



BOARD OF ZONING ADJUSTMENT APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services

757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

OFFICE USE ONLY

Application Number: 13310-0-00562

Date Received: 8/5/13

Commission/Group: Northland

Existing Zoning: SR

Application Accepted by: D. Reiss

Fee: \$315.00

Comments: 8/22/13

TYPE(S) OF ACTION REQUESTED

(Check all that apply)



Variance



Special Permit

Indicate what the proposal is and list applicable code sections. State what it is you are requesting.

The proposal is to decrease building line on Olen side of property. Applying for
Variance to 3332.20 Building line to reduce from 25 ft to 15' 6" for enclosed
porch & balcony only.

LOCATION

1. Certified Address Number and Street Name 2257 Ashley Dr.

City Columbus

State OH

Zip 43224

Parcel Number (only one required) 010-102568-00

APPLICANT: (IF DIFFERENT FROM OWNER)

Name _____

Address _____ City/State _____ Zip _____

Phone # _____ Fax # _____ Email _____

PROPERTY OWNER(S):

Name Cheryl L. Moland

Address 2257 Ashley Dr. City/State Columbus, OH Zip 43224

Phone # 614-428-7483 Fax # 614-428-7483 Email clmoland@aol.com

☐ Check here if listing additional property owners on a separate page.

ATTORNEY / AGENT (CHECK ONE IF APPLICABLE)



Attorney



Agent

Name _____

Address _____ City/State _____ Zip _____

Phone # _____ Fax # _____ Email: _____

SIGNATURES (ALL SIGNATURES MUST BE PROVIDED AND SIGNED IN BLUE INK)

APPLICANT SIGNATURE _____

PROPERTY OWNER SIGNATURE _____

ATTORNEY / AGENT SIGNATURE _____

PLEASE NOTE: incomplete information will result in the rejection of this submittal.

For all questions regarding this form and fees please call: 614-645-4522

Please make all checks payable to the Columbus City Treasurer



CITY OF COLUMBUS

DEPARTMENT OF BUILDING AND ZONING SERVICES

13310-00562

2257 Ashley Dr.

One Stop Shop Zoning Report Date: Tue Aug 6 2013

General Zoning Inquiries: 614-645-8637

SITE INFORMATION

Address: 2257 ASHLEY DR COLUMBUS, OH

Mailing Address: PO BOX 182661

PO BOX 182661

Owner: MOLAND CHERYL L

Parcel Number: 010102568

ZONING INFORMATION

Zoning: 674, Residential, SR

effective 11/14/1956, Height District H-35

Board of Zoning Adjustment (BZA): N/A

Commercial Overlay: N/A

Graphic Commission: N/A

Area Commission: N/A

Planning Overlay: N/A

Historic District: N/A

Historic Site: No

Council Variance: N/A

Flood Zone: OUT

Airport Overlay Environs: N/A

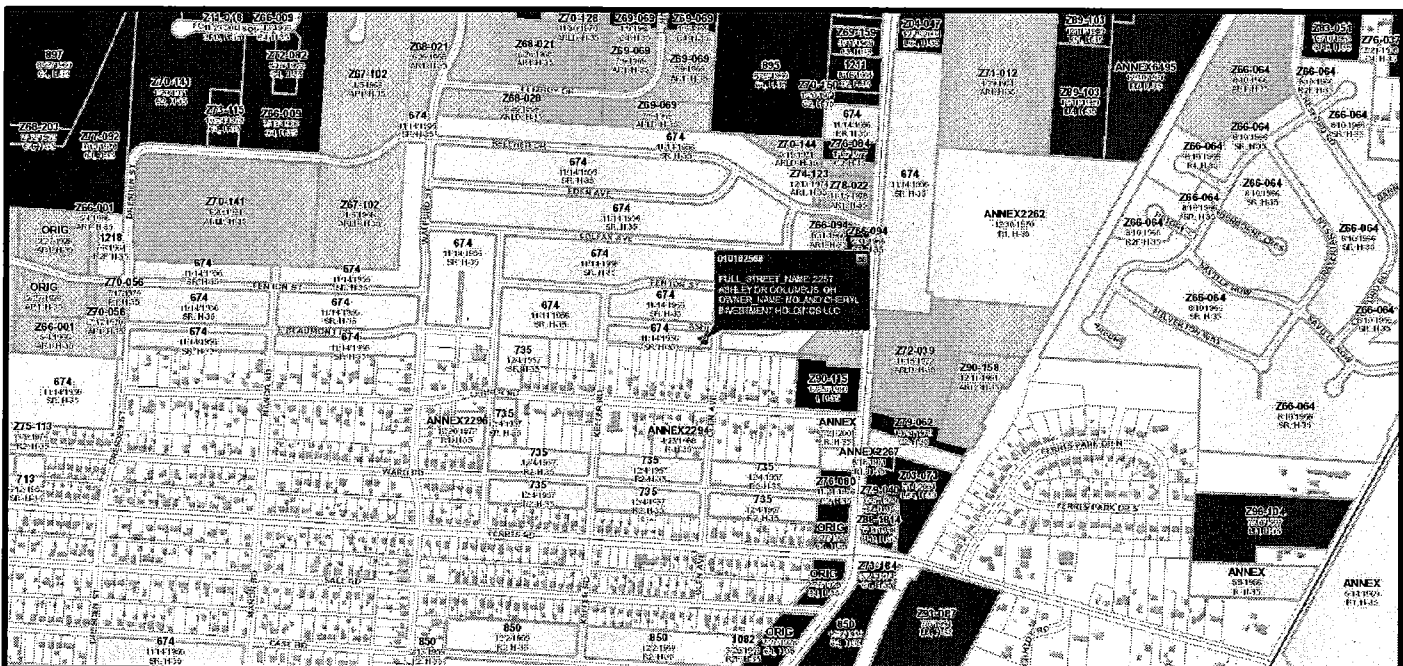
PENDING ZONING ACTION

Zoning: N/A

Board of Zoning Adjustment (BZA): N/A

Council Variance: N/A

Graphic Commission: N/A



Statement of Hardship

Cheryl Moland, 2257 Ashley Dr., Cols OH 43224

Aug 5, 2013

I was very excited to purchase my very first house in Feb of 2004, and I was doing it by myself. I had lived in apartments most of my life. The house I purchased was a small cape cod, very similar to my grandparent's home where I lived while going to high school. Since buying the house, I had wanted to have a balcony out the 2nd story bedroom, much like there was on my grandparent's house. Over the attached sunroom would be the perfect spot for it.

The sunroom has been wonderful to have, as I've been using it for a dining room and often a catch-all for things not having a permanent place yet. It is what we use as the main entrance to our home since it is off the driveway.

After my boyfriend moved in with me in Nov 2011, I became serious about trying to make the balcony a reality. We finally made plans and started putting it all together. We had decided to build the balcony and put railings around the previously cemented patio area and railings for the front porch and steps. We wanted it all to match.

Suddenly, we got a Stop Work Order (8/24/12) because we were building without a permit. We had not understood the permit process. Just over a month later (10/1/12), I was able to get drawings for the balcony and took them in to apply for a permit. It turns out that there was a problem with zoning AND the drawings were not up to code. I was quite upset and not understanding everything being told to me.

I got a Summons in the mail and figured I might be able to sort out what needed to be done in the courtroom on Feb 20, 2013. There, I was told I needed drawings to make the balcony to code, but couldn't get a straight answer as to how to get the information to know what would be up to code. My Pre-Trial was set for May 29, 2013.

After a few calls to a variety of people in the Building & Zoning Dept., I was told I needed to hire an architect or structural engineer to find out exactly what was wrong and how to fix it. Every few days, I would call and leave a message for one who would be recommended to me, but never got a call back. I resorted to the yellow pages. After leaving some messages and once being told to try to find someone who works out of his house because that particular firm was too expensive for me, I found CMJ Engineering and was able to secure an appointment; but the appt. was for June 4, after my May 29 Pre-Trial. The court was not pleased. My Jury Trial was set for July 23, 2013.

The structural engineer came for the appointment and said I would hear from him soon. After about 3 weeks, I was told he wanted to come out to look it over again. He had us pull up boards to see how it was attached to the house. He said he wanted to be able to tell us EXACTLY what needed to be done. He came out on July 5, and said he would have his report completed within the next week or so. When I hadn't gotten the report by 7/22, I called his office to remind them of my court date and that I could receive emails on my phone, so please email A.S.A.P. I didn't receive it. Although the prosecutor told me to ask for about 6 months to get everything fixed, the Building & Zoning Liaison told the judge I could get everything corrected within 4 to 6 weeks. The judge sentenced me to 15 days in jail and a \$500 fine if I don't complete everything by Sept 23, 2013.

I got the engineers report on July 29, 2013. Once I started making calls to Randy Eddy, John Rosenberry, and David Reiss, we came to the conclusion that the zoning problem is that the sunroom was enclosed without a permit. Since it is enclosed, it is not allowed beyond the build line therefore not allowing a permit for a balcony.

I am applying for a variance to decrease the build line for the sunroom, allowing it to be a legitimate part of the house. The sunroom was part of the house when I bought it and I had no reason to believe it wasn't considered legitimate.

I regret building the railings and balcony without a permit, and hope that by legitimizing the sunroom and making drawings to get the balcony up to code will allow us to get the needed permit and fix the balcony and live happily with both the sunroom and the balcony.

13310-00562
2257 Ashley Dr.

750 Chandler Court
Vesterville, OH 43082
E-Mail: hoyssinc@aol.com
Phone (614) 895-1922
Survey Fax (614) 895-1949
Construction Fax (614) 895-9549



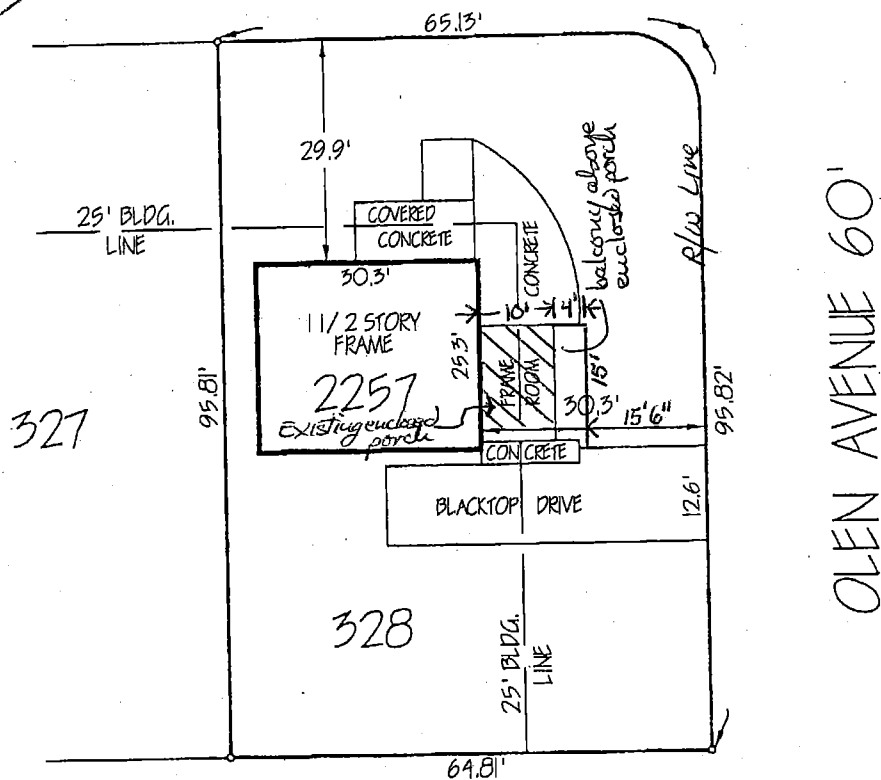
1838-03-S

Order No.

CERTIFIED TO ADVANTAGEONE TITLE COUNTY OF FRANKLIN
LENDER FIRST PLACE BANK P.B. 28 PG. 2 OR./D.B. PG.
BUYER MOLAND SCALE 1" = 20' DATE 1-16-04 DRN KB CH DM

"We / I Herby Accept This Survey
In Its Present Condition"

ASHLEY DRIVE 50'



LOT NO. 328
BEAUMONT
COLUMBUS, OHIO



13310-00562
2257 Ashley Dr.



BOARD OF ZONING ADJUSTMENT APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services

757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

AFFIDAVIT

13310-00562
2257 Ashley Dr.

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (1) NAME Cheryl L. Moland
of (1) MAILING ADDRESS 2257 Ashley Dr. Columbus, OH 43224
deposed and states that (he/she) is the applicant, agent, or duly authorized attorney for same and the following is a list of the name(s) and mailing address(es) of all the owners of record of the property located at

(2) per ADDRESS CARD FOR PROPERTY

for which the application for a rezoning, variance, special permit or graphics plan was filed with the Department of Building and Zoning Services, on (3) _____

(THIS LINE TO BE FILLED OUT BY CITY STAFF)

SUBJECT PROPERTY OWNERS NAME

AND MAILING ADDRESS

(4) Cheryl L. Moland

2257 Ashley Dr.

Columbus, OH 43224

APPLICANT'S NAME AND PHONE #
(same as listed on front of application)

Cheryl L. Moland

614-428-7483

AREA COMMISSION OR CIVIC GROUP
AREA COMMISSION ZONING CHAIR OR
CONTACT PERSON AND ADDRESS

(5) Northland Community Council
P.O. Box 297836

43229 (BR)

and that the following is a list of the names and complete mailing addresses, including zip codes, as shown on the County Auditor's Current Tax List or the County Treasurer's Mailing List, of all the owners of record of property within 125 feet of the exterior boundaries of the property for which the application was filed, and all of the owners of any property within 125 feet of the applicant's or owner's property in the event the applicant or the property owner owns the property contiguous to the subject property:

(6) PROPERTY OWNER(S) NAME (6A) ADDRESS OF PROPERTY (6B) PROPERTY OWNER(S) MAILING ADDRESS

see attached full list

☒ (7) Check here if listing additional property owners on a separate page.

SIGNATURE OF AFFIANT

Subscribed to me in my presence and before me this

(8)

5th

day of

August

in the year

2013

SIGNATURE OF NOTARY PUBLIC

My Commission Expires:

(8)

David J. Reiss

DAVID J. REISS

NOTARY PUBLIC - STATE OF OHIO

MY COMMISSION EXPIRES MAY 30, 2015

Notary Seal Here

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For all questions regarding this form and fees please call: 614-645-4522

Please make all checks payable to the Columbus City Treasurer

Scott & Karena Repko
2239 Ashley Dr
Columbus, OH 43224

Herschel & Mildred Smith
2242 Ashley Dr
Columbus, OH 43224

AR Investment Holdings, LLC
Ashley Andrews
2249 Ashley Dr
Columbus, OH 43224

Ronald & Karen Hibbard
2250 Ashley Dr
Columbus, OH 43224

Paul & Jennifer Clough
2260 Ashley Dr
Columbus, OH 43224

Cheryl Moland
2257 Ashley Dr
Columbus, OH 43224

Gregory & Maria Adrian
2271 Ashley Dr
Columbus, OH 43224

Sonia Platt
2276 Ashley Dr
Columbus, OH 43224

Audrea Parr
2281 Ashley Dr
Columbus, OH 43224

Eleanor Porter et al
2208 Lehner Rd
Columbus, OH 43224

Phillip McGlaughlin
2212 Lehner Rd
Columbus, OH 43224

Stephen Creighton
2228 Lehner Rd
Columbus, OH 43224

Anthony Arata
2244 Lehner Rd
Columbus, OH 43224

Michael & Lori Moser
2248 Lehner Rd
Columbus, OH 43224

13310-00562
2257 Ashley Dr.



City of Columbus Zoning Plat



ZONING NUMBER

The Zoning Number Contained on This Form
is Herein Certified to Obtain Zoning, Rezoning,
and Variances, and is NOT to be Used for
the Securing of Building & Utility Permits

Parcel ID: 010102568

Zoning Number: 2257

Street Name: ASHLEY DR

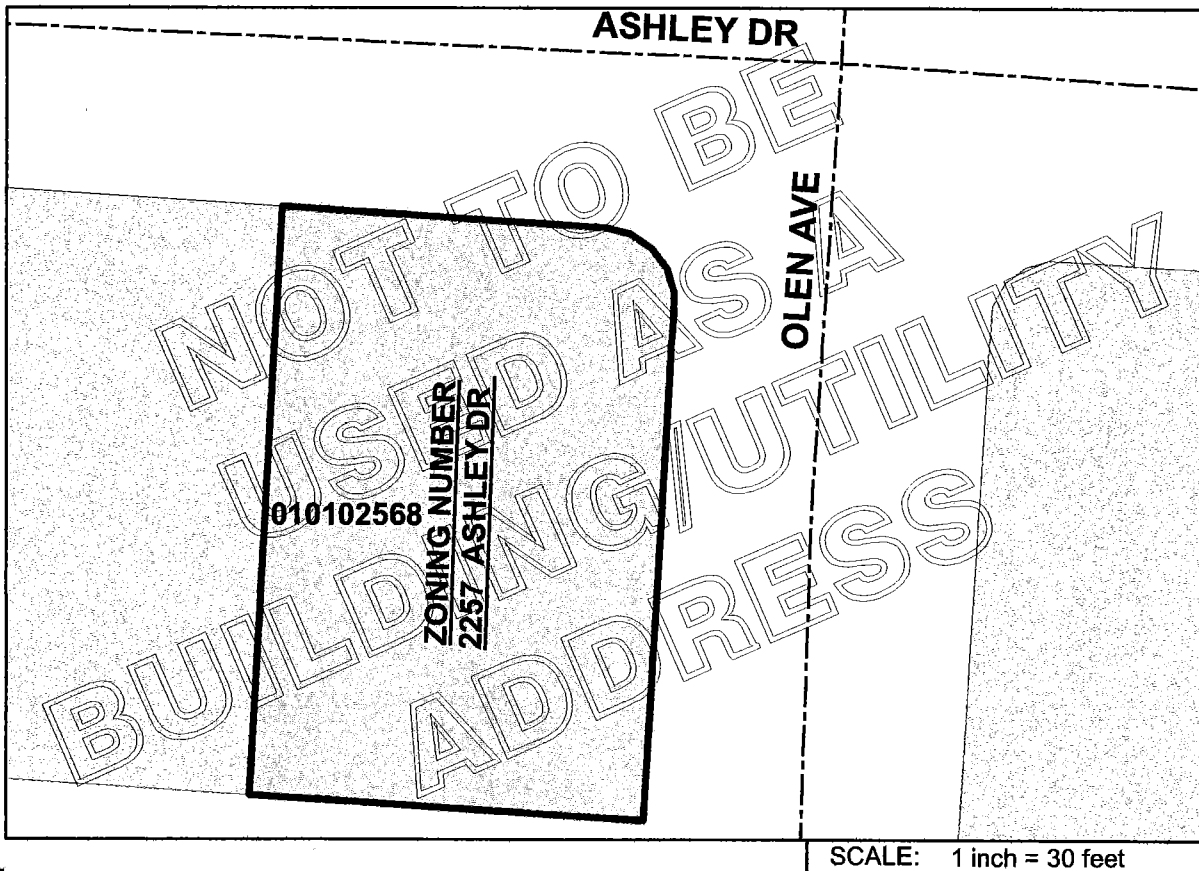
Lot Number: 328

Subdivision: BEAUMONT

Requested By: CHERYL L MOLAND (OWNER)

Issued By: *Patricia Austin*

Date: 8/2/2013

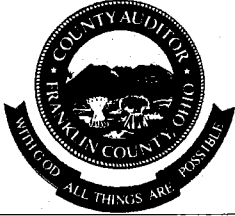


SCALE: 1 inch = 30 feet

GIS FILE NUMBER: 14115



PATRICIA A. AUSTIN, P.E., ADMINISTRATOR
DIVISION OF PLANNING AND OPERATIONS
COLUMBUS, OHIO



CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: C

DATE: 8/1/13



Disclaimer

Scale = 30

Grid
th

This map is prepared for the real property inventory within this county. survey plats, and other public records and data. Users of this map are n information sources should be consulted for verification of the informat county and the mapping companies assume no legal responsibilities for Please notify the Franklin County GIS Division of any discrepancies.

13310-00562
2257 Ashley Dr.

Department

CMJ ENGINEERING, LTD.

PO Box 21290 Columbus, Ohio 43221-1290 Phone: 614.777.5501 Fax: 614.777.1265 Email: cmj@cmjengineering.com

July 29, 2013

Location: 2257 Ashley Drive
Columbus, OH 43224

13310-00562
2257 Ashley Dr.

In Attendance: Cheryl Moland - Owner

Inspector: Albert Galko

Evaluate: Elevated Deck

INTRODUCTION

Al Galko performed an evaluation at the above referenced property on June 4, and July 5, 2013. The elevated deck was evaluated for structural integrity.

This evaluation report is limited to observations made from visual evidence. No destructive or invasive testing was performed. Detailed and extensive measurements were not conducted. THIS REPORT IS NOT TO BE CONSIDERED A GUARANTEE OF CONDITION (at the time of the evaluation or in the future) AND NO WARRANTY IS IMPLIED. The report that follows has been prepared based on those conditions. Refer to the sketch on page two for approximate inspection locations.

OBSERVATIONS

The front of the house faces north, with an elevated deck at the second floor level on the east side of the home. The deck is constructed over an enclosed porch. The enclosed porch is constructed without a permanent perimeter foundation.



Width of Elevated Deck

14'-0"

1

2

3

Story and One-Half Wood Frame Structure

10'-0"

Width of Porch

Front Porch

The blue lines indicate the outline of the elevated deck

Front of Home
NOT to SCALE

EXTERIOR Observation (Location 1)

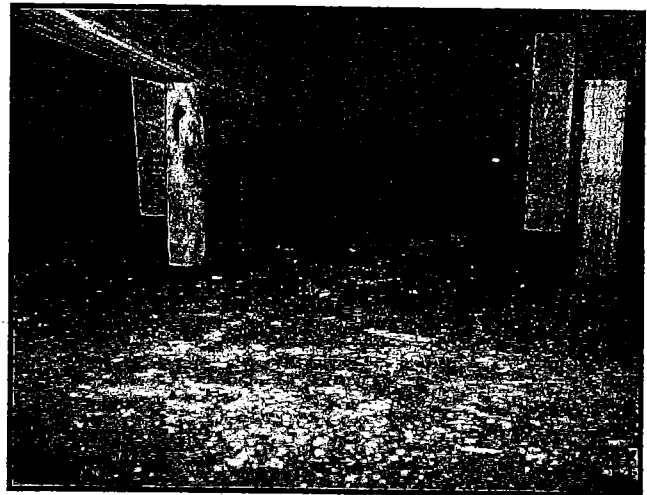
The deck is supported at three locations. The east end of the deck is supported by newly installed wood columns and two header joist.



EXTERIOR Observation (Location 2)

The deck joist are supported by wood blocking positioned on the rubber weather protection membrane. The weight of the deck at this position is transferred to the enclosed porch roof. The deck is constructed using 2x6 joist.

Note: This installation will cause the rubber roof to leak.



EXTERIOR Observation (Location 3)

A perimeter joist, used to prevent the deck joist from rotating is positioned next to the home. Only one lag bolt was visible in the rim joist. This observed condition suggest the deck is supported by the enclosed porch roof. The porch roof supports approximately 70% of the deck weight.

Note: The porch roof is not designed to support a deck with occupants.

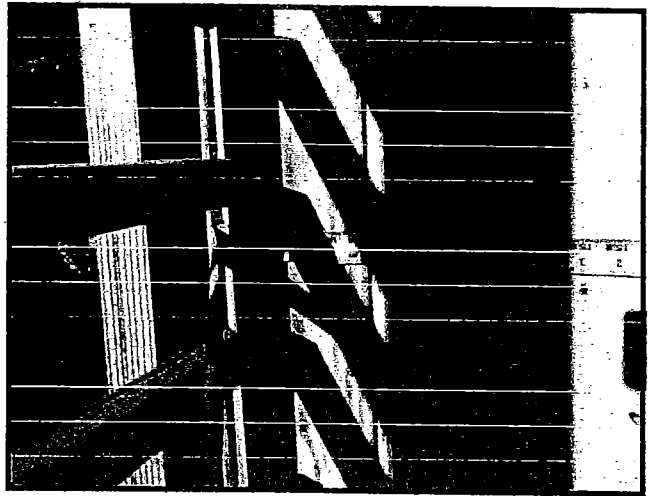


EXTERIOR Observation (Location 1)

The deck is supported by the wood columns, with 2x12 headers, approximately 14' from the structure. The 14' span exceeds the allowable unsupported length for 2x6 joist installed at 16" intervals.

Remediation

The wet condition of an exterior deck requires the use of 2x10 deck joist, installed at 16" intervals, or 2x8 deck joist installed at 8" intervals.



EXTERIOR Observation (Location 3)

The perimeter rim joist must be attached to the second floor rim joist. Attachment to the wall studs is not acceptable.



EXTERIOR Observation (Location 3)

The deck joist are supported by nails in the perimeter joist to prevent rotation; however, they do not provide support.

Remediation

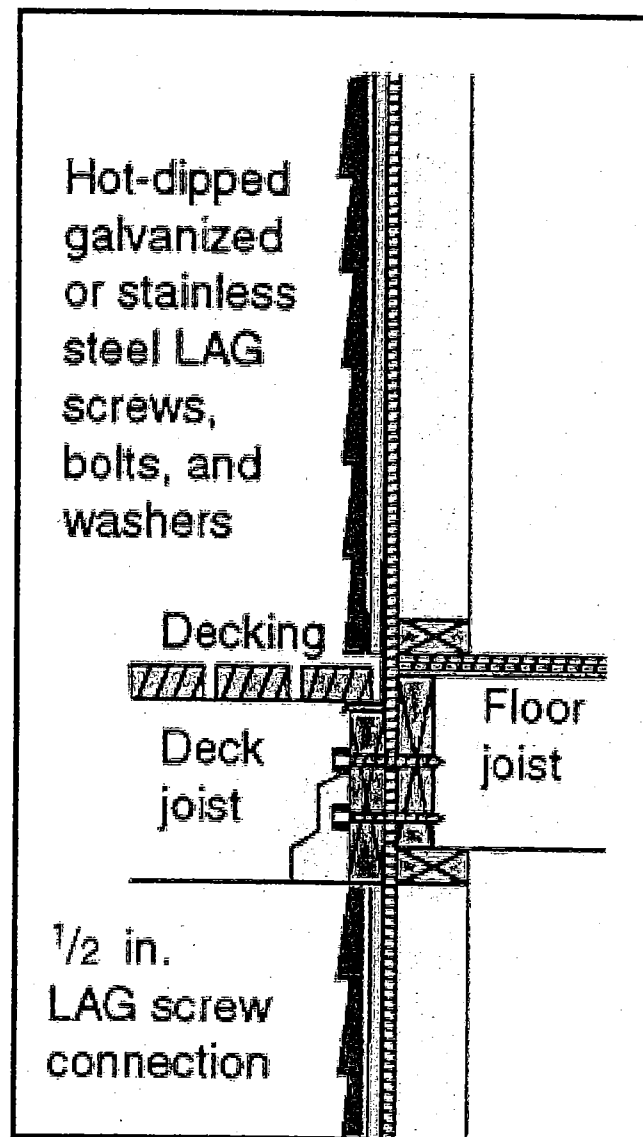
The deck joist must be supported by hot dipped galvanized or stainless steel joist hangers.



EXTERIOR Illustration (Location 3)

The deck must be attached to the perimeter joist of the structure. The deck ledger, which supports the deck joist, must be attached to the perimeter joist with 1/2" hot dipped galvanized or stainless steel lag bolts, installed at 13" intervals, and staggered top and bottom of the deck ledger. The deck ledger must be the same dimension as the deck joist. The joist hangers and nails must be hot dipped galvanized or stainless steel.

Engineer's Note: The deck is currently supported by the porch roof.



CONCLUSION

The current deck installation is not satisfactorily constructed. The primary support for the deck is provided by the roof of the enclosed porch. The porch and porch roof are not designed to support the deck with occupants. The porch does not have a permanent perimeter foundation. The perimeter joist of the deck must be attached to the perimeter joist of the second floor. The deck joist must be constructed using 2x10s installed 16" o/c, or 2x8s installed 8" o/c.

The current construction of the deck cannot provide long term structural stability and modification of the deck is required. *Note:* The applicable building code is attached at the end of this report.

The inspection was conducted on readily accessible areas of the property and is limited to visual and non invasive observations of apparent conditions existing **ONLY ON THE DATE AND AT THE TIME OF THE INSPECTION. Future conditions can not be anticipated, warranted or guaranteed.** The inspection is not intended to be technically exhaustive, nor is it a compliance inspection for any governmental codes or regulations.

The visual observations and opinions contained in this report are based on a reasonable degree of engineering certainty resulting from the investigation on June 14, and July 5, 2013.

This report has been prepared for your benefit and in strict confidence with you as our client. CMJ Engineering will not reproduce or re-use this report for the benefit of others without expressed written consent from you, the client, except as may be required by state and local regulations.

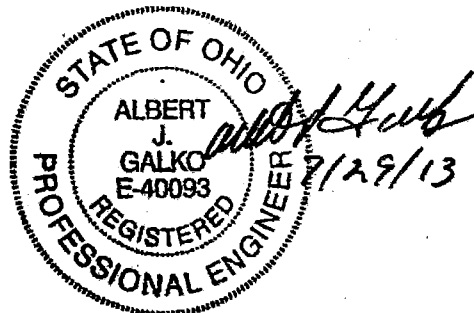
Note: The remediation outlined in this report is based on the conditions observed at the time of the evaluation; therefore CMJ Engineering cannot be responsible for remediation repairs not accomplished within 30 days from the date of the report. When soliciting contractors for repair work, you may encounter some with differing opinions than those outlined in this report. We cannot be responsible for any action you may take based on the opinions of others, unless we have the opportunity to review their course of action prior to the commencement of any work.

A professional engineer's certification of conditions comprises a declaration of his professional judgment. It does not constitute a warranty, expressed or implied, nor does it relieve any other party of their responsibility to abide by contract documents, applicable codes, standards, regulations and ordinances. Conclusions expressed in this report are the professional engineering opinions based on available information at the time of the on-site investigation and the preparation of this report. The exact cause of foundation or other structural abnormalities often cannot be determined solely by visual inspection. Nor, generally, can a fully reliable prognosis be made without analysis that exceeds the scope of a cursory examination. Should additional information become available, we retain the right to revise or supplement this report. Conditions on the day of the inspection can contribute to omissions of pertinent data in drawing an accurate conclusion regarding the cause of a situation.

Respectfully,



Albert J. Galko, President
CMJ Engineering, Ltd.





City of Columbus
Mayor Michael B. Coleman

Department of Building & Zoning Services

757 Carolyn Avenue
Columbus, Ohio 43224-3218
(614) 645-7433 (614) 645-7840 FAX

September 17, 2009
Revised May 24, 2013

Construction Industry Communication #23

From: Keith Wagenknecht, Chief Building Official

**Re: Permits required for installation of a deck – 1, 2, 3-Family
dwelling units.**

Background: The City of Columbus has historically not required a permit for an exterior deck meeting the definition of an accessory structure defined as follows: An unheated, one (1) story, detached building that is accessory to a one (1), two (2), or three (3) family dwelling and contains less than one hundred sixty-nine (169) square feet of gross floor area – CBC Section 4113.37 (D) (3). However, the City of Columbus has required plan review and permits for any deck which is served by an exterior door. The 2013 Residential Code of Ohio has been revised and does not require plan approval for any deck that is:

1. 200 square feet or less
 2. Is not more than 30 inches above grade at any point when measured 3 feet out from the edge of the deck
 3. Is not attached to the dwelling unit
 4. And is not served by a required egress door from the dwelling.
- Decks meeting all of the four items above do not need a building permit, but must obtain zoning approval only.

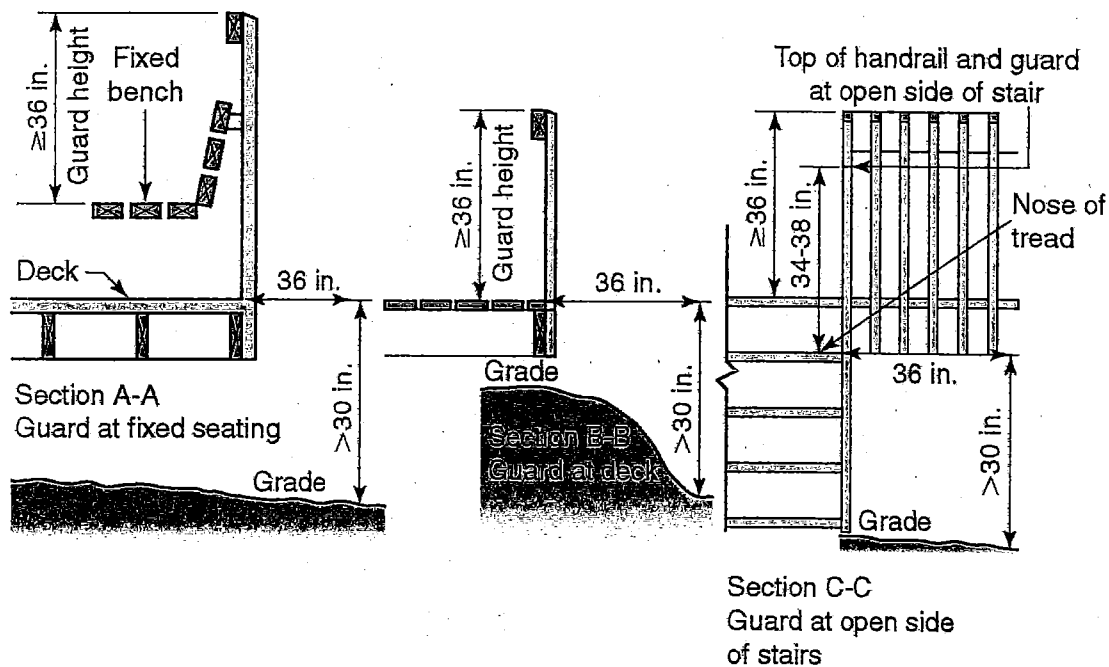
Memorandum: Decks must comply with the following minimum provisions of the RCO.

311.3.1 - The step from the dwelling onto the deck shall not exceed 8 ¼ inches when measured from the top of the door threshold to the deck surface provided the door does not swing out onto the deck.

311.7.4 – Stair Treads and Risers: Risers no more than 8 ¼ inch high, treads not less than 9 inches, open risers shall be permitted provided that the opening between treads does not permit the passage of a 4 inch sphere. (Not restricted for decks 30 inches or less to grade.) Solid risers shall have a minimum ¾ inch to maximum 1 ¼ inch nosing.

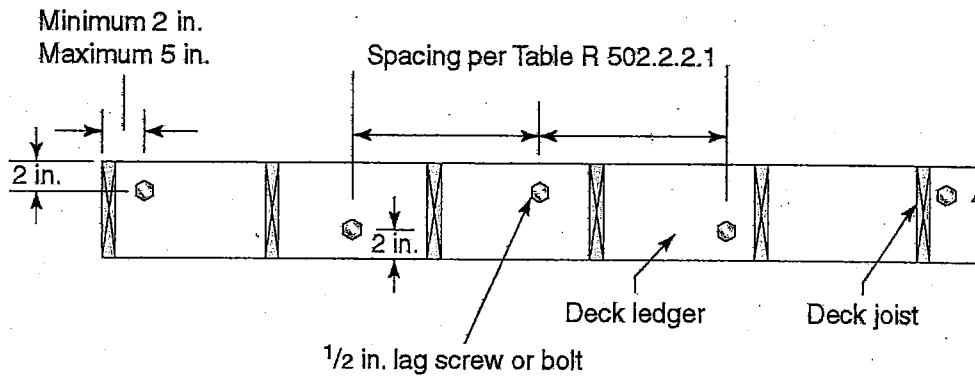
311.7 A 34-38 inch high handrail shall be provided on at least one side of the steps when there are 4 or more risers.

312.1 Requires a 36 inch high guardrail be provided on all decks where the grade is more than 30 inches to the deck surface when measured 3 feet out from the edge of the deck. The guardrail shall be provided along the edge of the deck surface and or perimeter fixed seating.

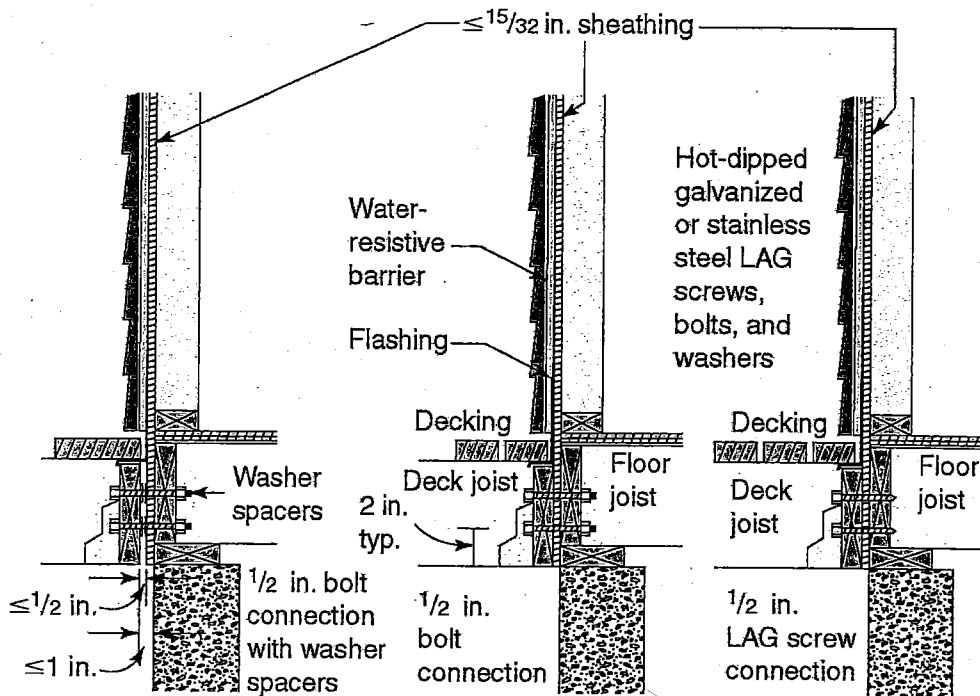


Determining required guard locations

502.2.2 Decks attached to the structure shall be designed and installed to resist both vertical and horizontal movement. Such attachment shall not be accomplished by the use of toenails or nails subject to withdrawal.



Deck ledger connection



703.8 Requires corrosion-resistant flashing be provided in the exterior wall envelope in such a manner as to prevent entry of water into the wall cavity or penetration of water to the building structural components where porches, decks or stairs are attached to a wall or floor assembly of wood-frame construction.

A permit is required to ensure compliance.



DECKS

PERMIT FEE(S)

SEE FEE SCHEDULE

PLAN REQUIRED

Two (2) Sets

SITE PLANS

Two (2) sets required that include:

1. Property lines
2. Set back lines
3. Residence outline, garage and all out-buildings in proper locations. All dimensions must be included.

BUILDING PERMIT APPLICATION

Completed (acquired at BSD Information Counter)

HOMEOWNER'S PERMIT AFFIDAVIT

Attached to Building Permit Application. If homeowner is not doing the construction, a licensed contractor is required.

FOUNDATION PLAN (figures 1 and 2)

Plan view: Standard (see figure 1), Floating (see figure 2)
All dimensions locating post holes must be shown.

FOOTER PLAN (figures 3 and 4)

Items that must be shown:

Footers for decks not exceeding 72 inches in height (see figure 3)

1. Hole diameter to be 12 inches throughout.
2. Minimum depth of hole must be 32 inches.
3. 8 inches of concrete placed in bottom of hole.
4. Backfill around 4X4 posts with either compacted earth or poured concrete.

Footers for decks exceeding 72 inches in height (see figure 4)

1. Hole diameter to be 18 inches throughout.
2. Minimum depth of hole must be 42 inches.
3. 8 inches of concrete placed in bottom of hole. 6X6 post **MUST** be set in concrete with a 12 inch number 4 rebar penetrating the post 6 inches above the 8 inch foundation. Wind bracing may be required by plans examiner.



FRAMING PLAN (figures 5 and 6)

Items that must be shown:

Plan View (see figure 5)

1. All beams sized with spacing dimensions shown.
2. All joists sized with direction of joists and spacing dimensions shown.

Elevation View – height of deck measured from finish grade to deck floor must be shown. (see figure 6)
AC units are not permitted to be installed directly on top of decking.

CONNECTIONS (figures 7, 8 and 9)

Items that must be shown:

1. Rim joist of deck to rim joist of residence.
2. Beams to posts.
3. Joist to beams.

GUARD RAILS (figures 6 and 10)

Elevation view must show:

1. 36 inches minimum height.
2. Guardrail constructed to prevent a 4 inch sphere from passing through.
3. A baluster other than a traditional vertical pattern must meet all building requirements and be approved by a plans examiner. A guard rail is not required if the deck height is less than 30 inches from finish grade.

SKIRTING

Where skirting is used, it shall be done in such a manner so as to be not more than 70% opaque (closed). Skirting which is more than 70% opaque must be held 18" above grade or be installed in conjunction with a rat wall meeting the requirements of Columbus Building Code (CBC) section 4123.49. Reference (CBC) section 4525.10.

HAND RAILS (figure 11)

Items that must be shown:

1. Location of stairs (use figure 5)
2. Indicate rise and run of stairs showing material sizes.
3. Show handrail attached stairs. Handrails shall provide graspability. Handrails with a circular cross section must have an outside diameter of at least 1 ¼ inches and not greater than 2 inches. Handrails with a perimeter greater than 6 ¼ inches must provide a graspable finger recess area on both sides of the profile.



Joist and beam sizes are based on a 40 psf LIVE LOAD using pressure treated lumber.

JOIST SPACING	MAX. CLEAR SPAN
2 x 6 @ 16" on center	9' - 5"
2 x 6 @ 24" on center	7' - 10"
2 x 8 @ 16" on center	12' - 5"
2 x 8 @ 24" on center	10' - 2"
2 x 10 @ 16" on center	15' - 10"
2 x 10 @ 24" on center	13' - 1"
2 x 12 @ 16" on center	18' - 10"
2 x 12 @ 24" on center	15' - 5"

INSPECTIONS REQUIRED

Most decks can be installed and approved with only two inspections a footing inspection and a final inspection. In some cases a third inspection maybe required.

1. **Footing** – After all post holes are excavated with all loose debris and water cleaned out but before concrete is placed.
2. **Final** – After all work is completed including stairs, handrails and guardrails. For decks less than 36 inches in height (measured from the bottom of the lowest floor joist to finish grade), the decking boards must be left off at the beam and ledger board to expose the fasteners, beam and joist sizes and flashing at the ledger board. **For decks where the decking boards cannot be left off at the final inspection, a separate framing inspection before the decking boards are installed with payment of an additional inspection trip is required.**

The homeowner or contractor is not required to accompany the inspector during his/her inspection. However, it is the responsibility of the contractor to notify the homeowner of the inspection date in order to allow free access to the property, i.e., unlocked gates, no pets in yard, etc.

The building permit and drawings must be on site and available for the inspector. If the homeowner or contractor cannot be available for the inspection, the permit and approved drawings must be left in a waterproof bag or container clearly marked "building permit" and left in a visible location.



DECK - ILLUSTRATED

FIGURE 1: FOUNDATION PLAN - STANDARD

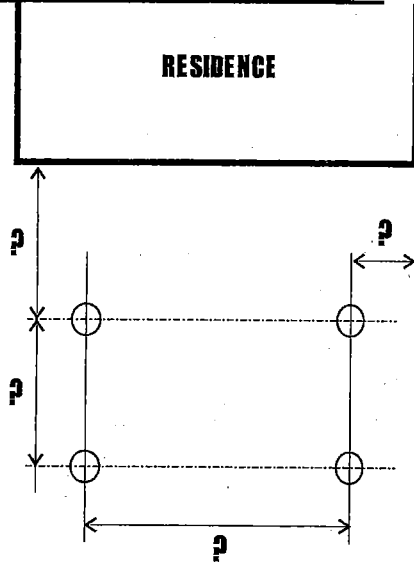


FIGURE 2: FOUNDATION PLAN - FLOATING

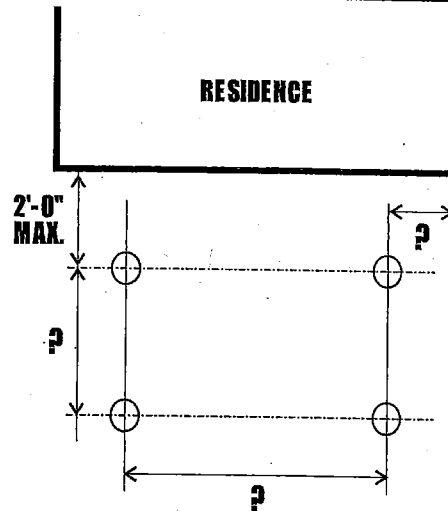
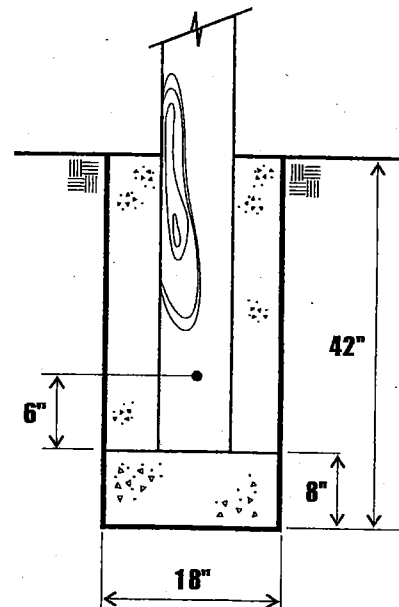
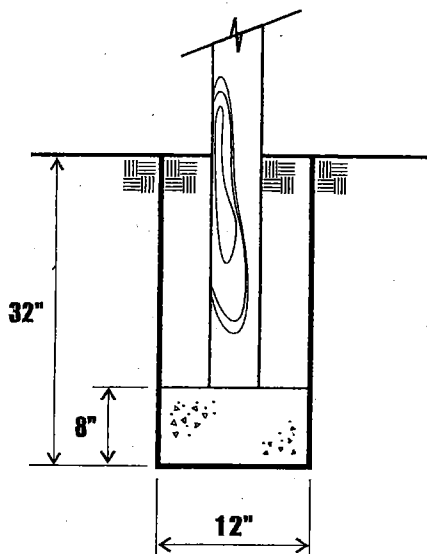


FIGURE 4: FOOTERS - ABOVE 72"

FIGURE 3: FOOTERS - BELOW 72"





DECKS - ILLUSTRATED

FIGURE 10: DECK RAILING

FIGURE 9: FLOATING DECK

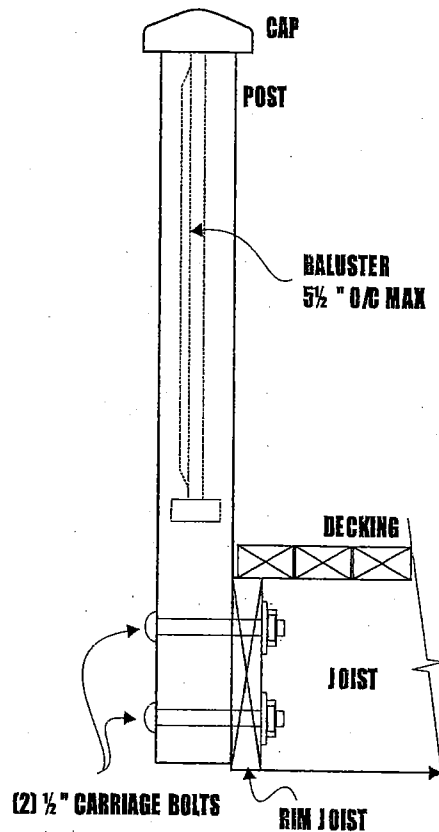
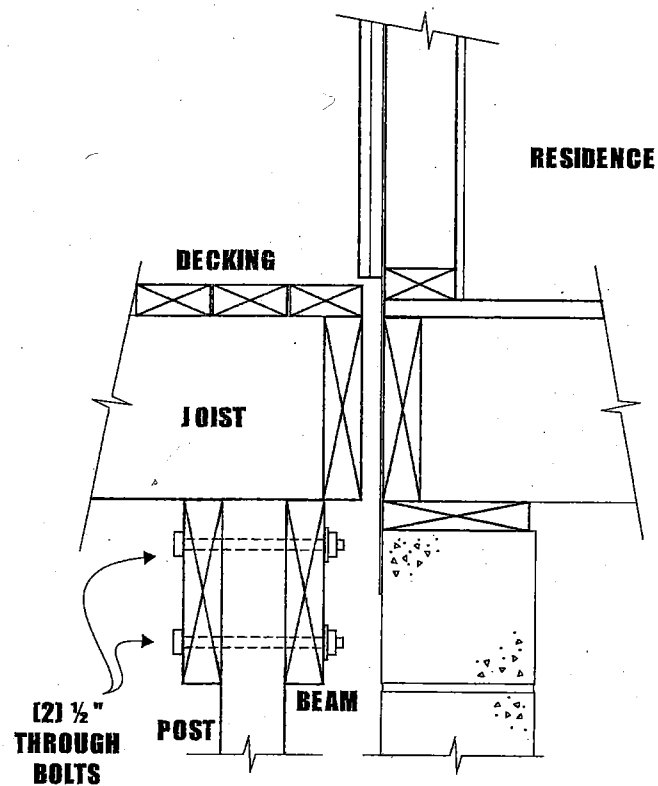
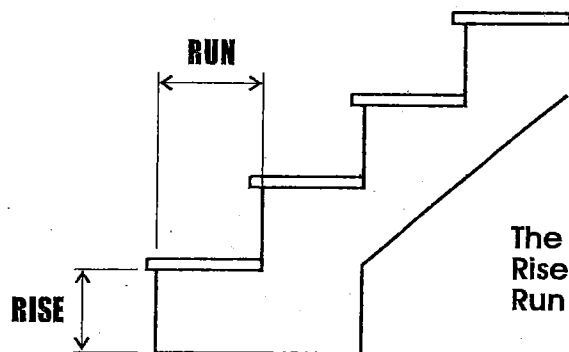


FIGURE 11: STAIR DETAILS

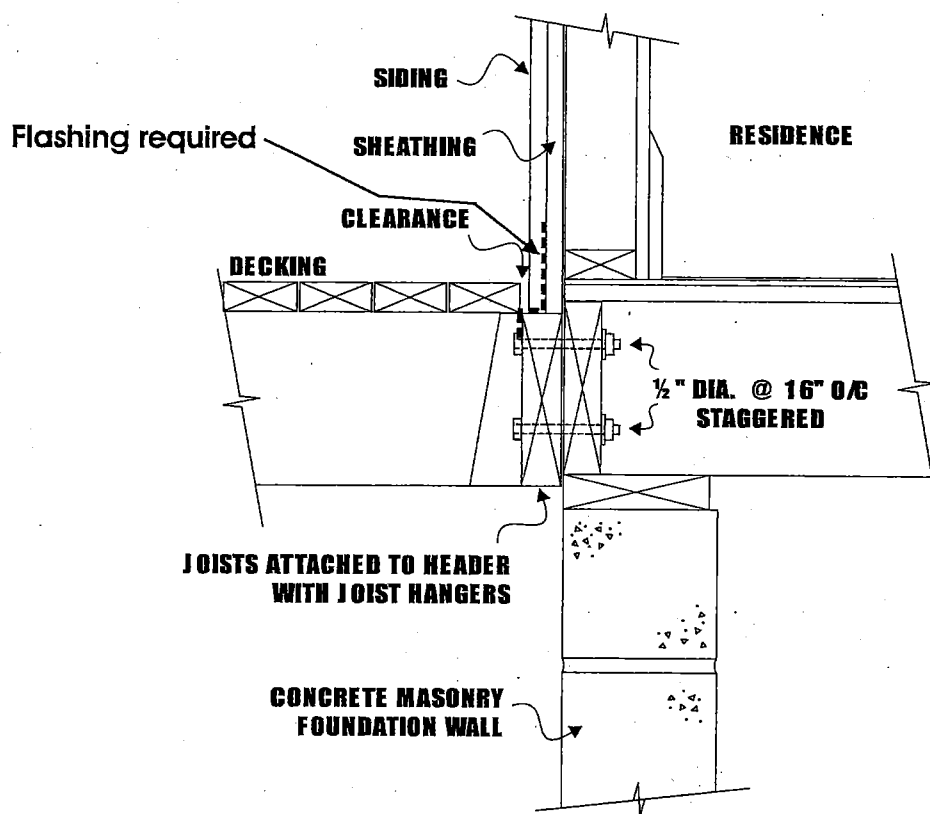


The allowable Rise and Run are:
 Rise 8.25 inches maximum
 Run 9 inches minimum



DECK - ILLUSTRATED

FIGURE 7: DECK TO SIDED WALL



If the Rimboard is OSB (Oriented Strand Board)
solid blocking is required for ledger attachment



DECK - ILLUSTRATED

FIGURE 5: FRAMING PLAN

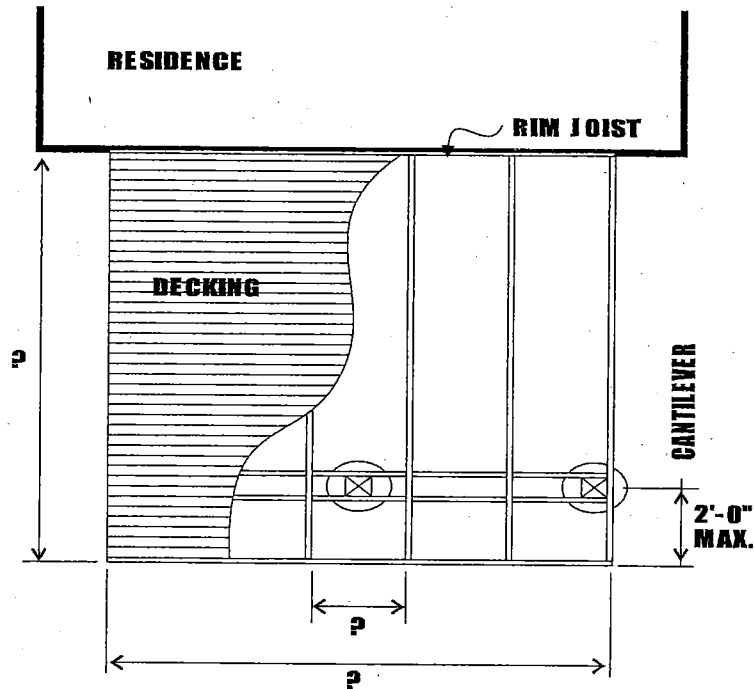
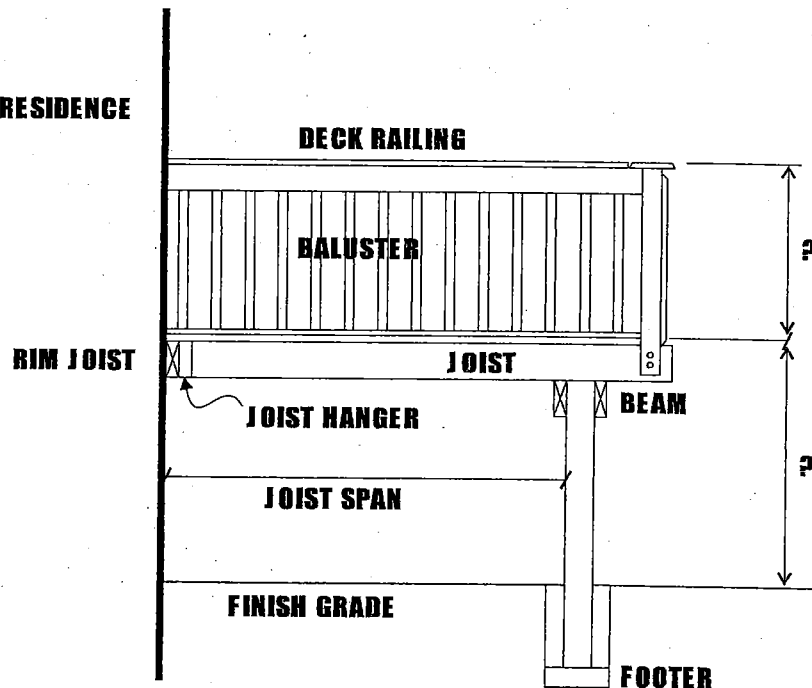


FIGURE 6: FRAMING ELEVATION

RESIDENCE





BOARD OF ZONING ADJUSTMENT APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services

757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION

13310-00562

2257 Ashley Dr.

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Cheryl L. Moland
of (COMPLETE ADDRESS) 2257 Ashley Dr. Columbus, OH 43224

deposes and states that (he/she) is the APPLICANT, AGENT OR DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application and their mailing addresses:

NAME

COMPLETE MAILING ADDRESS

Cheryl L. Moland

2257 Ashley Dr. Columbus, OH 43224

Huntington Mortgage

EA2W42 Payment Processing, P.O. Box 182661, Columbus OH 43218-2661

SIGNATURE OF AFFIANT

Subscribed to me in my presence and before me this 5th day of August, in the year 2013

SIGNATURE OF NOTARY PUBLIC

DAVID J. REISS

NOTARY PUBLIC - STATE OF OHIO

My Commission Expires:

MY COMMISSION EXPIRES MAY 30, 2015

Notary Seal Here

PLEASE NOTE: incomplete information will result in the rejection of this submittal.

For all questions regarding this form and fees please call: 614-645-4522

Please make all checks payable to the Columbus City Treasurer

Revised 02/01/11