



BOARD OF ZONING ADJUSTMENT APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services

757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

OFFICE USE ONLY

Application Number: # 13310-00000-00548

Date Received: 7-26-13

Commission/Civic: GERMAN VILLAGE

Existing Zoning: R-2F Application Accepted by: _____ Fee: _____

Comments: _____

TYPE(S) OF ACTION REQUESTED

(Check all that apply)

☒ Variance ☐ Special Permit

Indicate what the proposal is and list applicable code sections.

3332.38 PRIVATE GARAGE - TO ALLOW HABITABLE SPACE IN 2ND FLOOR OF GARAGE
3332.28 SIDE OR REAR YARD RESTRICTION - TO ALLOW A STRUCTURE TO WITHIN
1'-6" IN THE SIDE YARD

LOCATION

1. Certified Address Number and Street Name 616 MOHAWK ST

City COLUMBUS State OHIO Zip 43206

Parcel Number (only one required) 010-021418-00

APPLICANT: (IF DIFFERENT FROM OWNER)

Name WILLIAM HUGGS ARCHITECTS LTD.

Address 750 MOHAWK ST City/State COL OH Zip 43206

Phone # 614-221-2724 Fax # — Email b.h.e.williamhuggs.com

PROPERTY OWNER(S):

Name JAMES & DAWN LOWERY

Address 616 MOHAWK ST City/State COL OH Zip 43206

Phone # 614-221-2724 Fax # — Email b.h.e.williamhuggs.com

☐ Check here if listing additional property owners on a separate page.

ATTORNEY / AGENT (CHECK ONE IF APPLICABLE)

☐ Attorney ☒ Agent

Name WILLIAM HUGGS

Address 750 MOHAWK ST City/State COL OH Zip 43206

Phone # 614-221-2724 Fax # — Email: b.h.e.williamhuggs.com

SIGNATURES (ALL SIGNATURES MUST BE PROVIDED AND SIGNED IN BLUE INK)

APPLICANT SIGNATURE William Huggs

PROPERTY OWNER SIGNATURE James Lowery

ATTORNEY / AGENT SIGNATURE William Huggs

PLEASE NOTE: incomplete information will result in the rejection of this submittal.
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Please make all checks payable to the Columbus City Treasurer



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AFFIDAVIT

13310-00000-00548
616 MOHAWK STREET

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (1) NAME Chad M. Draheim

of (1) MAILING ADDRESS 560 E. Town Street, Columbus, OH 43215

deposed and states that (he/she) is the applicant, agent, or duly authorized attorney for same and the following is a list of the name(s) and mailing address(es) of all the owners of record of the property located at

(2) per ADDRESS CARD FOR PROPERTY

for which the application for a rezoning, variance, special permit or graphics plan was filed with the Department of Building and Zoning Services, on (3) _____

(THIS LINE TO BE FILLED OUT BY CITY STAFF)

SUBJECT PROPERTY OWNERS NAME

(4) James & Dawn Lowery

AND MAILING ADDRESS

616 Mohawk Street

Columbus, OH 43206

APPLICANT'S NAME AND PHONE #
(same as listed on front of application)

William Hugus

(614) 221-2724

AREA COMMISSION OR CIVIC GROUP
AREA COMMISSION ZONING CHAIR OR
CONTACT PERSON AND ADDRESS

(5) German Village Commission (c/o Cristin Moody)

109 N. Front Street

Columbus, OH 43215

and that the following is a list of the names and complete mailing addresses, including zip codes, as shown on the County Auditor's Current Tax List or the County Treasurer's Mailing List, of all the owners of record of property within 125 feet of the exterior boundaries of the property for which the application was filed, and all of the owners of any property within 125 feet of the applicant's or owner's property in the event the applicant or the property owner owns the property contiguous to the subject property:

(6) PROPERTY OWNER(S) NAME	(6A) ADDRESS OF PROPERTY	(6B) PROPERTY OWNER(S) MAILING ADDRESS
177 Beck St. Ltd.	177-179 E. Beck St. Columbus, OH 43206	177 E. Beck St. Columbus, OH 43206
184 Willow LLC	184-186 Willow St. Columbus, OH 43206	3900 Tarrington Ln. Columbus, OH 43220
William & Patricia Bates	625 S. Fifth St. Columbus, OH 43206	625 S. Fifth St. Columbus, OH 43206
Bryan H. Dow	636 Mohawk St. Columbus, OH 43206	636 Mohawk St. Columbus, OH 43206
Robert J. Duffy	193 Beck St. Columbus, OH 43206	125 S. Ardmore Rd. Columbus, OH 43209

☒ (7) Check here if listing additional property owners on a separate page.

SIGNATURE OF AFFIANT

(8) Chad M. Draheim

Subscribed to me in my presence and before me this 18th day of July, in the year 2013

SIGNATURE OF NOTARY PUBLIC

(8) Brian S. Artz

My Commission Expires _____

Notary Seal Here



BRIAN S. ARTZ, ATTORNEY AT LAW

NOTARY PUBLIC, STATE OF OHIO

My commission has no expiration date.

Section 147.03 R.C.

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STATEMENT OF HARDSHIP

APPLICATION # _____

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616 MOHAWK STREET

3307.09 Variances by Board.

- A. The Board of Zoning Adjustment shall have the power, upon application, to grant variances from the provisions and requirements of this Zoning Code (except for those under the jurisdiction of the Graphics Commission and except for use variances under the jurisdiction of the Council). No variance shall be granted unless the Board finds that all of the following facts and conditions exist:
1. That special circumstances or conditions apply to the subject property that does not apply generally to other properties in the same zoning district.
 2. That the special circumstances or conditions are not the result of the actions of the property owner or applicant.
 3. That the special circumstances or conditions make it necessary that a variance be granted to preserve a substantial property right of the applicant which is possessed by owners of other property in the same zoning district.
 4. That the grant of a variance will not be injurious to neighboring properties and will not be contrary to the public interest or the intent and purpose of this Zoning Code.
- B. In granting a variance, the Board may impose such requirements and conditions regarding the location, character, and other features of the proposed uses or structures as the Board deems necessary to carry out the intent and purpose of this Zoning Code and to otherwise safeguard the public safety and welfare.
- C. Nothing in this section shall be construed as authorizing the Board to affect changes in the Zoning Map or to add to the uses permitted in any district.

I have read Section 3307.09, Variances by Board, and believe my application for relief from the requirements of the Zoning Code satisfies the four criteria for a variance in the following ways:

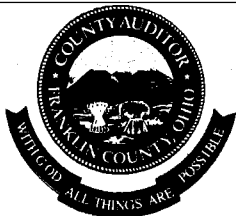
_____ This Applicant is requesting Variances to construct a freestanding normal
_____ sized two car garage with a home office above, as many other properties
_____ already have in this District. Since 2007, the German Village Commission
_____ discourages connecting a garage structure to a house which creates a hardship
_____ for this property. This condition is not a result of actions by this homeowner
_____ and will not be injurious to adjacent properties.

Signature of Applicant _____

Date _____

7-25-13

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CLARENCE E MI FRANKLIN COUNTY

13310-00000-00548
616 MOHAWK STREET

MAP ID: S

DATE: 7/16/13



Disclaimer

Scale = 60

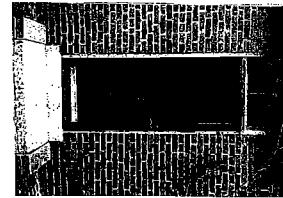
Grid North

This map is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this map are notified that the public primary information sources should be consulted for verification of the information contained on this map. The county and the mapping companies assume no legal responsibilities for the information contained on this map. Please notify the Franklin County GIS Division of any discrepancies.

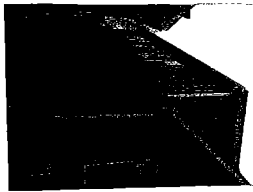
Real Estate / GIS Department



WINDOW AND SILL



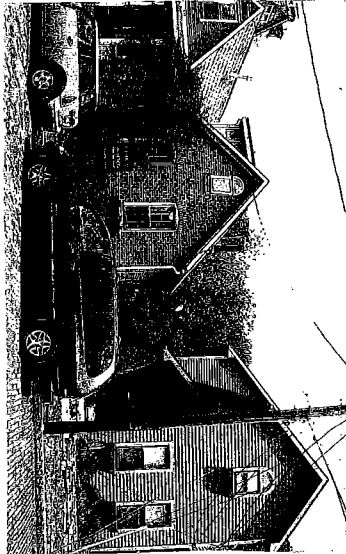
FRONT DOOR



NORTH SIDE

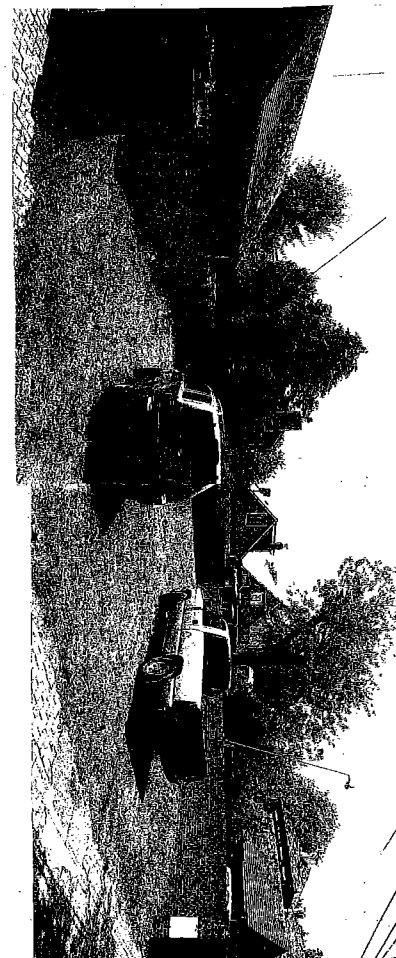


SOUTH SIDE

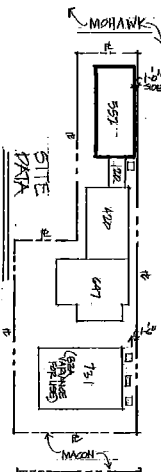
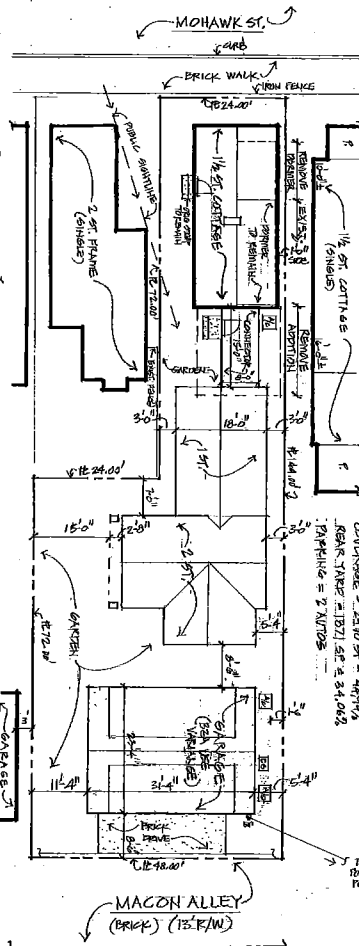


MOHAWK STREET

13310-00000-00548
616 MOHAWK STREET



MACON ALLEY



1 SITE PLAN

0124 8 1/2

A1

CONCEPT
CON. DOCS 9-13
REVISION

RENOVATION AND ADDITION TO
616 MOHAWK STREET
COLUMBUS OHIO 43206

The drawings and written material
herein constitute the original and
authoritative work and remain the property
of WILLIAM HUGUS ARCHITECTS LTD.
and its name may not be duplicated, used
or disclosed without the written consent of
WILLIAM HUGUS ARCHITECTS LTD.



WILLIAMHUGUSARCHITECTSLTD
750 Mohawk Street • Columbus • Ohio 43206 614-221-2724



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PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION #

13310-00000-00548

STATE OF OHIO
COUNTY OF FRANKLIN

616 MOHAWK STREET

Being first duly cautioned and sworn (NAME)

of (COMPLETE ADDRESS) WILLIAM HUGGS
750 MOHAWK ST COLUMBUS OHIO 43206

deposes and states that (he/she) is the APPLICANT, AGENT OR DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application and their mailing addresses:

NAME

COMPLETE MAILING ADDRESS

JAMES & PAWN LOWERY

616 MOHAWK ST
COLUMBUS, OHIO 43206

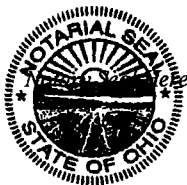
SIGNATURE OF AFFIANT

Subscribed to me in my presence and before me this 25th day of July, in the year 2013

SIGNATURE OF NOTARY PUBLIC

My Commission Expires:

9/26/15



Chad M. Draheim
Notary Public, State of Ohio
My Commission Expires 09-26-2015

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