

Date

Application #

City of Columbus | Development Department | Building Services Division | 757 Carolyn Ave., Columbus, Ohio 43224



Comments: _____ Application Number: 11310-0-00350 Commission/Group: Northland
Date Received: 6/29/11 Planning Area: _____
Date of Hearing: 9/27/11 Acreage: _____
Zoning Fee: \$1,900.00 Address Fee: _____
Existing Zoning: C-4 Accepted by: D. Reim

BOARD OF ZONING ADJUSTMENT APPLICATION

TYPE(S) OF ACTION REQUESTED

(Check all that apply)

☒ Variance ☐ Special Permit

Indicate what the proposal is and list applicable code sections. State what it is you are requesting.

Describe: Front Yard building setback variance; Chapter 3356.11
Interior Landscape Variance; Chapter 3312.21 B

LOCATION

1. Certified Address Number and Street Name 2091 E. Dublin-Granville Rd.
City Columbus State OH Zip 43229

Parcel Number (only one required.)

010-112450

APPLICANT (IF DIFFERENT FROM OWNER)

2. Name Claus, Ryle, Schomer, Burns, & Dehaven, dba GPD Group
3. Address 1801 Watermark Dr., Suite 150 City Columbus Zip 43215
4. Phone# 614-859-1018 Fax # 614-210-0752
5. Email Address LONDECKER@GPDGROUP.COM

PROPERTY OWNER(S)

6. Name McDonald's USA, LLC
7. Address 2 Eastern Oval, Suite 200 City Columbus Zip 43219
8. Phone# 614-418-3300 Fax # _____
9. Email Address david.warren@us.mcd.com

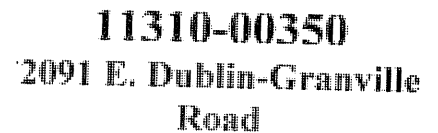
☐ Check here if listing additional property owners on a separate page

ATTORNEY / AGENT (CIRCLE ONE)

10. Name Claus, Ryle, Schomer, Burns, & Dehaven, dba GPD Group
11. Address 1801 Watermark Drive, Suite 150 City Columbus Zip 43215
12. Phone# 614-859-1018 Fax # 614-210-0752
13. Email Address LONDECKER@GPDGROUP.COM

SIGNATURES

14. Applicant Signature Lynsey Onderker (Lynsey Onderker)
15. Property Owner Signature DAVID WARREN
16. Attorney/Agent Signature Lynsey Onderker



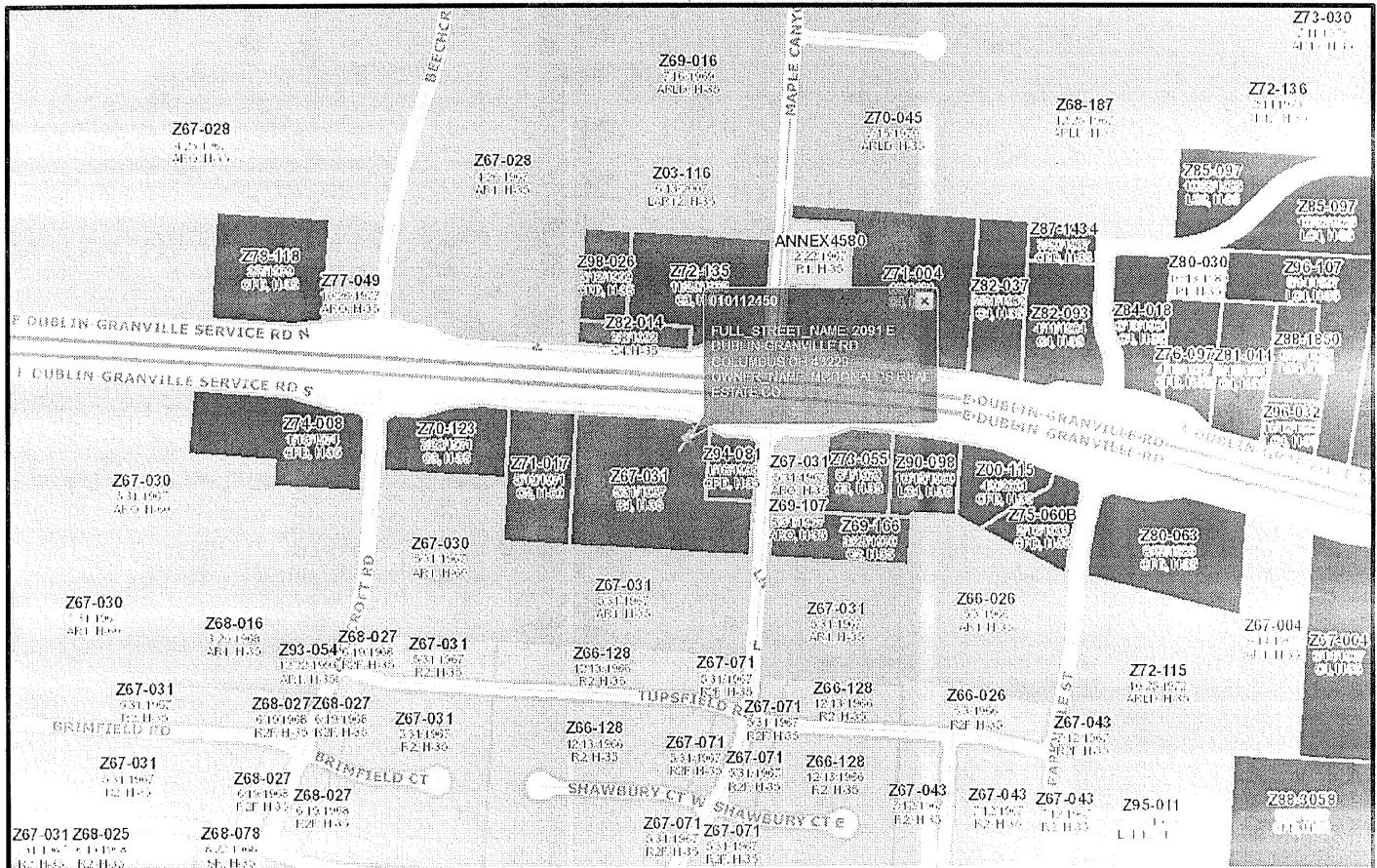
DEPARTMENT OF BUILDING AND ZONING SERVICE

Zoning General Inquiry: 614-645-8637

Parcel Number: 010112450

Airport Noise Environ: N/A

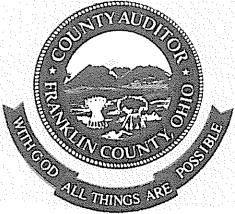
Graphic Commission: N/A



Statement of Hardship

McDonald's is requesting a front yard building setback variance of 75 feet, along the south side of the Service Road south of SR 161 Right-of-Way. In effort to prevent drive-thru traffic from stacking off the property, the proposed restaurant must be located nearer to the Right-of-Way in order to provide sufficient distance for customer cars to stack on the property and not affect a public roadway. A hardship exists particular to this site because of the abnormally large setback from the roadway, coupled with the nature of business conducted on site. Because traffic flow onto the site is not regulated, our site must be designed for peak-hour of service. This can only be accomplished by providing a deep vehicle stack and, therefore, forcing the building location forward on the lot.

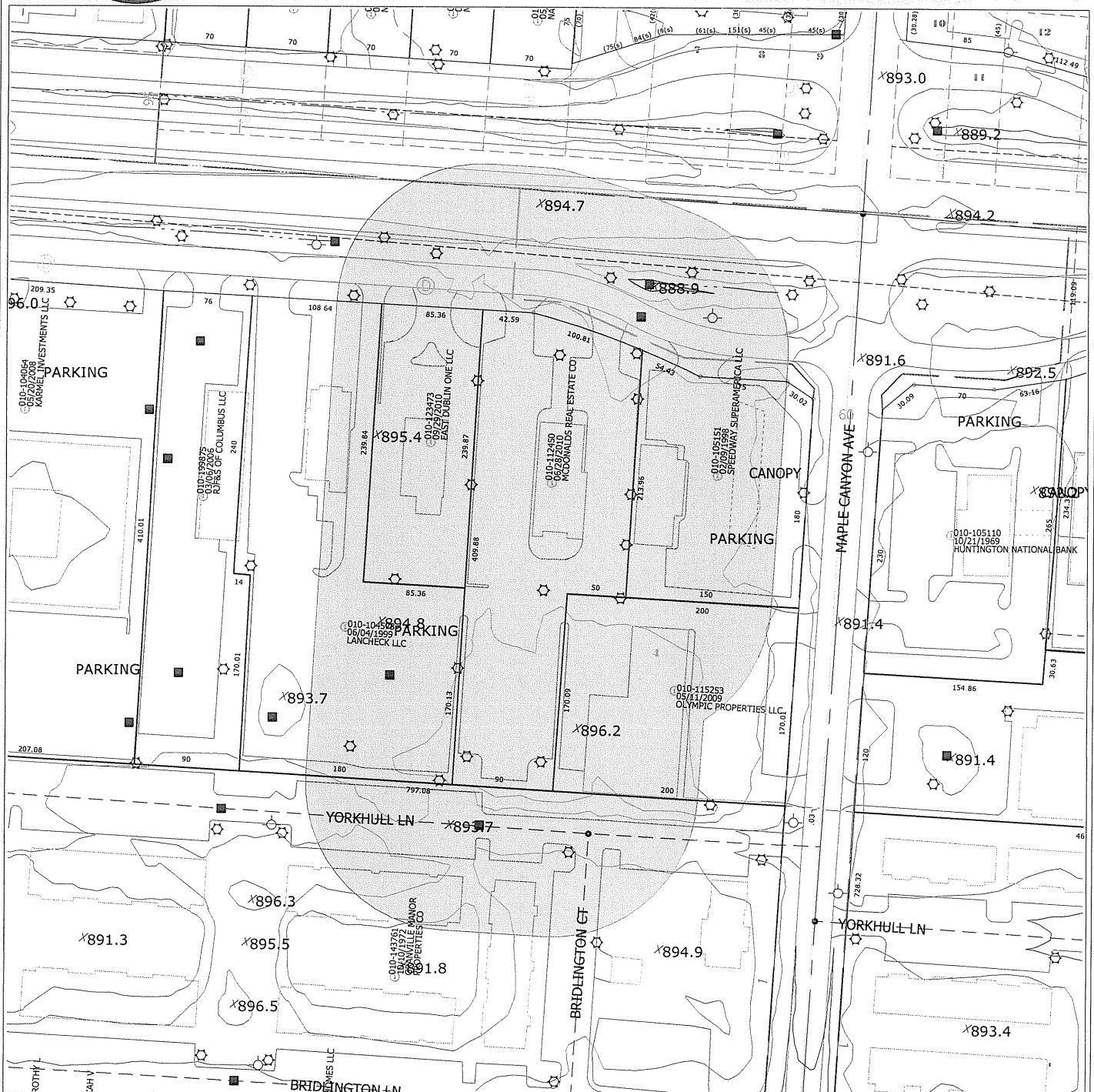
McDonalds also requests an interior landscape variance for a pass through lane in front of the proposed restaurant. According to Article 3312.21(B), the lot between the right-of-way and the parking setback line shall be landscaped with plant material and shall not be paved except for approved walkways, bikeways, driveways, graphics, and other approved amenities and site elements. The proposed drive aisle in front of the McDonald's building will allow full circulation around the site and eliminate customer loop traffic from impacting the public street. A hardship exists due to the nature of the business conducted on site, and the need to accommodate a high volume of vehicles during peak hours of service. Because this site layout is being designed for peak-hour use, circulation onto a public right-of-way poses potential safety concerns. . The proposed drive will assist drive-thru traffic entering the site from the rear of the property; with the proposed pass through lane the drive-thru traffic will not have to make a left-hand turn onto the service road to exit the site and re-enter. Construction of the pass-through lane provides a minor deviation from City Code, with a major service and safety increase.



CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: S

DATE: 5/31/11



Disclaimer

Scale = 126'

Grid
N
E
S
W

This map is prepared for the real property inventory within this county. It survey plats, and other public records and data. Users of this map are not information sources should be consulted for verification of the information county and the mapping companies assume no legal responsibilities for the. Please notify the Franklin County GIS Division of any discrepancies.

11310-00350
2091 E. Dublin-Granville
Road



CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: S

DATE: 5/31/11



Disclaimer

Scale = 100



This map is prepared for the real property inventory within this county. It is based on survey plats, and other public records and data. Users of this map are not to be used as information sources should be consulted for verification of the information. The county and the mapping companies assume no legal responsibilities for the accuracy of the map. Please notify the Franklin County GIS Division of any discrepancies.

11310-00350
2091 E. Dublin-Granville
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City of Columbus

Address Plat

CERTIFIED HOUSE NUMBERS

The House Numbers Contained on This Form
are Herein Certified for Securing
of Building & Utility Permits

Parcel ID: 010112450

Project Name: McDONALD'S RESTAURANT

House Number: 2091

Street Name: E DUBLIN-GRANVILLE RD

Lot Number: N/A

Subdivision: WRIGHT SUB

Work Done: NEW

Complex: N/A

11310-00350

2091 E. Dublin-Granville
Road

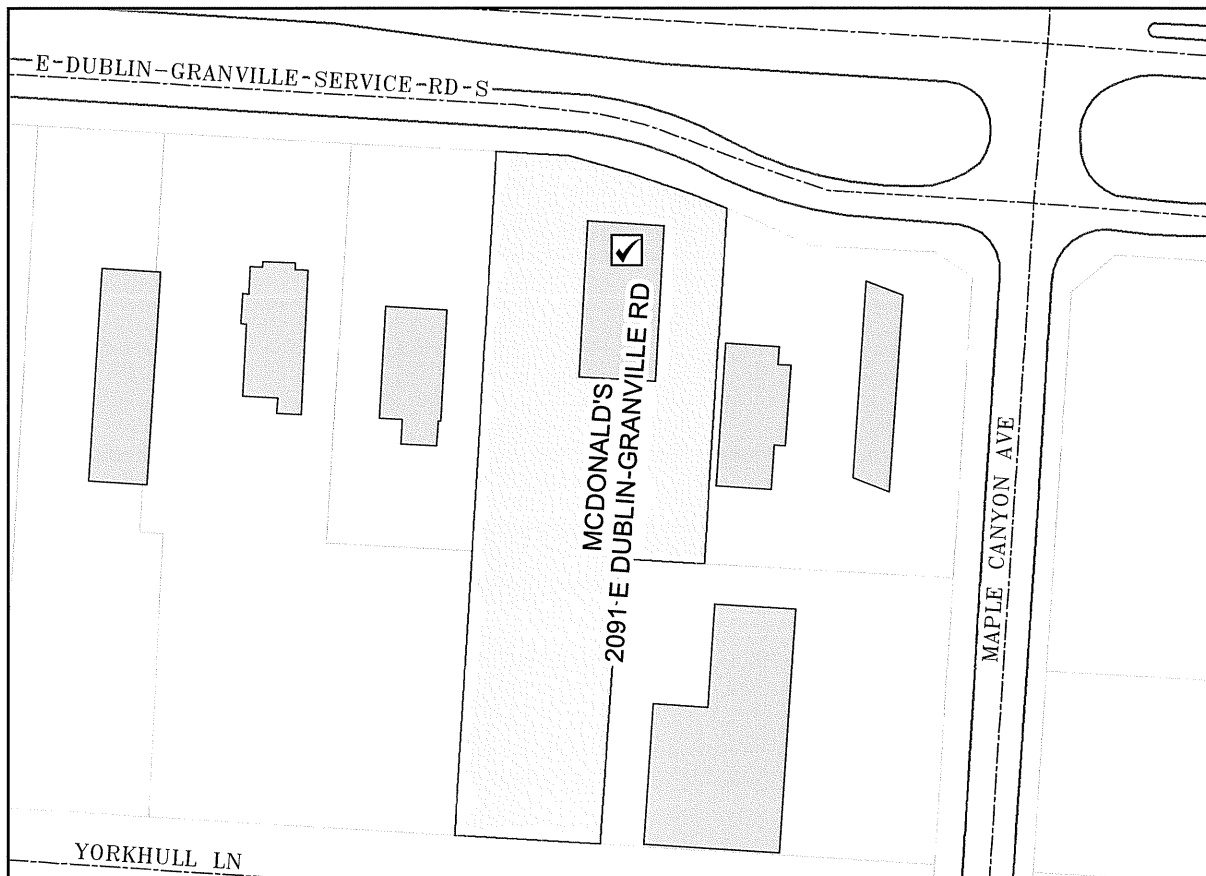
Owner: MCDONALDS REAL ESTATE CO

Request By: GPD GROUP

Issued By: _____

Louis D. McLean

Date: 6-29-2011



PATRICIA A. AUSTIN, P.E., ADMINISTRATOR
DIVISION OF PLANNING AND OPERATIONS
COLUMBUS, OHIO

SCALE: 1 inch = 110 feet

GIS FILE NUMBER: 581396



Signature of Applicant Lynsey Ondercker Date 6/22/11

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.
THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate

11310-00350

**2091 E. Dublin-Granville
Road**

STATE OF OHIO
COUNTY OF FRANKLIN

APPLICATION # _____

Being first duly cautioned and sworn (NAME) Lynsey Ondercker
of (COMPLETE ADDRESS) 2091 E. Dublin-Granville Road, Columbus, OH 43229
deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the
following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the
project which is the subject of this application and their mailing addresses:

NAME

COMPLETE MAILING ADDRESS

Galus, Pyle, Schommer, Burns, & Dehaven, dba GPD Group
1801 Watermark Drive, Columbus, OH 43215

McDonald's USA, LLC
2 Easton Oval, Suite 200, Columbus, OH 43218

SIGNATURE OF AFFIANT

Daura Bos

Subscribed to me in my presence and before me this 16 day of June, in the year 2011

SIGNATURE OF NOTARY PUBLIC

Stacy Sherman

My Commission Expires:

5/6/12

Notary Seal Here



STACY SHERMAN
Notary Public, State of Ohio
My Commission Expires 05/06/2012