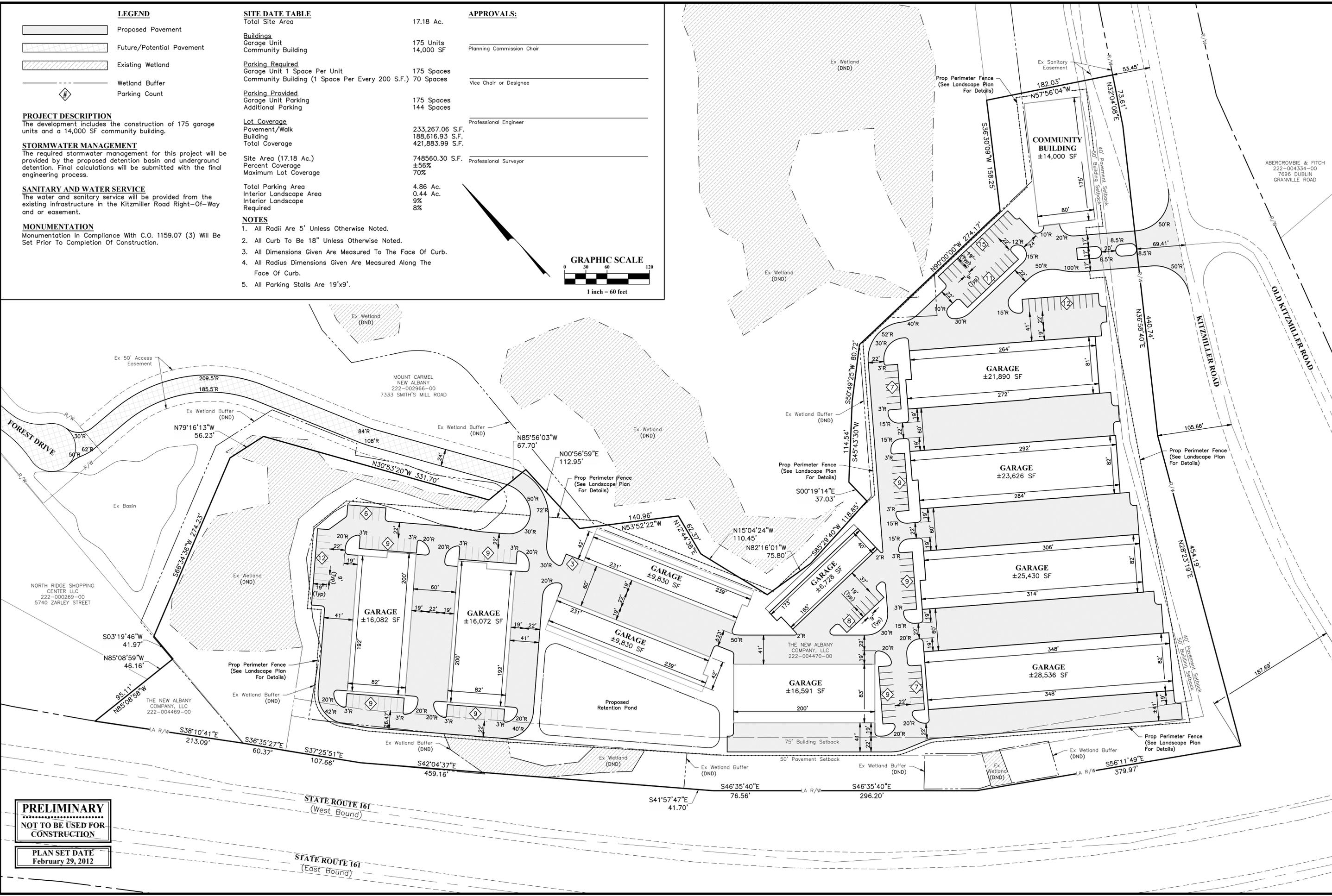
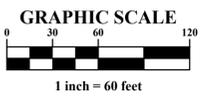
SITE DATA TABLE

Total Site Area	17.18 Ac.
Buildings	
Garage Unit	175 Units
Community Building	14,000 SF
Parking Required	
Garage Unit 1 Space Per Unit	175 Spaces
Community Building (1 Space Per Every 200 S.F.)	70 Spaces
Parking Provided	
Garage Unit Parking	175 Spaces
Additional Parking	144 Spaces
Lot Coverage	
Pavement/Walk	233,267.06 S.F.
Building	188,616.93 S.F.
Total Coverage	421,883.99 S.F.
Site Area (17.18 Ac.)	748560.30 S.F.
Percent Coverage	±56%
Maximum Lot Coverage	70%
Total Parking Area	4.86 Ac.
Interior Landscape Area	0.44 Ac.
Interior Landscape Required	9%
	8%

APPROVALS:

Planning Commission Chair	_____
Vice Chair or Designee	_____
Professional Engineer	_____
Professional Surveyor	_____

- NOTES**
- All Radii Are 5' Unless Otherwise Noted.
 - All Curb To Be 18" Unless Otherwise Noted.
 - All Dimensions Given Are Measured To The Face Of Curb.
 - All Radius Dimensions Given Are Measured Along The Face Of Curb.
 - All Parking Stalls Are 19'x9'.



PRELIMINARY
 NOT TO BE USED FOR CONSTRUCTION
 PLAN SET DATE
 February 29, 2012

REVISIONS

MARK	DATE	DESCRIPTION

THE MOTOR ENCLAVE
 NEW ALBANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
 PRELIMINARY DEVELOPMENT PLAN
 FOR
 THE MOTOR ENCLAVE
 NEW ALBANY
 SITE PLAN

EMHT
 ENGINEERS & ARCHITECTS
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614.757.5500 Fax: 614.757.3658
 emht.com

DATE
 May 18, 2020

SCALE
 1" = 60'

JOB NO.
 20200435

SHEET
 2/3

LEGEND

	Proposed Pavement
	Future/Potential Pavement
	Existing Wetland
	Wetland Buffer
	Parking Count

SITE DATA TABLE

Total Site Area	17.18 Ac.
Buildings	
Garage Unit	175 Units
Community Building	14,000 SF
Parking Required	
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Community Building (1 Space Per Every 200 S.F.)	70 Spaces
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Interior Landscape Required	9%
Interior Landscape Required	8%

PROJECT DESCRIPTION

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The required stormwater management for this project will be provided by the proposed detention basin and underground detention. Final calculations will be submitted with the final engineering process.

SANITARY AND WATER SERVICE

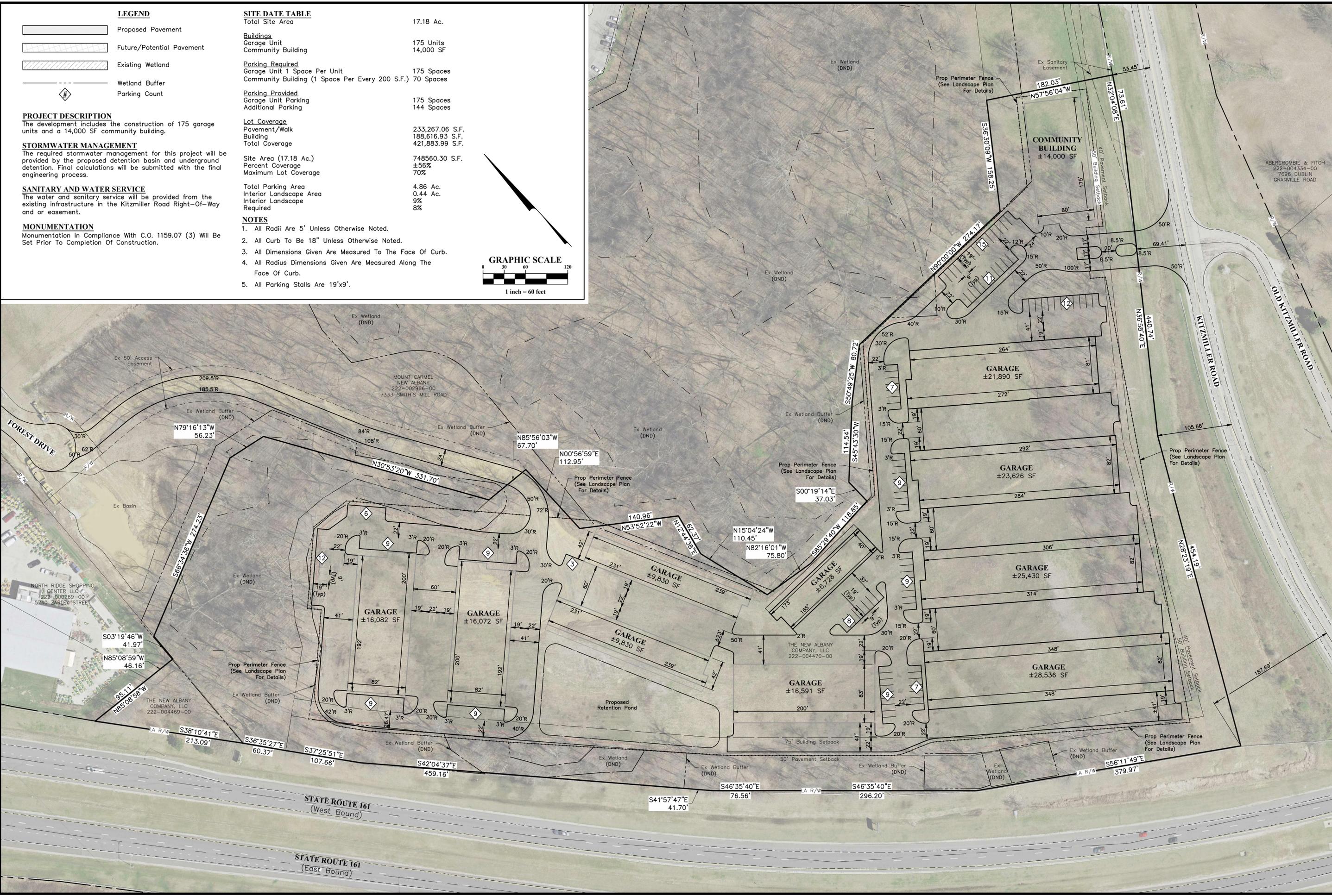
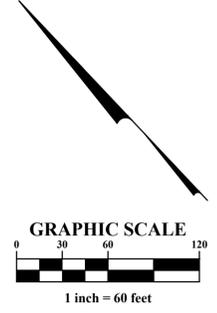
The water and sanitary service will be provided from the existing infrastructure in the Kitzmiller Road Right-Of-Way and or easement.

MONUMENTATION

Monumentation in Compliance With C.O. 1159.07 (3) Will Be Set Prior To Completion Of Construction.

NOTES

1. All Radii Are 5' Unless Otherwise Noted.
2. All Curb To Be 18" Unless Otherwise Noted.
3. All Dimensions Given Are Measured To The Face Of Curb.
4. All Radius Dimensions Given Are Measured Along The Face Of Curb.
5. All Parking Stalls Are 19'x9'.



REVISIONS

MARK	DATE	DESCRIPTION

THE MOTOR ENCLAVE
NEW ALBANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
FOR
THE MOTOR ENCLAVE
NEW ALBANY
SITE PLAN

EMHT
Engineers • Surveyors • Planners • Scientists
500 New Albany Road, Columbus, OH 43264
Phone: 614.757.5000 Fax: 614.757.5001
emht.com

DATE
June 3, 2020

SCALE
1" = 60'

JOB NO.
20200435

SHEET
1/1

LANDSCAPE CALCULATIONS:

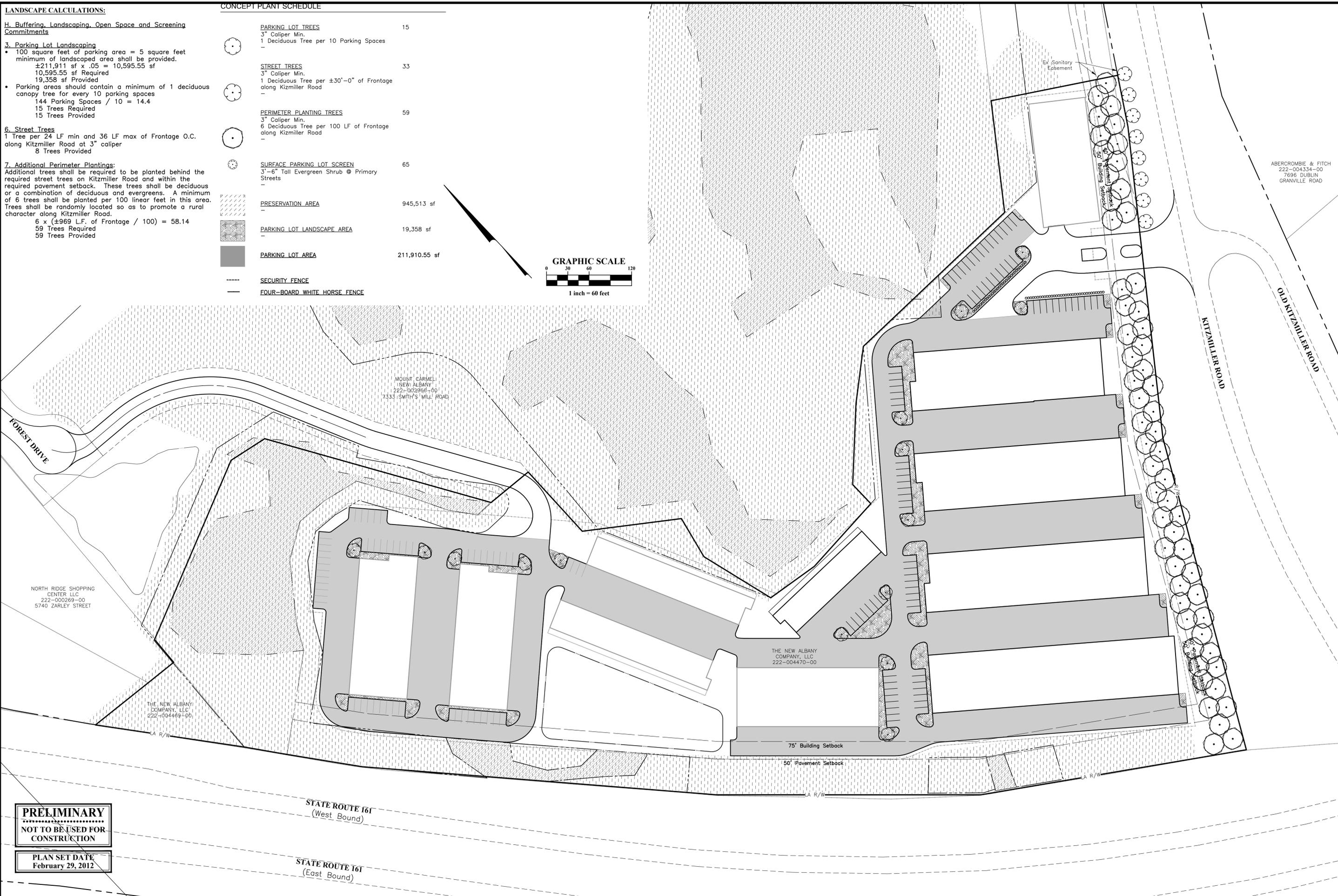
H. Buffering, Landscaping, Open Space and Screening Commitments

- 3. Parking Lot Landscaping**
- 100 square feet of parking area = 5 square feet minimum of landscaped area shall be provided.
 - $\pm 211,911 \text{ sf} \times .05 = 10,595.55 \text{ sf}$
 - 10,595.55 sf Required
 - 19,358 sf Provided
 - Parking areas should contain a minimum of 1 deciduous canopy tree for every 10 parking spaces
 - 144 Parking Spaces / 10 = 14.4
 - 15 Trees Required
 - 15 Trees Provided

- 6. Street Trees**
- 1 Tree per 24 LF min and 36 LF max of Frontage O.C. along Kitzmiller Road at 3" caliper
 - 8 Trees Provided

- 7. Additional Perimeter Plantings:**
- Additional trees shall be required to be planted behind the required street trees on Kitzmiller Road and within the required pavement setback. These trees shall be deciduous or a combination of deciduous and evergreens. A minimum of 6 trees shall be planted per 100 linear feet in this area. Trees shall be randomly located so as to promote a rural character along Kitzmiller Road.
- $6 \times (\pm 969 \text{ L.F. of Frontage} / 100) = 58.14$
 - 59 Trees Required
 - 59 Trees Provided

CONCEPT PLANT SCHEDULE	
	PARKING LOT TREES 15 3" Caliper Min. 1 Deciduous Tree per 10 Parking Spaces
	STREET TREES 33 3" Caliper Min. 1 Deciduous Tree per $\pm 30'-0"$ of Frontage along Kitzmiller Road
	PERIMETER PLANTING TREES 59 3" Caliper Min. 6 Deciduous Tree per 100 LF of Frontage along Kitzmiller Road
	SURFACE PARKING LOT SCREEN 65 3'-6" Tall Evergreen Shrub @ Primary Streets
	PRESERVATION AREA 945,513 sf
	PARKING LOT LANDSCAPE AREA 19,358 sf
	PARKING LOT AREA 211,910.55 sf
	SECURITY FENCE
	FOUR-BOARD WHITE HORSE FENCE



PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
PLAN SET DATE
February 29, 2012

MARK	DATE	DESCRIPTION

THE MOTOR ENCLAVE
NEW ALBANY

CITY OF NEW ALBANY, FRANKLIN COUNTY, OHIO
PRELIMINARY DEVELOPMENT PLAN
FOR
THE MOTOR ENCLAVE
NEW ALBANY
LANDSCAPE BUFFER PLAN



DATE
May 18, 2020

SCALE
1" = 60'

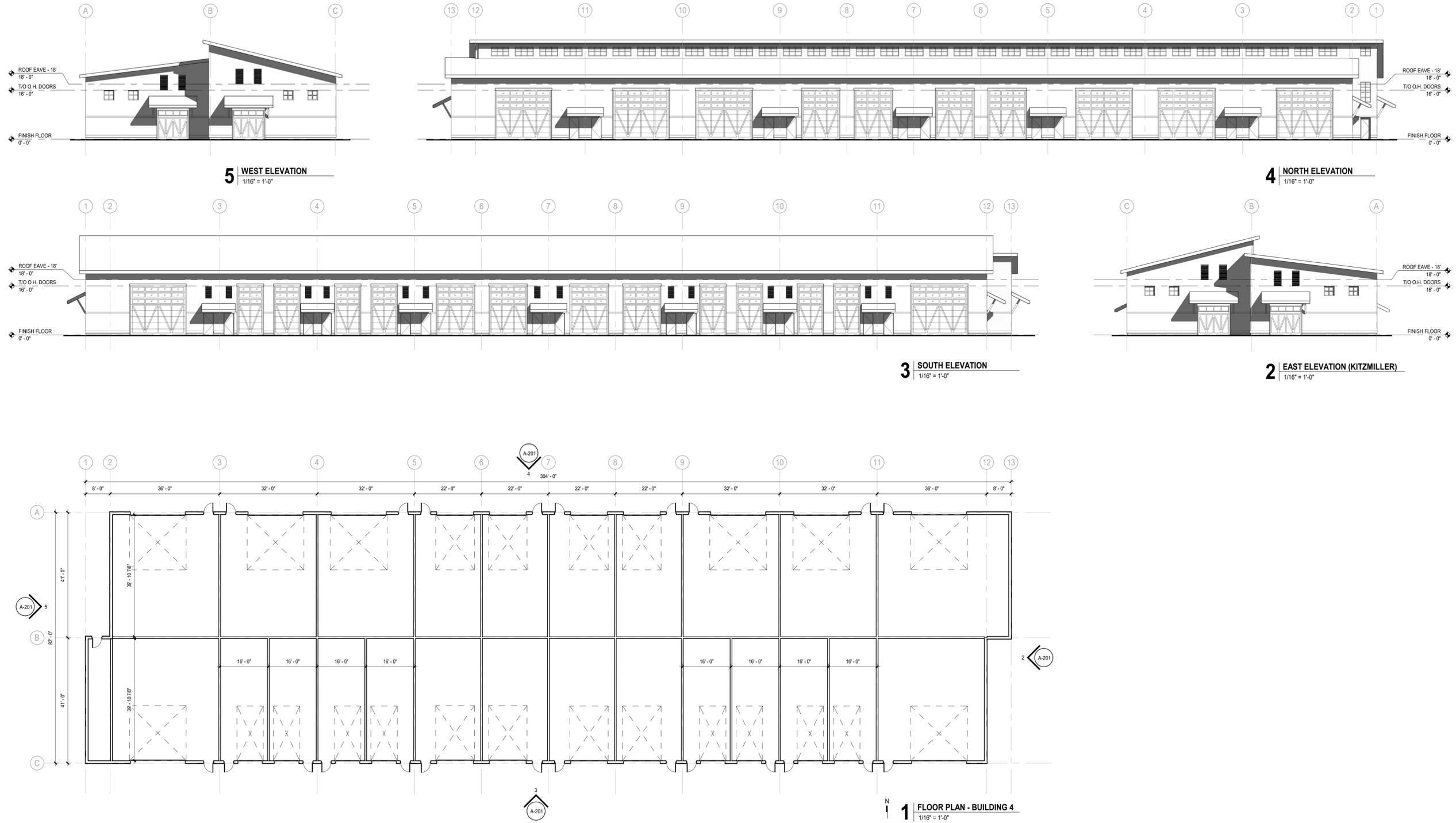
JOB NO.
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SHEET
3/3

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CONSULTANT

DATE	ISSUED FOR
06/05/2020	OWNER REVIEW

ISSUED FOR
OWNER REVIEW

OWNER
BRAD OLESHANSKY

PROJECT
THE MOTOR ENCLAVE
ADDRESS
NEW ALBANY, OH

SHEET
BLDG 4 - EXTERIOR
ELEVATIONS

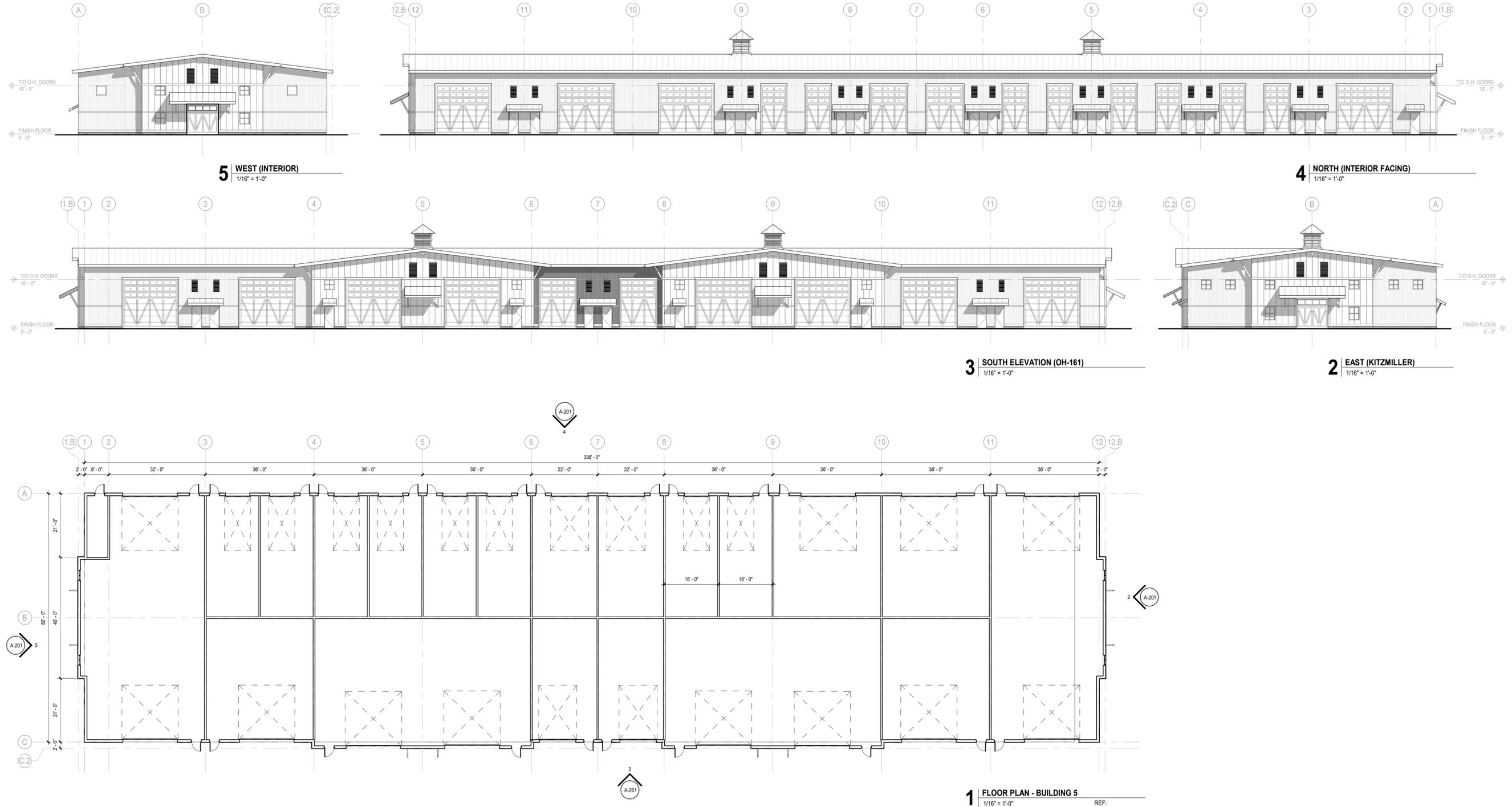
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CONSULTANT

OWNER

DATE

ISSUED

OWNER REVIEW

OWNER
BRAD OLEHANSKY

PROJECT
THE MOTOR ENCLAVE

SHEET
BLDG 5 - EXTERIOR
ELEVATIONS

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