



BOARD OF ZONING ADJUSTMENT APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services
757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

OFFICE USE ONLY

Application Number: 12310-0-00199
Date Received: 4/13/12
Commission/Group: Clintonville
Existing Zoning: R-3 Application Accepted by: D. Reim Fee: \$315.00
Comments: 6/26/12

TYPE(S) OF ACTION REQUESTED

(Check all that apply)

☒ Variance ☐ Special Permit

Indicate what the proposal is and list applicable code sections. State what it is you are requesting.

Proposal is to construct a new detached garage on the site of the original structure, which was demolished by the previous owner. The roof height of the chosen design is 21'10", which exceeds the maximum height of 15' as deined in Section 3332.38. A variance is being requested to allow for the additional height.

LOCATION

1. Certified Address Number and Street Name 247 Glenmont Avenue
City Columbus State Ohio Zip 43214
Parcel Number (only one required) 010-072030-00

APPLICANT: (IF DIFFERENT FROM OWNER)

Name _____
Address _____ City/State _____ Zip _____
Phone # _____ Fax # _____ Email _____

PROPERTY OWNER(S):

Name Donald R. and Stacey M. Powers
Address 247 Glenmont Avenue City/State Columbus, OH Zip 43214
Phone # 614-268-1392 Fax # _____ Email dpowers0527@yahoo.com
☐ Check here if listing additional property owners on a separate page.

ATTORNEY / AGENT (CHECK ONE IF APPLICABLE)

☐ Attorney ☐ Agent

Name _____
Address _____ City/State _____ Zip _____
Phone # _____ Fax # _____ Email: _____

SIGNATURES (ALL SIGNATURES MUST BE PROVIDED AND SIGNED IN BLUE INK)

APPLICANT SIGNATURE _____
PROPERTY OWNER SIGNATURE [Signature] Stacey M. Powers 4/9/12
ATTORNEY / AGENT SIGNATURE _____

PLEASE NOTE: incomplete information will result in the rejection of this submittal.
For all questions regarding this form and fees please call: 614-645-4522
Please make all checks payable to the Columbus City Treasurer



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AFFIDAVIT

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (1) NAME Donald Powers

of (1) MAILING ADDRESS 247 Glenmont Avenue, Columbus, OH 43214

deposed and states that (he/she) is the applicant, agent, or duly authorized attorney for same and the following is a list of the name(s) and mailing address(es) of all the owners of record of the property located at

(2) per ADDRESS CARD FOR PROPERTY

for which the application for a rezoning, variance, special permit or graphics plan was filed with the Department of Building and Zoning Services, on (3) _____

(THIS LINE TO BE FILLED OUT BY CITY STAFF)

SUBJECT PROPERTY OWNERS NAME

(4) Donald R. and Stacey M. Powers

AND MAILING ADDRESS

247 Glenmont Avenue

Columbus, OH 43214

APPLICANT'S NAME AND PHONE #
(same as listed on front of application)

Donald R. and Stacey M. Powers

(614)268-1392

AREA COMMISSION OR CIVIC GROUP
AREA COMMISSION ZONING CHAIR OR
CONTACT PERSON AND ADDRESS

(5) Clintonville Area Commission

Nick Cipiti

4040 N. High St. Apt 37 Columbus, OH 43214

and that the following is a list of the names and complete mailing addresses, including zip codes, as shown on the County Auditor's Current Tax List or the County Treasurer's Mailing List, of all the owners of record of property within 125 feet of the exterior boundaries of the property for which the application was filed, and all of the owners of any property within 125 feet of the applicant's or owner's property in the event the applicant or the property owner owns the property contiguous to the subject property:

(6) PROPERTY OWNER(S) NAME (6A) ADDRESS OF PROPERTY (6B) PROPERTY OWNER(S) MAILING ADDRESS

See attached.

☒ (7) Check here if listing additional property owners on a separate page.

SIGNATURE OF AFFIANT

(8) [Signature]

Subscribed to me in my presence and before me this 6 day of APRIL, in the year 2012.

SIGNATURE OF NOTARY

VINU PATEL

(Notary Public)

My Commission Expires:

Nov 4 2015

Notary Seal Here



In and For the State of Ohio

My Commission Expires Nov 4, 2015

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Thomas and Christine Ball
200 Blenheim Road
Columbus, OH 43214

Brice and Stephanie Bunner
221 Glenmont Avenue
Columbus, OH 43214

Shari L. Coressel
241 Glenmont Avenue
Columbus, OH 43214

Robert H. Katz
233 Glenmont Avenue
Columbus, OH 43214

Nicholas and Leydiana Tomashot
232 Glenmont Avenue
Columbus, OH 43214

John A. and Madolyn H. Cook
259 Glenmont Avenue
Columbus, OH 43214

Elise Von Borries
3996 Foster Street
Columbus, OH 43214

Galen M. and Debra K. Martin
267 Glenmont Avenue
Columbus, OH 43214

Vanon K. and Melinda S. Sonnett
240 Glenmont Avenue
Columbus, OH 43214

Ectore A. and Heather A. Tranquillo
246 Glenmont Avenue
Columbus, OH 43214

David M. Wilson
194 Blenheim Road
Columbus, OH 43214

Keith C. Gengras and Eve M. Hathaway
200 Blenheim Road
Columbus, OH 43214

Donald T. and Diane D. Hayford
204 Blenheim Road
Columbus, OH 43214

Jay Martin and Anne Comarda
214 Blenheim Road
Columbus, OH 43214

Michael G. and Marian L. Wren
226 Blenheim Road
Columbus, OH 43214

Jack L. and Ethel I. Sharlike
232 Blenheim Road
Columbus, OH 43214

Kevin R Worrell
260 Glenmont Avenue
Columbus, OH 43214

Natalie Chorey
270 Glenmont Avenue
Columbus, OH 43214

Thomas E. Kiesel
255 Glenmont Avenue
Columbus, OH 43214



CITY OF COLUMBUS

DEPARTMENT OF BUILDING AND ZONING SERVICES

12310-00199
247 Glenmont Ave.

One Stop Shop Zoning Report Date: Mon Apr 16 2012

General Zoning Inquiries: 614-645-8637

SITE INFORMATION

Address: 247 GLENMONT AVE COLUMBUS OH 43214

Mailing Address: PO BOX 141316

COLUMBUS OH 43214

Owner: BELT GLENDAL D

Parcel Number: 010072030

ZONING INFORMATION

Zoning: ORIG, Residential, R3
effective 2/27/1928, Height District H-35

Board of Zoning Adjustment (BZA): N/A

Commercial Overlay: N/A

Graphic Commission: N/A

Area Commission: Clintonville Area Commission

Planning Overlay: N/A

Historic District: N/A

Historic Site: No

Council Variance: N/A

Flood Zone: OUT

Airport Overlay Environs: N/A

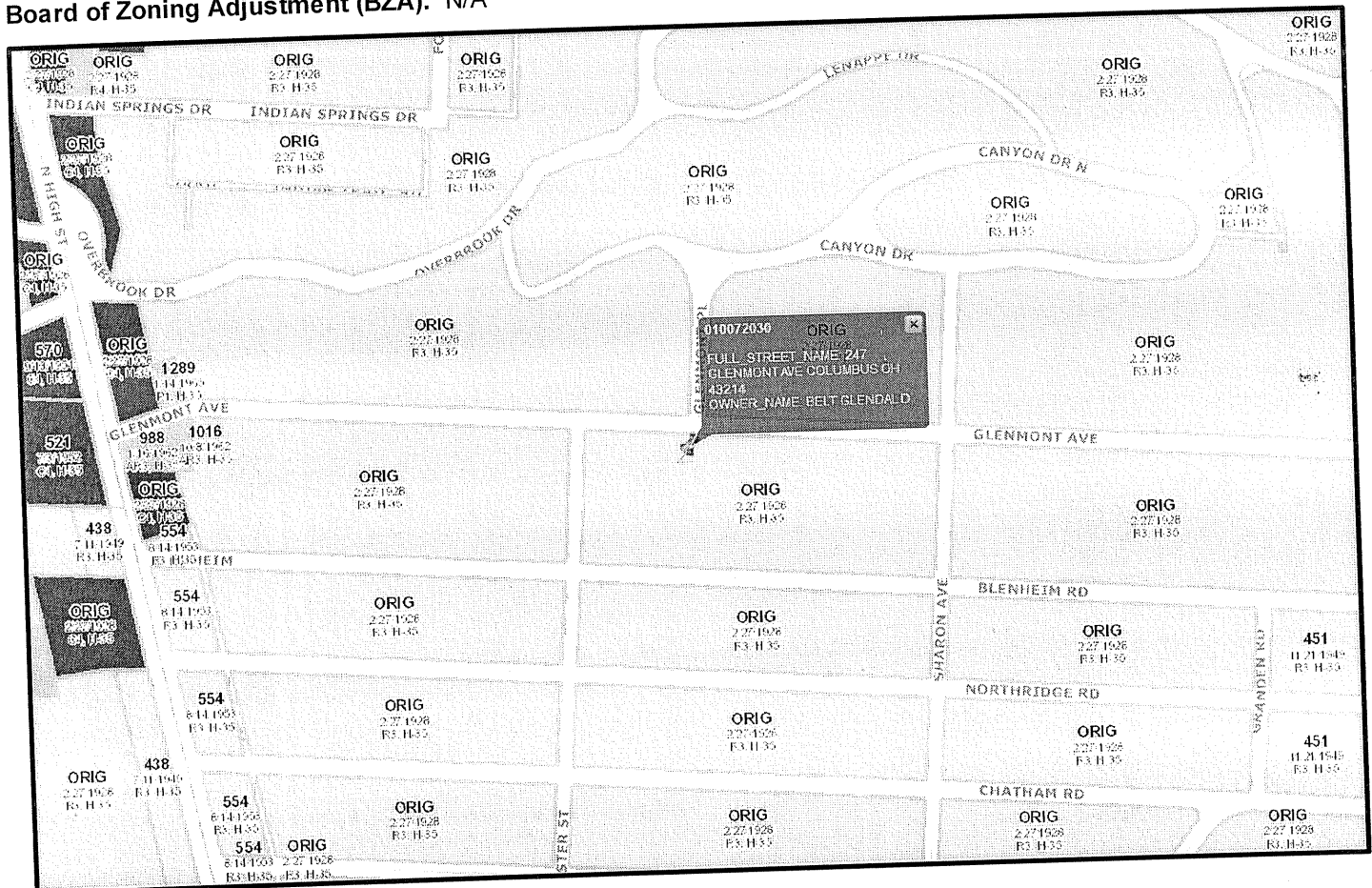
PENDING ZONING ACTION

Zoning: N/A

Board of Zoning Adjustment (BZA): N/A

Council Variance: N/A

Graphic Commission: N/A





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STATEMENT OF HARDSHIP

12310-00199

247 Glenmont Ave.

APPLICATION # _____

3307.09 Variances by Board.

- A. The Board of Zoning Adjustment shall have the power, upon application, to grant variances from the provisions and requirements of this Zoning Code (except for those under the jurisdiction of the Graphics Commission and except for use variances under the jurisdiction of the Council). No variance shall be granted unless the Board finds that all of the following facts and conditions exist:
1. That special circumstances or conditions apply to the subject property that does not apply generally to other properties in the same zoning district.
 2. That the special circumstances or conditions are not the result of the actions of the property owner or applicant.
 3. That the special circumstances or conditions make it necessary that a variance be granted to preserve a substantial property right of the applicant which is possessed by owners of other property in the same zoning district.
 4. That the grant of a variance will not be injurious to neighboring properties and will not be contrary to the public interest or the intent and purpose of this Zoning Code.
- B. In granting a variance, the Board may impose such requirements and conditions regarding the location, character, and other features of the proposed uses or structures as the Board deems necessary to carry out the intent and purpose of this Zoning Code and to otherwise safeguard the public safety and welfare.
- C. Nothing in this section shall be construed as authorizing the Board to affect changes in the Zoning Map or to add to the uses permitted in any district.

I have read Section 3307.09, Variances by Board, and believe my application for relief from the requirements of the Zoning Code satisfies the four criteria for a variance in the following ways:

No garage is currently present on the property as the original garage was demolished by the previous owner.

A new garage is to be constructed to replace the original structure. The design chosen features a roof pitch that complements the architectural design of the existing home, the neighboring home adjacent to the driveway, and the neighborhood in general. In order to accommodate the desired roof pitch, the overall height of the garage will exceed the 15' requirement defined in Section 3332.38.

Signature of Applicant

Stacey M. Powers Date 4-6-2012

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MORTGAGE LOCATION SURVEY

018412

TITLE COMPANY: NORTHWEST SELECT TITLE AGENCY

LENDER: WELLS FARGO BANK, N.A.

BUYER: DONALD R. AND STACEY M. POWERS

SELLER: JOYCE ALICE MCCABE, EXECUTOR

DATE: 03/05/12

ORDER NO.: 0184-12

LEGAL DESCRIPTION: BEING PART OF LOTS 33 AND 34 OF GLENMONT, OF RECORD IN PLAT BOOK 8, PAGE 18-B, FRANKLIN COUNTY RECORDER'S OFFICE, CITY OF COLUMBUS, STATE OF OHIO.

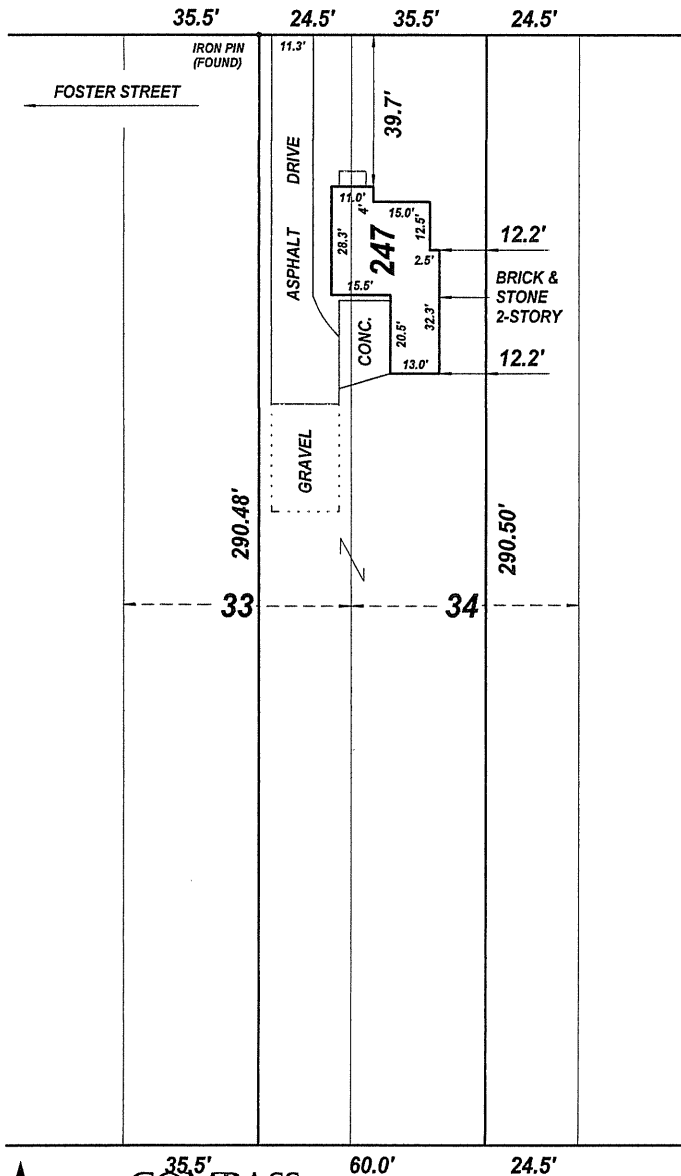
PARCEL NO. 010-072030-00

TITLE CO. FILE NO. NWS-5581



APPARENT ENCROACHMENTS: NONE.

GLENMONT AVENUE (60')



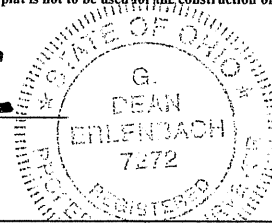
**COMPASS
SURVEYING
SOLUTIONS**

P.O. Box 1902
Westerville, Ohio 43086-1902
Phone: (614)378-9140
Fax: (614)891-5889
CompassSurveying@yahoo.com

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code and is not a boundary survey pursuant to Chapter 4733-37 Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and does not show the location of fences or landscaping. This plat is not to be used for the construction of any improvements.

By

G. Dean Erlenbach
Ohio Registered Surveyor No. 7272



MORTGAGE LOCATION SURVEY

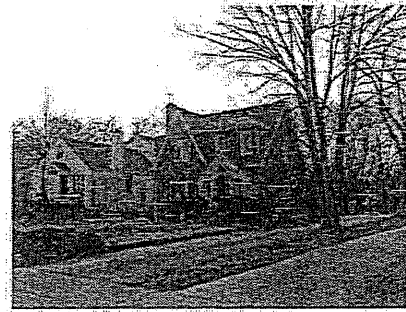
018412

TITLE COMPANY: NORTHWEST SELECT TITLE AGENCY
LENDER: WELLS FARGO BANK, N.A.
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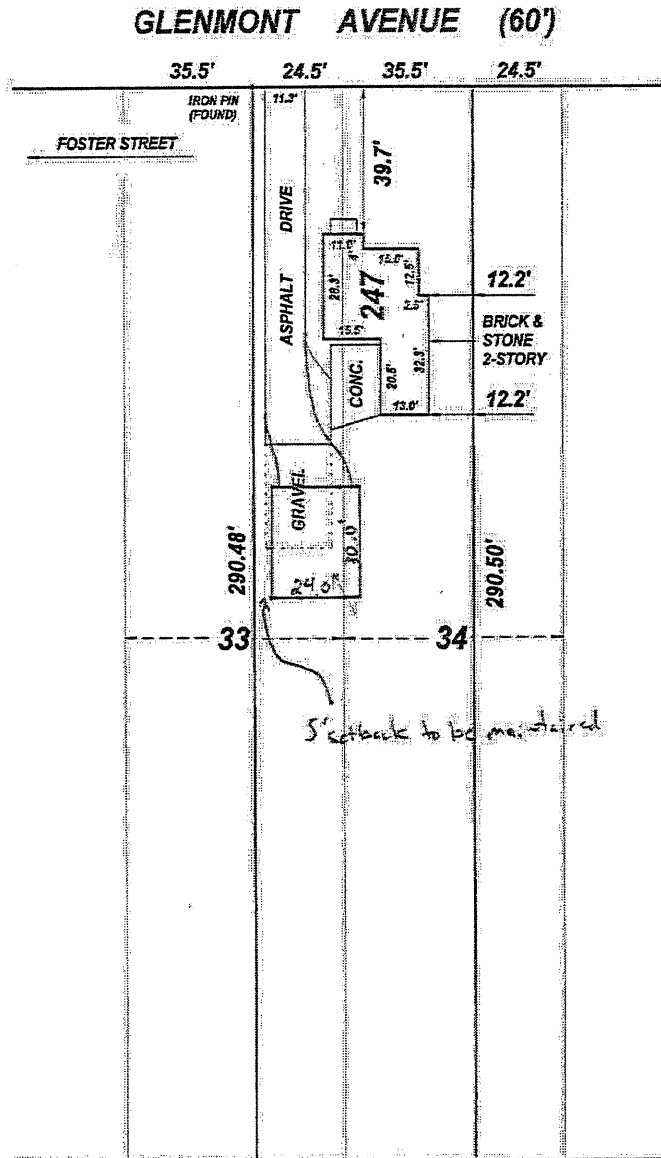
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PARCEL NO. 010-072030-00

TITLE CO. FILE NO. NWS-5581



APPARENT ENCROACHMENTS: NONE



SCALE: 1" = 40'



12310-00199

247 Glenmont Ave.



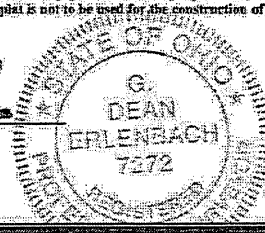
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247 Glenmont Ave

Building Materials List for Behm Design Plan # 1224-1
www.behmdesign.net 1-800-210-6776
- Local building code approved substitutions may be made to this list -
Variations in construction methods and materials can require modification
of this list. Every attempt is made for greatest accuracy, but typographical
or human error is possible. Quantities verification by the materials supplier
is recommended before materials package is finalized and/or shipped.

Concrete & Reinforcements For Monolithic Slab/Footing
Poured-in-place concrete — 15.5 (min) cy
#4 Reinforcing Steel Bar ASTM A-615 grade 40 — 410 # 21' - 20' pcs.
W/6 x 6 - w/1.4 x 1.4 wire mesh — 811 sf 203 #/ 4' roll

Concrete & Reinforcements For Stemwall/Footing Foundation
Poured-in-place concrete — 15 (min) cy
#4 Reinforcing Steel Bar ASTM A-615 grade 40 — 686 # 35' - 20' pcs.
W/6 x 6 - w/1.4 x 1.4 wire mesh — 731 sf 183 #/ 4' roll

Rough Framing
2 x 4 x 92'-1/2" HFDF exterior "stud" wall framing — 105 pcs.
2 x 4 HFDF No. 2 wall top plate material — 232 lf
2 x 4 x 144" HFDF No. 2 bokouts material — 12 pcs.
2 x 4 HFDF No. 2 pressure-treated bottom plate — 116 lf
3'-1/2 x 11'-1/4 LVL Header 2950Fb 2.0E — 11'-6 1/2" length — 2 pcs.
2 x 6 DF No. 1 Header — 8' length — 3 pcs.
2 x 4 x 22'-1/2" Roof Eave Blocking with screened vent holes — 22 pcs.
3/4" T&G APA plywood ext. glue for attic floor — 4 x 8 sheets — 14 shks.
2 x 12 HFDF No. 2 stair stringer — 16' length — 4 pcs.
1 x 11.5 o.s.b. BN stair tread material 8' length — 6 pcs.
2 x 4 x 96" HFDF No. 2 landing joist material — 4 pcs.
Trusses: 12 in 12 slope, 24' span; (2) end, (14) attic-strig,
(1) double (girder) truss (see planset)

Sheathing Materials
7/16" o.s.b. wall sheathing — 4 x 8 sheet — 40 sheets
1/8" 3/2" Roof 5-ply C-D APA Plywood, ext. glue P.I. 24/0 — 4 x 8 sheet — 50 sheets

Vapor Barrier
Roof 15# bituminous felt paper in 36" wide roll — 550 lf
Wall 7# bituminous felt paper in 40" wide roll — 400 lf
Floor .006" black polyethylene membrane — 856 sf

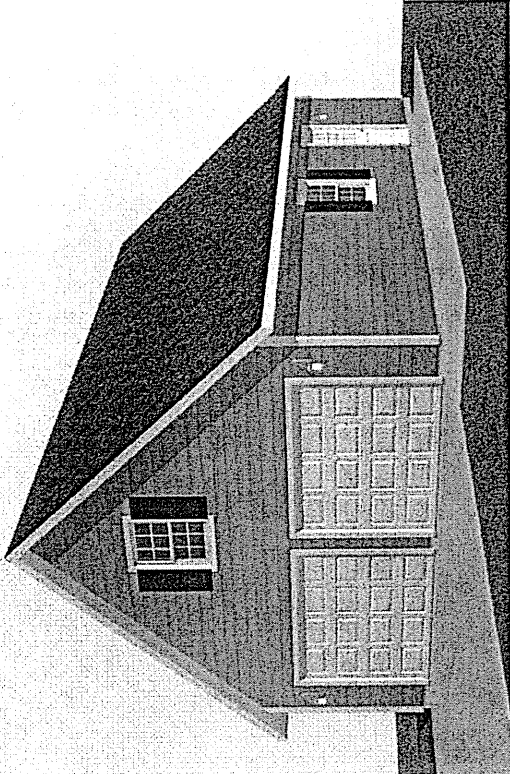
Siding Materials
8" textured o.s.b.siding boards with 1" lap — 1046 sf siding area
[alternates] 7/16" o.s.b. text. for 5/8" T1-11 plyw/ 4 x 8 sheet 40 sheets
Trim: 5/4 x 4 — 8' length 4 pcs.
Trim: 5/4 x 4 — 8' length 15 pcs.
Trim: 5/4 x 4 — 9' length 4 pcs.
Trim: 5/4 x 4 — 10' length 2 pcs.
Fascia: 1 x 6 — 72 lf
Rakeboard: 2 x 6 — 20' length 4 pcs.

Roofing Materials
Composition Roofing Shingles — 1373 sf roof area
Ridge/vent material — 34 lf

Window and Door Assemblies
3040 single-hung window(s) — 4 ea.
9'-0" x 7'-0" sectional garage door — 2 ea.
3068 exterior door — 1 ea.

Metal Parts & Misc.
Anchor bolts: 1/2" dia. x 10" ASTM A-307/A-328 type X w/ hex nut. 21 pcs.
Flat washer for 1/2" dia.; 2" square x 3/16" thick stl. pl. — 21 pcs.
Anchor bolts: 5/8" dia. x 14" ASTM A-307/A-328 type X w/ hex nut. 2 pcs.
Flat washer for 5/8" dia.; 2" square x 3/16" thick stl. pl. — 2 pcs.
Simpson H10 connectors — 30 pcs.
Simpson STHD8 hold-down straps — 2 pcs.
Simpson STHD14 hold-down straps — 2 pcs.
Simpson MST24 nailing strap — 2 pcs.
Simpson S72122 nailing strap — 2 pcs.
16d sinker nails — 50 lbs.
8d common nails @ 145 nails / lb. — 33 lf
Drip flashing for window/door heads — 33 lf

- To advise corrections, call 1-800-210-6776 Thank you--
(note: electrical components and finishing materials not included in this list)



GARAGE PLAN #1224-1

Building Code Compliance

This plan set was prepared to comply with the requirements of the 2009 International Residential Code (IRC)

Occupancy Classification: "U"
Grade-To-Ridge Height: 21'-10"
Floor Area: 780 sq. ft.
Attic Area: 360 sq. ft.

Gross Building Area: 1,080 sq. ft.

CONVENTIONAL LIGHT WOOD FRAME CONSTRUCTION

Parameters For Design

Wind Speed: 100 mph

Wind Exposure: "B"

Seismic Category: A, B and C

Snow Load: 30# / sq. ft.

Truss Requirements

- 2303.4.1 Truss design drawings. Truss evaluation documents shall be prepared by a registered design professional and shall be provided to the building official and the building department for review and approval. The documents shall include, at a minimum, the information specified below. Truss design drawings shall be provided with the department of trusses delivered to the job site.
1. Slope or depth, area and spacing.
 2. Location of joints.
 3. Required bearing width.
 4. Design loads as applicable.
 5. Top chord live load (including snow loads).
 6. Top chord dead load.
 7. Bottom chord live load.
 8. Bottom chord dead load.
 9. Concentrated loads and their points of application.
 10. Connecting wind and earthquake loads.
 11. Adjustments to member and wood connection plate design values.
 12. Each reaction force and direction.
 13. Metal connector plate type, size, thickness, spacing, and the dimensioned location of each metal connector plate except where symmetrically located.
 14. Lumber size, species and grade for each member.
 15. Connection dimensions for:
 - 15.1. Truss to wall girders.
 - 15.2. Truss to purlin.
 - 15.3. Field splice.
 16. Calculated deflection ratio or maximum deflection for live and total loads.
 17. Maximum axial compression forces in the truss members and the location of the maximum forces. The change of the permanent continuous lateral bracing. Forces shall be shown on the same construction documents or on supplemental documents, and.
 18. Required permanent truss bracing location.

Building Categories and Data

Occupancy Classification: "U"

Grade-To-Ridge Height: 21'-10"

Floor Area: 780 sq. ft.
Attic Area: 360 sq. ft.

Gross Building Area: 1,080 sq. ft.

CONVENTIONAL LIGHT WOOD FRAME CONSTRUCTION

12310-00199
247 Glenmont Ave.

SHEET
1
OF
7

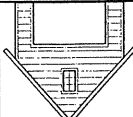
Project Data
Pictorial View Of Design
Building Materials List

DESIGN BY:
JB
DATE:
updated
04/11

PLAN NO.
1224-1

QUESTIONS?..CALL
1-800-210-6776
www.behmdesign.com

Behm
Design
Building
Plans



247 Glenmont Ave

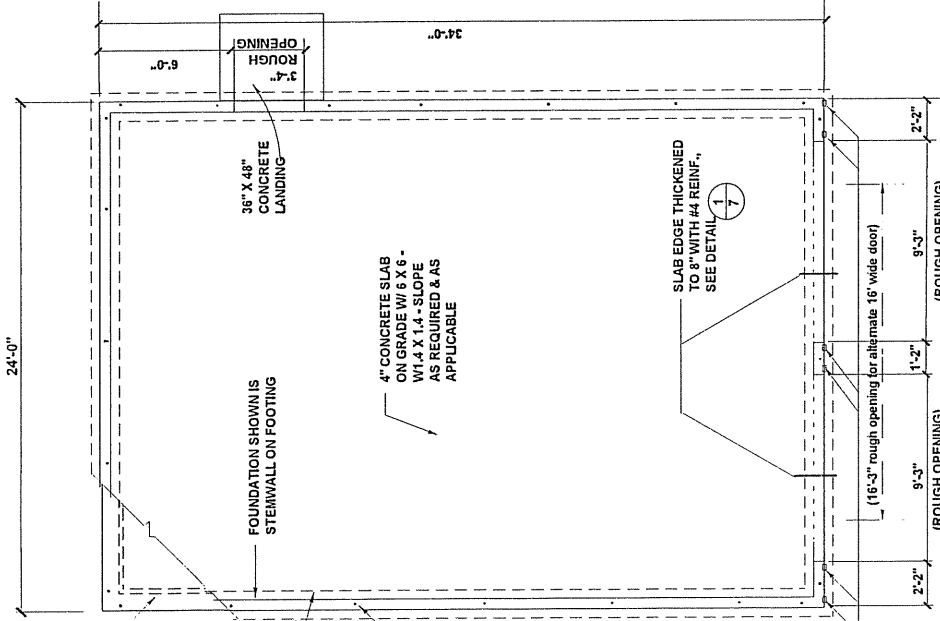
SHEET 2 OF 7	SHEET CONTENTS: FLOOR PLAN FOUNDATION PLAN AND ALTERNATE DETAILS			DESIGN BY: JB DATE: updated 04/11	PLAN NO. 1224-1	QUESTIONS?...CALL 1-800-210-6776 www.behmdesign.com	Behm Design Building Plans

ALTERNATE FOUNDATION
SHOWN IN THIS CORNER
IS MONOLITHIC-POURED,
THICKENED EDGE SLAB/
FOOTING. VERIFY IF IT IS
LOCALLY ACCEPTABLE.
SEE DETAIL

1

2
LINES OF CONTINUOUS
CONCRETE FOUNDATION
BELOW - SEE DETAIL

3
NOTE:
PROVIDE 1/2" DIA. X
10" ANCHOR BOLTS W/
7" EMBEDMENT @ MAX.
6 FT. O.C. SPACING AND
MIN. 12" FROM WALL
ENDS AND CORNERS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

1/2" DIA. X 10" ANCHOR BOLTS
@ MAX. 6 FT. O.C. SPACING
W/ 2" SQ. X 3/16" THK. STL.
PL. WASHERS

TOP COURSE BOND
BEAM W/ (1) #5 CONT.

8" C.M.U. FOUNDATION
WALL W/ FILLED CELLS

#5 VERTICAL @ 4'-0" O.C.
MAX. SPACING

6" HOOK
BEARING SOIL

OPTIONAL PERFORATED FOOTING
DRAIN - SURROUND 18" W/
PEA OR WASHED GRAVEL

2
CONCRETE BLOCK FOUNDATION
WALL DETAIL

2 X 4 PRESSURE-TREATED
BOTTOM PLATE

NOTE:
COMPLY WITH LOCAL REQUIREMENT
FOR THICKENED EDGEDIMENSIONS
IF NOT AS SHOWN

4" CONCRETE SLAB
W/ 2" SQ. X 3/16" THK. WASHERS

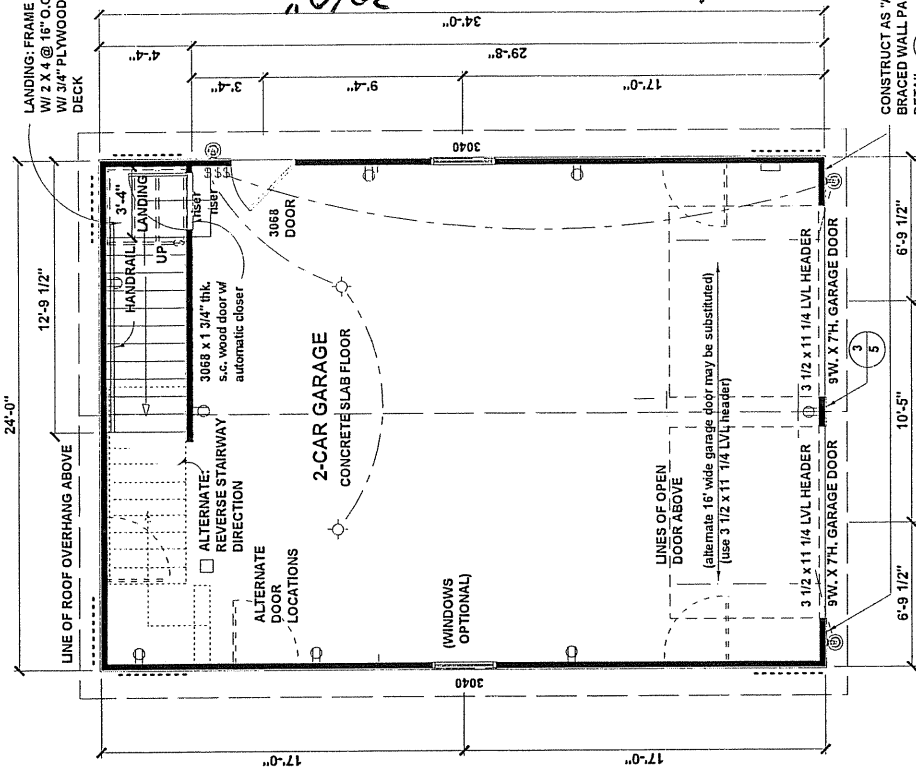
.008" POLYETHYLENE
VAPOR BARRIER

GRAVEL BASE AS REQ'D.

MONOLITHIC-POURED,
THICKENED EDGE CONCRETE
FOOTING W/ (3) #4
REINF. BARS, CONT.

OPTIONAL PERFORATED
FOOTING
DRAIN - SURROUND 18" W/
PEA PR WASHED GRAVEL

1
MONOLITH-POURED, THICKENED
EDGE FOUNDATION DETAIL



FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
FOUNDATION PLAN DIMENSIONS ARE TO
FACE OF CONCRETE OR CENTERLINE OF
BEARING, AS SHOWN

NOTE:
SEE EXTERIOR ELEVATIONS
FOR SIZES AND FUNCTION

NOTE:
DOOR AND WINDOW HEADERS
SHALL BE 2 X 6 UNLESS
OTHERWISE NOTED

BRACED WALLS AS PER IRC R602.10
AS APPLICABLE FOR LOCAL CODES
EFFECTIVE BRACED WALLS PANELS -
(SHOWING)

NOTE:
FLOOR PLAN DIMENSIONS ARE TO FACE
OF FRAMING OR CENTERLINE OF BEARING,
TYP. AS SHOWN

LEGEND

- § SWITCH LOCATION
- CEILING MOUNTED LIGHT FIXTURE
- 110 VOLT DUPLEX OUTLET
- ⊞ EXTERIOR WALL-MTD. LIGHT FIXTURE
- ELECTRIC PANEL OR SUB-PANEL LOCATION, INSTALL PER LOCAL CODES

(MAXIMUM ALLOWABLE = 35)
DEPTH DIMENSION MAY BE REDUCED AS INDICATED WHERE SHOWN.
MATERIALS LIST QUANTITIES WILL REQUIRE REVISION AS APPLICABLE.

**Behm
Design
Building
plans**

PLAN NO. 1224-1

DESIGN BY:	JB
DATE:	03/08

SHEET CONTENTS:

SHEET 4 OF 7

Diagram illustrating the rear wall framing elevation. The structure shows the end truss with height reduced for 2 x 4 framing over. The roofline is supported by 2 x 4 lookouts @ 24" o.c. The main wall structure is supported by 2 x 4 lookouts/ladder framing @ 24" o.c. The wall is framed to receive a 3040 single hung attic window. The diagram includes a section line 1-2 and a dimension of 1'-0" for the window height.

$\frac{4}{5}$

 $\frac{4}{5}$

REAR WALL FRAMING ELEVATION

2 INTERIOR GUARDRAIL DETAIL

Diagram illustrating the components and dimensions of a guardrail assembly:

- 2 X 4 CAP**: The top horizontal rail.
- 2 X 4 FRAMING @ 16" MAX. O.C.**: The vertical framing members.
- 2 X 4 PLATE**: The horizontal base plate.
- NAIL (2) 16d/ SPACE**: The fasteners securing the plate to the framing.
- FLOOR PLYWOOD**: The base material the guardrail is attached to.
- TRUSS BOTTOM CHORD**: The structural member of the roof truss.
- GUARDRAIL HEIGHT**: The vertical distance from the floor to the top of the cap, dimensioned as **3'-6"**.

**NOTE: WALL BLOCKING IS REQUIRED
AT SHEATHING PANEL
JOINTS BETWEEN STUDS -
IN BRACED WALL AREAS ONLY,
SEE FLOOR PLAN FOR LOCATIONS**

RIGHT SIDE WALL FRAMING ELEVATION

① RIDGE VENT DETAIL

Diagram illustrating the correct installation of a ridge cap. The ridge cap is placed over the ridge of the roof, with the corrugated plastic folded over the ridge. The diagram labels the ridge cap roofing material, the sheathing, the top of the roof framing, and the ridge of the roof. A note indicates that the ridge cap should be 1 inch to 1 1/2 inches wide for free air passage.

RIDGEVENT. CONT.

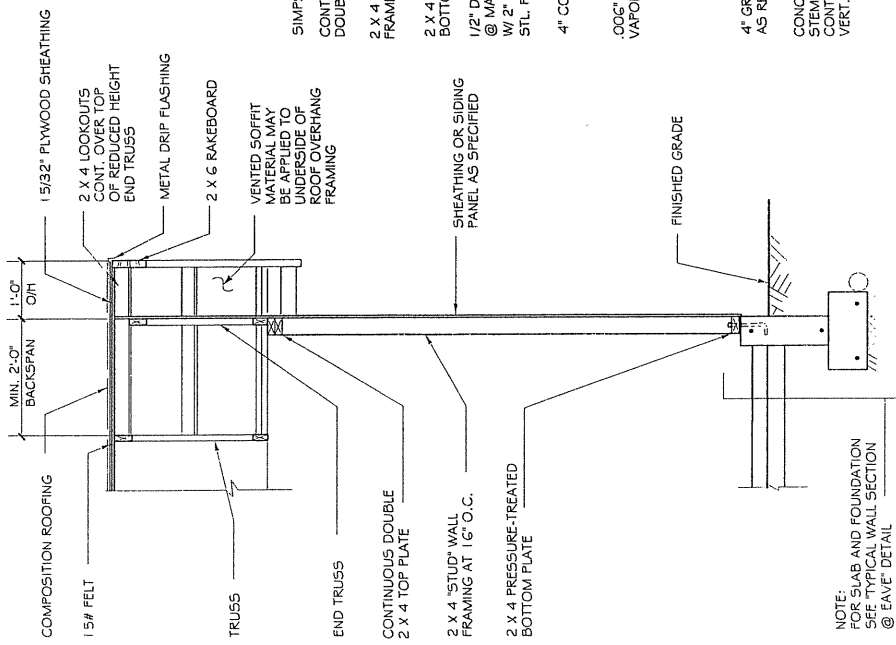
RIGHT SIDE ELEVATION (LEFT SIMILAR)

SCALE: 1/4" = 1'-0"

REAR ELEVATION

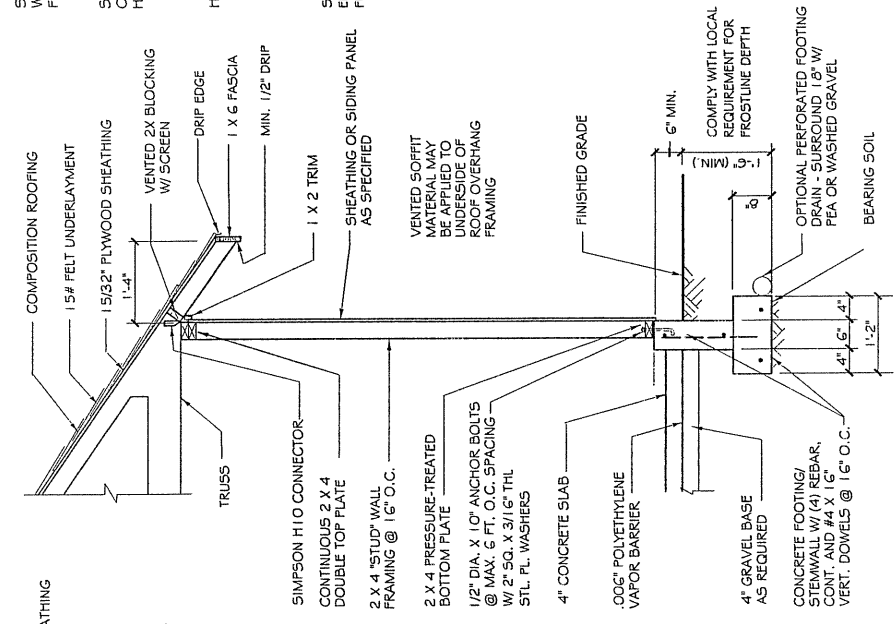
SCALE: 1/4" = 1'-0"

247 Glenmont Ave

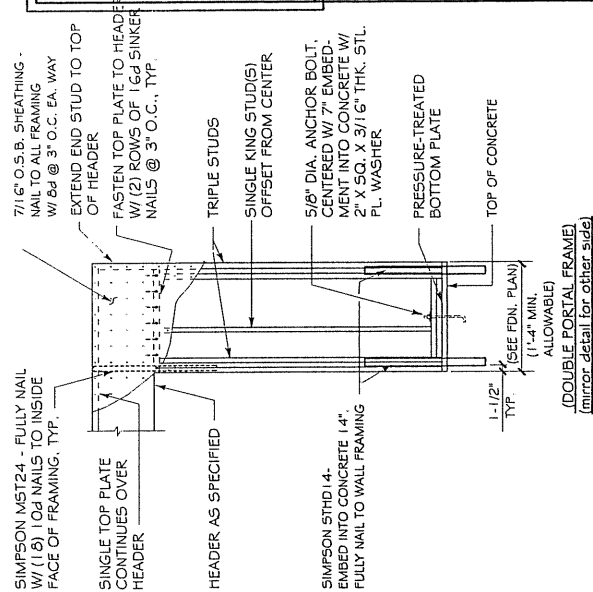


6 TYPICAL WALL SECTION AT GABLE

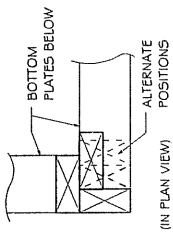
NOTE:
FOR 5/16" AND FOUNDATION
SEE TYPICAL WALL SECTION
@ EAVE DETAIL



5 TYPICAL WALL SECTION AT EAVE

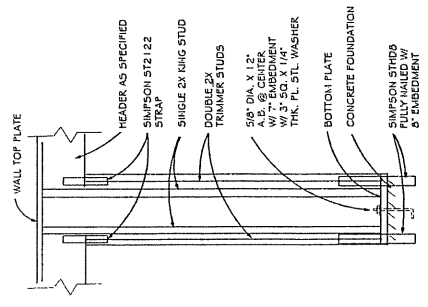


4 ALTERNATE BRACED WALL PANEL DETAIL

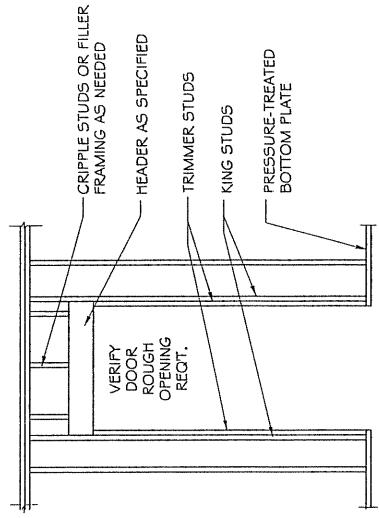


STUDS @ CORNER

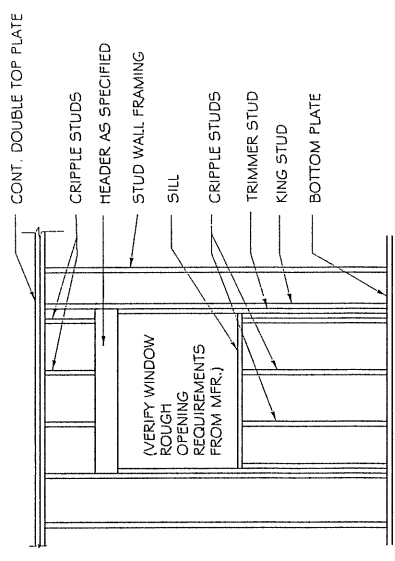
STHD HOLDDOWNS



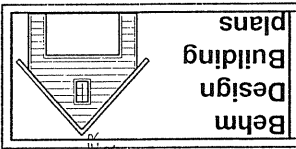
3 GARAGE DOOR SEPARATOR DETAIL



2 DOOR OPENING DETAIL



1 WINDOW OPENING DETAIL



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PLAN NO.	1224-1
DESIGN BY:	JB
DATE:	03/06

SHEET CONTENTS:	WALL FRAMING DETAILS ALTERNATE BRACED WALL PANEL DET. FLASHING DETAIL (PANEL SIDING) TYPICAL WALL SECTIONS
SHEET	5
OF	7

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STRUCTURAL/GENERAL NOTES & SPECIFICATIONS

- A. General
- The following notes shall clarify and supplement the working drawings.
- B. Codes & Standards
- International Residential Code (IRC) – 2009 edition
ACI 318: ACI SP-15 / M.B.M.A Manual
(and comply with all local applicable codes as required by Building Official)
- C. Live Loads
- Roof.....30 lbs/sf
Floors.....40 lbs/sf
Stairs & Exit 100 lbs/sf
Wind100 mph
Seismic zoneA, B, C
Earth Pressure30lbs/cf equiv. fluid pressure
- D. Soil & Foundation Data
1. Soil bearing data not available. Assumed soil bearing capacity = 1500 lbs/sf.
2. Extend all footings down to undisturbed soil of the specified strength with a minimum depth of 1'-6" below adjacent grade, or as required by local building official, based on local frost line depth.
3. Center all footings on columns and walls unless specifically dimensioned otherwise.
4. Compacted fill to be well graded and granular with not more than 5% passing a 200 sieve. Place in 6-inch loose lifts and compact to 95% modified AASHTO density at optimum moisture.
- E. Cast-In-Place Concrete and Reinforcing Steel
1. Concrete of the following 28-day strength: 5 sack cement/concrete (min. 2500 psi); max. 5 gal water/sack for all structural concrete, including foundations and slabs on grade. Maximum sized aggregate ¾". Maximum slump 4". Add Master Builders Pozzolith per manufacturer's recommendations to all concrete except footings. Concrete for exterior walls to be air entrained (5% air).
2. Reinforcing steel ASTM A-615 grade 40/50. Use grade 40 for temperature steel, stirrups and dowels. Detail, fabricate and place in accordance with the latest edition of A.C.I. Manual Of Standard Practice.
3. Concrete cover on reinforcing steel (clear dimensions):
Suspended slabs.....4"
Beams & columns (to ties).....1 ½"
Non-exposed vertical faces.....1 ½"
Vertical faces exposed to earth or weather.....2"
Bottom of footings.....3"
Slabs-on-grade (from top).....1 ½"
4. Lap all field splices 24 diameters with minimum of 12". Bend outer wall footing bars 12 inches or use corner bars at all corners and wall intersections.
5. Provide min. one continuous #4 bar at top and bottom of foundation walls w/ #4 at 12" o.c. where wall height exceed two feet. Provide min. two continuous #4 bars in footings. Dowel foundation walls to footings w/ #4 x 1'-6" long @ 16" o.c. Embed 6" into footing. (No shear keys required)
6. Reinforce around wall and slab openings, with sides of 12" or greater, with two #5 bars extending 24" beyond corners on all four sides. Provide one extra #5 diagonal bar, 4'-0" long, at each corner.
7. Slabs-on-grade: Roll sub grade and moisten before pour. Saw cut crack control joints within 24 hours of pour or install Zip-Strip, with maximum of 12'-0" for 4" non-reinforced slabs and 40'-0" for reinforced slabs, (min. reinforcing: w6 x 6 - w1.4 x 1.4, supported)
8. Vibrate all concrete. Segregation of materials to be prevented. Test cylinders not required.
9. Place no fill against foundation or basement walls until floors are in place or walls have been adequately shored to resist lateral earth pressures.
- F. Masonry (as applicable)
1. Hollow masonry units: FHM-1350 (half & half c.m.u.)
Mortar type S: 1 part ¾" fine sand, 4 sand (UBC)
Grout: 2000 psi pea gravel concrete (7 sack)
2. Reinforcing steel: ASTM A-615, grade 40.
3. Place grout in lifts no greater than 4'-0" height.
4. Wall reinforcing:
.....6" walls: #4 vertical @ 48" o.c. w/ #9 wire horiz. joint reinf. @ 8" o.c.
.....8" walls: #5 vertical @ 36" o.c. w/ 3/16" dia. wire horiz. joint reinf. @ 8" o.c.
Install two bars in corners, wall intersections, wall endings and around openings. Lap all bars 20 inches and joint reinforcing, 12 inches. Use corner bars for outer bars in bond beams and at intersecting walls.
5. Anchor brick veneer to wood framed wall as detailed with 22 ga. X 7/8" x 7" galvanized corrugated wall ties @ 16" o.c. ea. With with one Simpson n20a nail.
- G. Timber and Wood Framing
1. Substitution of wood species identified herein may be as approved by local Building Official and material strength and capacities shall equal or exceed that of the species identified herein.
2. All lumber to be graded per book 16 of the West Coast Lumber Inspection Bureau:
HF/DF no. 2 for joists, rafters, light framing, plates and bracing
DF no. 1 for posts and beams
HF/DF "stud" for stud wall framing
4. Joists and rafters (lumber) shall have 2" nominal thick solid blocking at supports.
3. Comply with the latest edition of the NFPA "National Design Specification" as modified by the applicable code for all structural timber requirements.
5. Spike laminated members together w/ 10d nails @ 12" o.c., staggered. Splice laminations at supports only.
6. Provide cut washers for all bolts bearing on wood.
7. All nails shall be common wire nails.
8. Glue-laminated timbers, Douglas Fir, A.J.T.C. grading: combination 24F-V3 for simple spans; 24F-V8 for cantilevered spans. Dry conditions of use. Architectural appearance grade where exposed to view. Fabrication plant A.J.T.C. inspected/ Wrapp individual members.
9. Plywood: Roof sheathing to be 15/32" C-D in-situ plywood with exterior glue, P.I. 240 (use 5-ply for paneled mold) Nailing 8d @ 6" o.c. at panel edges and 8d @ 12" o.c. at intermediate supports. Sub-flooring to be ½" C-D-ply plywood with exterior glue, P.I. 324/16. Use TAG if no underlayment. Glue and nail with 10d @ 6" o.c. at panel edges and @ 10" at intermediate supports.
10. Pre-fabricated trussed members to be designed by applicable state licensed engineer in accordance with requirements shown in the drawings. Contractor shall verify as-framed dimensions and conditions prior to truss fabrication and coordinate as required. All engineering data shall be made available for submittal to the Building Official as required.
- H. Structural Steel
1. All steel, except tubing: ASTM A-36. Pipe: ASTM A-53, Type E or S, grade B. Tubular section: ASTM A500, grade B. All bolts: ASTM A-307/A-325, type X.
2. All fabrication, erection and detailing shall be in accordance with the latest edition of the "Manual Of Steel Construction" of the American Institute Of Steel Construction.
3. All welding by WABO certified welders in accordance with the "Welding Handbook" by the American Welding Society.
4. All welds 3/16" min. continuous fillet welds using AWS/A5, E70XX electrodes.
5. Provide washers on all bolted connections.
6. All steel not embedded in concrete or masonry shall receive one shop coat of an approved primer paint. Apply two coats of heavy asphaltic paint to all steel exposed to earth.
7. Furnish complete shop drawings prior to fabrication.
- I. Miscellaneous
1. Contractor shall verify all site conditions and dimensions in field.
2. Provide temporary bracing as required until all permanent connections and stiffening have been installed.
3. Verify size and locations of all openings in floor, roof and walls and coordinate with electrical and mechanical work.
4. Pre-fabricated items shall be handled and installed in accordance with manufacturers' recommendations. Pre-fabricated assemblies shall be coordinated with any as-built conditions by the contractor regarding dimensions, clearance and applicable building code requirements.
5. All HVAC equipment shall be determined by owner and/or contractor specific to this project and comply with all applicable codes. Performance data and distribution layout shall be provided by mechanical subcontractor. Submittals shall be coordinated by the contractor as required by the Building Official.
6. It is the intent of these drawings and specifications to comply with the requirements of the applicable Building Code and all other relevant codes and ordinances. Any discrepancies, omissions or errors shall be brought to the attention of the designer for clarification or correction before beginning the work. It is the responsibility of the general contractor to seek clarification or correction if needed.

Behm Design Building Plans

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PLAN NO.

1224-1

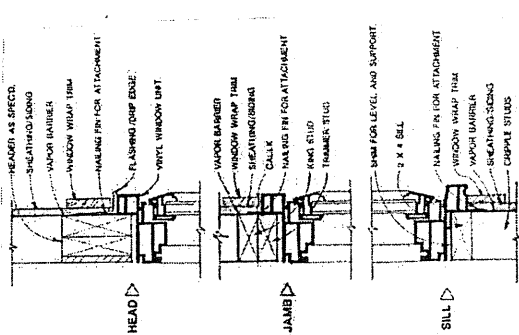
DATE:
04/11
updated

DESIGN BY:
JB

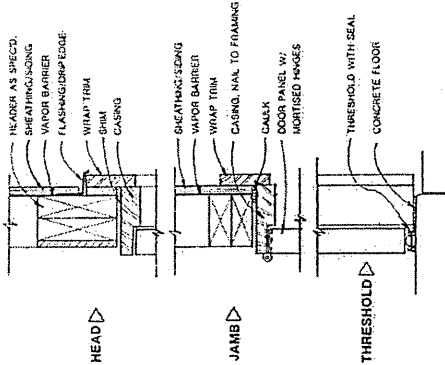
SHEET CONTENTS:
STRUCTURAL/GENERAL NOTES
WINDOW DETAILS
DOOR DETAILS

SHEET
6
OF
7

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WINDOW DETAILS
(NOT TO SCALE)



DOOR DETAILS
(NOT TO SCALE)

- FASTENING REQUIREMENTS -

	Roof	
1	Blocking between joists or rafters to top plate, toe nail	$3 \times 8 (2 \frac{1}{2}'' \times 0.135)$
2	Ceiling joists to plate, toe nail	$3 \times 8 (2 \frac{1}{2}'' \times 0.135)$
3	Ceiling joists not attached to parallel rafters, kept over partitions,	3-10s
4	Ceiling in rafters, face nail at $1 \frac{1}{2}'' \times 20$ paper lath strap	$3 \times 6 (2 \frac{1}{2}'' \times 0.135)$
5	Roof joists to plate, toe nail	$2 \times 6 (2 \frac{1}{2}'' \times 0.135)$
6	Roof joists to ridge, valley or hip rafter, toe nail	$3 \times 6 (2 \frac{1}{2}'' \times 0.135)$
	Beams full	—
Wall		
7	Brill-up over studs	$10 (3'' \times 0.125)$
8	Brill-up header, two pieces with $\frac{1}{2}''$ spacer	$16 (3'' \times 0.135)$
9	Continuous header, two pieces	$16 (2 \frac{1}{2}'' \times 0.135)$
10	Continuous header to stud, toe nail	$4 \times 6 (2 \frac{1}{2}'' \times 0.135)$
11	Double studs, face nail	$10 (3'' \times 0.125)$
12	Double studs, face nail	$10 (3'' \times 0.125)$
13	Double studs, toe nail	$8 \times 16 (3 \frac{1}{2}'' \times 0.135)$
14	Double studs in lap joint	$3 \times 6 (2 \frac{1}{2}'' \times 0.135)$
15	Some joists to plate or blocking, face nail	$3 \times 6 (2 \frac{1}{2}'' \times 0.135)$
16	Some joists to plate or blocking at brace wall panels	$3 \times 6 (2 \frac{1}{2}'' \times 0.135)$
		24" o.c.
		16" o.c. along each edge
		12" o.c. along each edge
		24" o.c.
		16" o.c.
		16" o.c.
		—

[illegible]

403



CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: MB

DATE: 4/6/12



Disclaimer

Scale = 100

Grid

This map is prepared for the real property inventory within this county. It survey plats, and other public records and data. Users of this map are not information sources should be consulted for verification of the information county and the mapping companies assume no legal responsibilities for the map. Please notify the Franklin County GIS Division of any discrepancies.

12310-00199
247 Glenmont Ave.



BOARD OF ZONING ADJUSTMENT APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services
757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION #

12310-00199

247 Glenmont Ave.

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Donald R. Powers

of (COMPLETE ADDRESS) 247 Glenmont Avenue, Columbus, OH 4314

deposes and states that (he/she) is the APPLICANT, AGENT OR DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application and their mailing addresses:

NAME

COMPLETE MAILING ADDRESS

Donald R. Powers 247 Glenmont Avenue, Columbus, OH 43214

Stacey M. Powers 247 Glenmont Avenue, Columbus, OH 43214

SIGNATURE OF AFFIANT

Subscribed to me in my presence and before me this 6 day of APRIL, in the year 2012.

SIGNATURE OF NOTARY PUBLIC

My Commission Expires:

NOV 4 2015



VINU PATEL
Notary Public
In and For the State of Ohio
My Commission Expires Nov 4, 2015

PLEASE NOTE: incomplete information will result in the rejection of this submittal.

For all questions regarding this form and fees please call: 614-645-4522

Please make all checks payable to the Columbus City Treasurer