



REZONING APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services
757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

OFFICE USE ONLY

Application #: 214-044/14335-00000-0
Date Received: 9/18/14
Application Accepted By: S. Pine Fee: \$15,000
Comments: Assigned to Shannon Pine, 645-2208, spine@columbus.gov

LOCATION AND ZONING REQUEST:

Certified Address (for Zoning Purposes) 5074 East Dublin-Granville Road Zip 43054
Is this application being annexed into the City of Columbus ☐ Yes ☒ No (circle one)
If the site is currently pending annexation, Applicant must show documentation of County Commissioner's adoption of the annexation petition.

Parcel Number for Certified Address 010-286113-00

☒ Check here if listing additional parcel numbers on a separate page.

Current Zoning District(s) L-C-4; CPD; PUD-8 Requested Zoning District(s) ~~L-C-4~~; CPD; L-AR-1
Area Commission or Civic Association: Northland Community Council (Subareas A, B and C) and Rocky Fork Blacklick Accord (Subareas D and E)

Proposed Use or reason for rezoning request: To down-zone a large portion of the southwest quadrant of the S.R. 161/Hamilton Road interchange to permit office uses; to move multi-family uses from the south side of S.R. 161 to the north side; and to move commercial uses on the north side of S.R. 161 to the south side and reduce the amount of commercial acreage. (continue on separate page if necessary)

Proposed Height District: H-110 (Subarea A); ~~H-35~~ H-35 (Subareas B and C); H-60 (Subareas D and E) Acreage 173.79+/-
(Columbus City Code Section 3309.14)

APPLICANT:

Name DNC Hamilton Crossing, LLC
Address c/o The Daimler Group, 1533 Lake Shore Drive City/State Columbus, Ohio Zip 43204
Phone # 614.545.7402 Fax # 614.488.0603 Email paulg@daimlergroup.com

PROPERTY OWNER(S):

Name TCCI Acquisitions, LLC
Address 250 Civic Center Drive, Suite 500 City/State Columbus, Ohio Zip 43215
Phone # 614.227.3485 Fax # 614.221.4454 Email cfraas@castoinfo.com
☒ Check here if listing additional property owners on a separate page

ATTORNEY / AGENT (CHECK ONE IF APPLICABLE)

☒ Attorney ☐ Agent

Name Aaron L. Underhill, Esq.
Address Underhill Yaross, LLC, 8000 Walton Parkway, Suite 260 City/State New Albany, Ohio Zip 43054
Phone # 614.335.9320 Fax # 614.335.9329 Email: aaron@underhillyaross.com

SIGNATURES (ALL SIGNATURES MUST BE PROVIDED AND SIGNED IN BLUE INK)

APPLICANT SIGNATURE By: Aaron L. Underhill Aaron L. Underhill, attorney for applicant
PROPERTY OWNER SIGNATURE By: Aaron L. Underhill Aaron L. Underhill, attorney for applicant Owner
ATTORNEY / AGENT SIGNATURE Aaron L. Underhill

My signature attests to the fact that the attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay the review of this application.

PLEASE NOTE: incomplete information will result in the rejection of this submittal.
Applications must be submitted by appointment. Call 614-645-4522 to schedule.
Please make all checks payable to the Columbus City Treasurer

Property Owners Included in Rezoning Application for
Z14-044; 5074 East Dublin-Granville Road

Stephen L. Harper, Tr.
250 Civic Center Drive, #500
Columbus, Ohio 43215

Parcel Number(s):

010-273253-00
010-247888-00
545-175661-00

The New Albany Company, LLC
8000 Walton Parkway, Box 490
New Albany, Ohio 43054

Parcel Number(s):

010-220083-00
010-272141-00
010-273256-00
010-273255-00

TCCI Acquisitions, LLC, et al.
250 Civic Center Drive, #500
Columbus, Ohio 43215

Parcel Number(s):

010-286114-00
010-286113-00
010-221377-00
010-280216-00

Town & Country City, Inc.
250 Civic Center Drive, #500
Columbus, Ohio 43215

Parcel Number(s):

545-280181-00

Center State Enterprises, LLC
259 West Schrock Road
Westerville, Ohio 43081

Parcel Number(s):

545-175659-00
545-291670-00



REZONING APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services
1757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

AFFIDAVIT

(See instruction sheet)

APPLICATION # 214-044

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (1) NAME Aaron L. Underhill, Esq.
of (1) MAILING ADDRESS Underhill Yaross, LLC, 8000 Walton Parkway, Suite 260, New Albany, Ohio 43054

deposed and states that (he/she) is the applicant, agent, or duly authorized attorney for same and the following is a list of the name(s) and mailing address(es) of all the owners of record of the property located at

(2) CERTIFIED ADDRESS FOR ZONING PURPOSES 5074 East Dublin-Granville Road
for which the application for a rezoning, variance, special permit or graphics plan was filed with the Department of Building and Zoning Services, on (3) 9/18/14

(THIS LINE TO BE FILLED OUT BY CITY STAFF)

SUBJECT PROPERTY OWNERS NAME
AND MAILING ADDRESS

☒ Check here if listing additional property owners
on a separate page.

(4) TCCI Acquisitions, LLC
250 Civic Center Drive, Suite 500
Columbus, Ohio 43215

APPLICANT'S NAME AND PHONE #
(same as listed on front of application)

DNC Hamilton Crossing, LLC
614.545.7402

AREA COMMISSION OR CIVIC GROUP
AREA COMMISSION ZONING CHAIR OR
CONTACT PERSON AND ADDRESS

(5) Rocky Fork Blacklick Accord Northland Community Council
c/o Christine Leed, Planner P.O. Box 297836
City of Columbus Planning Division Columbus, Ohio 43229
50 West Gay Street, 4th Floor Attn: Dave Paul
Columbus, Ohio 43215

and that the attached document (6) is a list of the names and complete mailing addresses, including zip codes, as shown on the County Auditor's Current Tax List or the County Treasurer's Mailing List, of all the owners of record of property within 125 feet of the exterior boundaries of the property for which the application was filed, and all of the owners of any property within 125 feet of the applicant's or owner's property in the event the applicant or the property owner owns the property contiguous to the subject property(7)

SIGNATURE OF AFFIANT

(8) Aaron L. Underhill
Subscribed to me in my presence and before me this 18th day of September, in the year 2014

SIGNATURE OF NOTARY PUBLIC

(8) Agnes Cisco

My Commission Expires:

This Affidavit expires six months after date of notarization.

Notary Seal Here



Agnes Cisco
Notary Public, State of Ohio
My Commission Expires 07-10-2017

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**APPLICANT/OWNER:
(BELOW)**

**AGENT:
(BELOW)**

**AREA COMMISSION OR
NEIGHBORHOOD GROUP(S):**

DNC Hamilton Crossing, LLC
c/o The Daimler Group
1533 Lake Shore Drive
Columbus, Ohio 43204

Aaron L. Underhill, Esq.
Underhill Yaross, LLC
8000 Walton Parkway, Suite 260
New Albany, Ohio 43054

Northland Community Council
Attn: Dave Paul
P.O. Box 297836
Columbus, Ohio 43229

Rocky Fork Blacklick Accord
c/o Christine Leed, Planner
City of Columbus Planning Division
50 West Gay Street, 4th Floor
Columbus, Ohio 43215

161 Hamilton, LLC
5150 East Dublin Granville Road
Westerville, Ohio 43081

RS 161 East, LLC
5100 Dublin Granville Road
Westerville, Ohio 43081

Blendon-Beecham Properties
5959 North Hamilton Road
Columbus, Ohio 43230

State of Ohio
4730 Dublin Granville Road
Columbus, Ohio 43230

Neil E. Billman, Tr.
5345 Rufford Street
Westerville, Ohio 43081

Cardinal Title Holding Co.
250 East Broad Street, Suite 1100
Columbus, Ohio 43210

City of Columbus, Ohio
4928 Dublin Granville Road
Westerville, Ohio 43081

Levetz Group, Inc.
5353 Porlock Place
Westerville, Ohio 43081

Seve Properties, LLC
5332 Nottinghamshire Lane
Westerville, Ohio 43081

Betty L. Ulbrich
5318 Nottinghamshire Lane
Westerville, Ohio 43081

The Village at Preston Woods, LLC
470 Olde Worthington Road, #470
Westerville, Ohio 43081

City of Columbus, Ohio
90 West Broad Street, #425
Columbus, Ohio 43215

Suellen Nuhn
6441 Peppermill Drive
Westerville, Ohio 43081

Terri L. Wise
6245 Glenabby Drive
Westerville, Ohio 43081

Steven N. Berkowitz &
Barbara L. Guthoff
6279 Abby Gate Court
Westerville, Ohio 43081

4701 Rexwood Drive Apartment
Investments
4701 Rexwood Drive
Columbus, Ohio 43230

Columbia Gas Transmission Corp.
5855 North Hamilton Road
Columbus, Ohio 43230

Slate Ridge Holdings, LLC
5759 North Hamilton Road
Columbus, Ohio 43230

Summit Properties Partnership, LP
309 East Morehead Street, # 200
Charlotte, North Carolina 28202

214-044



REZONING APPLICATION

City of Columbus, Ohio • Department of Building & Zoning Services
757 Carolyn Avenue, Columbus, Ohio 43224 • Phone: 614-645-7433 • www.columbus.gov

PROJECT DISCLOSURE STATEMENT

Parties having a 5% or more interest in the project that is the subject of this application.

THIS PAGE MUST BE FILLED OUT COMPLETELY AND NOTARIZED. Do not indicate 'NONE' in the space provided.

APPLICATION # 214-044

STATE OF OHIO
COUNTY OF FRANKLIN

Being first duly cautioned and sworn (NAME) Aaron L. Underhill, Esq.
of (COMPLETE ADDRESS) Underhill Yaross, LLC, 8000 Walton Parkway, Suite 260, New Albany, Ohio 43054
deposes and states that (he/she) is the APPLICANT, AGENT or DULY AUTHORIZED ATTORNEY FOR SAME and the following is a list of all persons, other partnerships, corporations or entities having a 5% or more interest in the project which is the subject of this application in the following format:

Name of business or individual
Business or individual's address
Address of corporate headquarters
City, State, Zip
Number of Columbus based employees
Contact name and number

1. Please see the attached list of property owners.	2.
3.	4.

☒ Check here if listing additional parties on a separate page.

SIGNATURE OF AFFIANT

Aaron L. Underhill

Subscribed to me in my presence and before me this 18th day of September, in the year 2014

SIGNATURE OF NOTARY PUBLIC

Agnes Cisco

My Commission Expires:

7-10-2017

This Project Disclosure Statement expires six months after date of notarization.

Notary Seal Here



Agnes Cisco

Notary Public, State of Ohio

My Commission Expires 07-10-2017

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Project Disclosure Statement
Z14-044

Stephen L. Harper, Tr.
250 Civic Center Drive, #500
Columbus, Ohio 43215
Columbus Based Employees: 0
Contact Name: Charlie Fraas
Contact Number: 614.227.3485

The New Albany Company, LLC
8000 Walton Parkway, Box 490
New Albany, Ohio 43054
Columbus Based Employees: 9
Contact Name: Brent Bradbury
Contact Number: 614.939.8000

TCCI Acquisitions, LLC, et al.
250 Civic Center Drive, #500
Columbus, Ohio 43215
Columbus Based Employees: 0
Contact Name: Charlie Fraas
Contact Number: 614.227.3485

Town & Country City, Inc.
250 Civic Center Drive, #500
Columbus, Ohio 43215
Columbus Based Employees: 0
Contact Name: Charlie Fraas
Contact Number: 614.227.3485

Center State Enterprises, LLC
259 West Schrock Road
Westerville, Ohio 43081
Columbus Based Employees: 0
Contact Name: David Martin
Contact Number: 614.818.1101

DNC Hamilton Crossing, LLC
c/o The Daimler Group
1533 Lake Shore Drive
Columbus, Ohio 43204
Columbus Based Employees: 0
Contact Name: Paul Ghidotti
Contact Number: 614.545.7402



City of Columbus Zoning Plat



214-044

ZONING NUMBER

The Zoning Number Contained on This Form
is Herein Certified to Obtain Zoning, Rezoning,
and Variances, and is NOT to be Used for
the Securing of Building & Utility Permits

Parcel ID: 010286113

Zoning Number: 5074

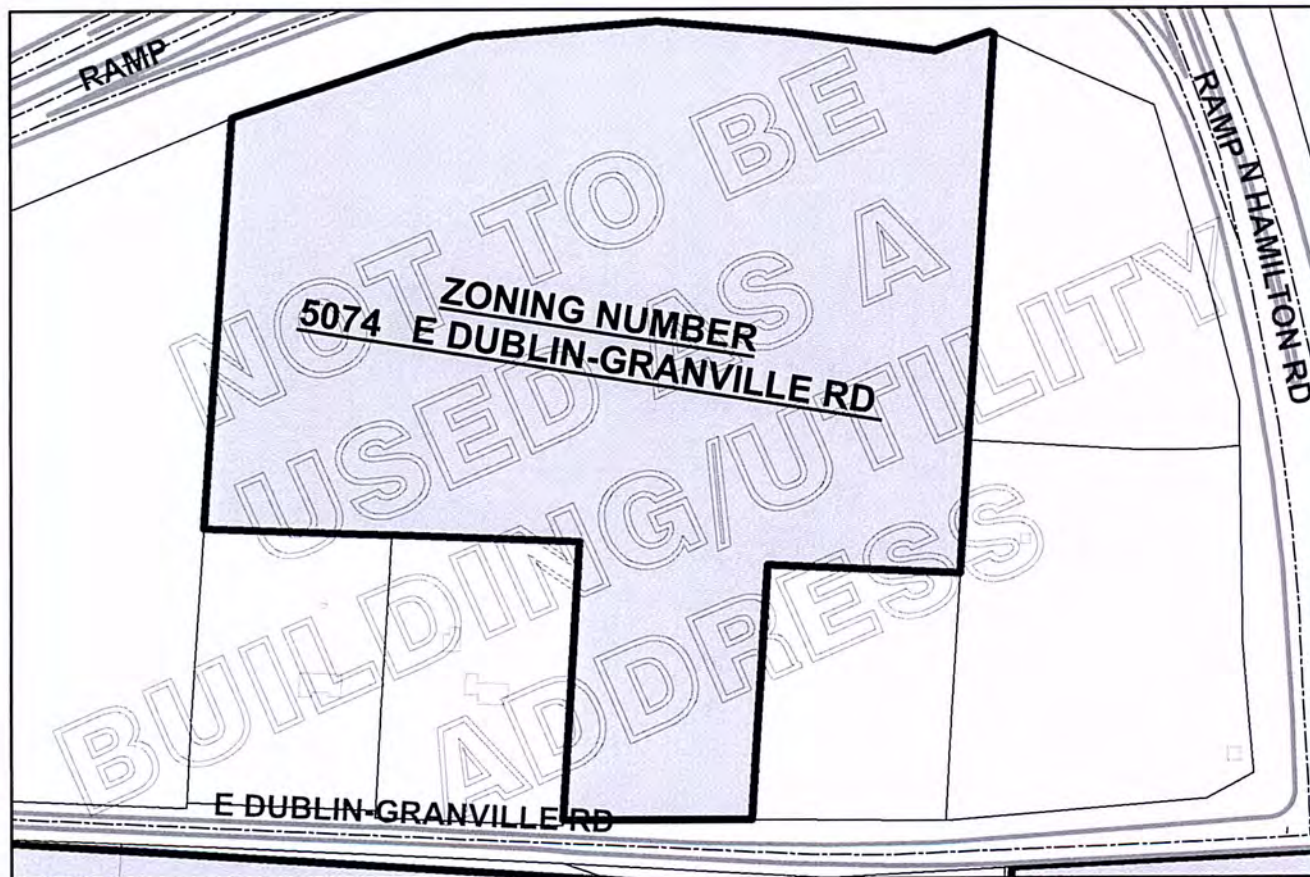
Street Name: E DUBLIN-GRANVILLE RD

Lot Number : 133

Subdivision: N/A

Requested By: UNDERHILL YAROSS, LL, (KIMBERLY R GRAYSON)

Issued By: *Jenna Harrison* Date: 9/15/2014



SCALE: 1 inch = 300 feet

GIS FILE NUMBER: 22831

JENNIFER L. GALLGAHER, P.E., DEPUTY DIRECTOR
DIVISION OF INFRASTRUCTURE MANAGEMENT
COLUMBUS, OHIO



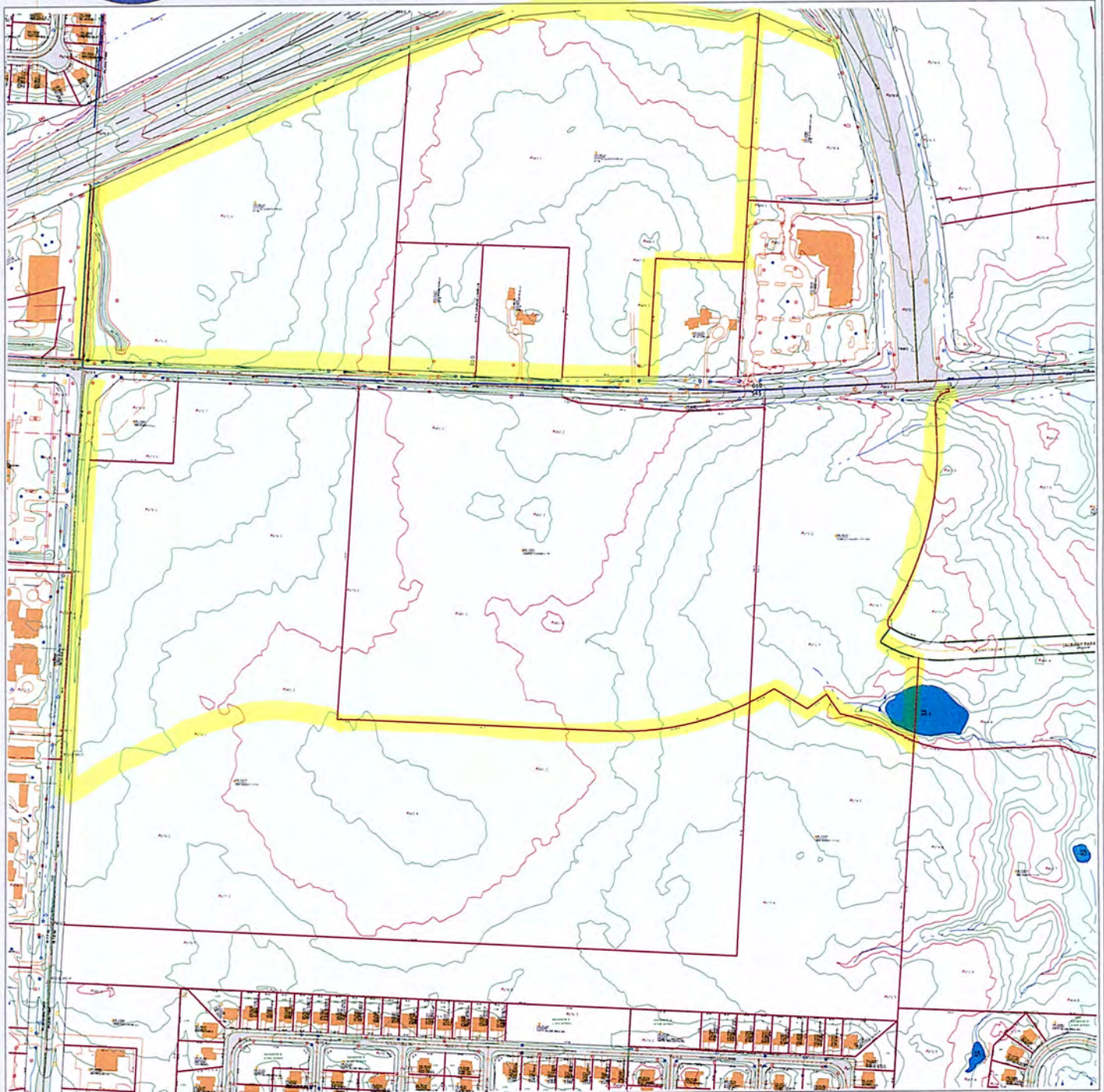
214-044



CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: C

DATE: 9/12/14



Disclaimer

Scale = 500



This map is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this map are notified that the public primary information sources should be consulted for verification of the information contained on this map. The county and the mapping companies assume no legal responsibilities for the information contained on this map. Please notify the Franklin County GIS Division of any discrepancies.

Real Estate / GIS Department

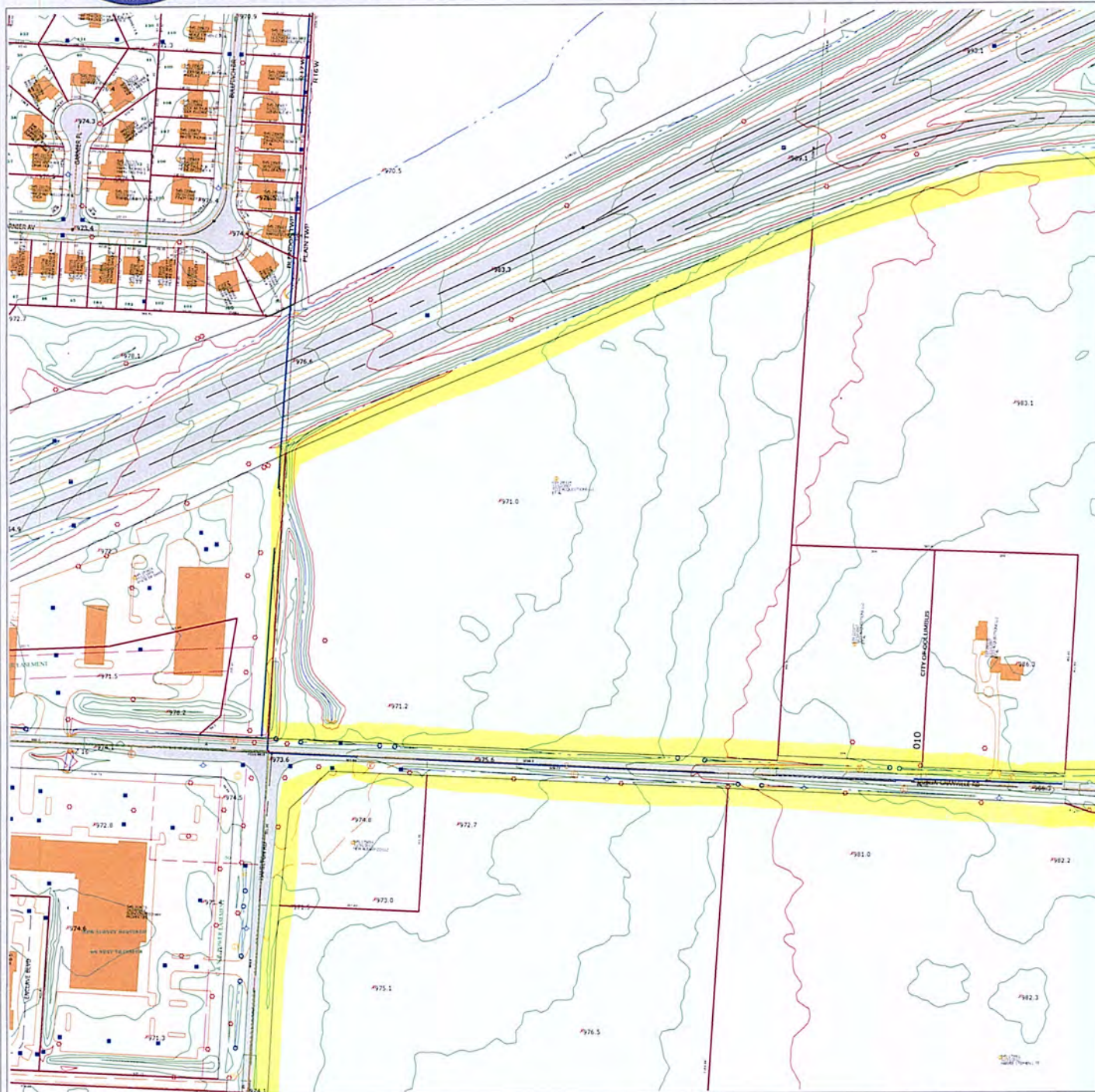
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CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: C

DATE: 9/12/14



Disclaimer

Scale = 300

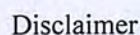


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Real Estate / GIS Department



DATE: 9/12/14



Grid
North

Real Estate / GIS Department

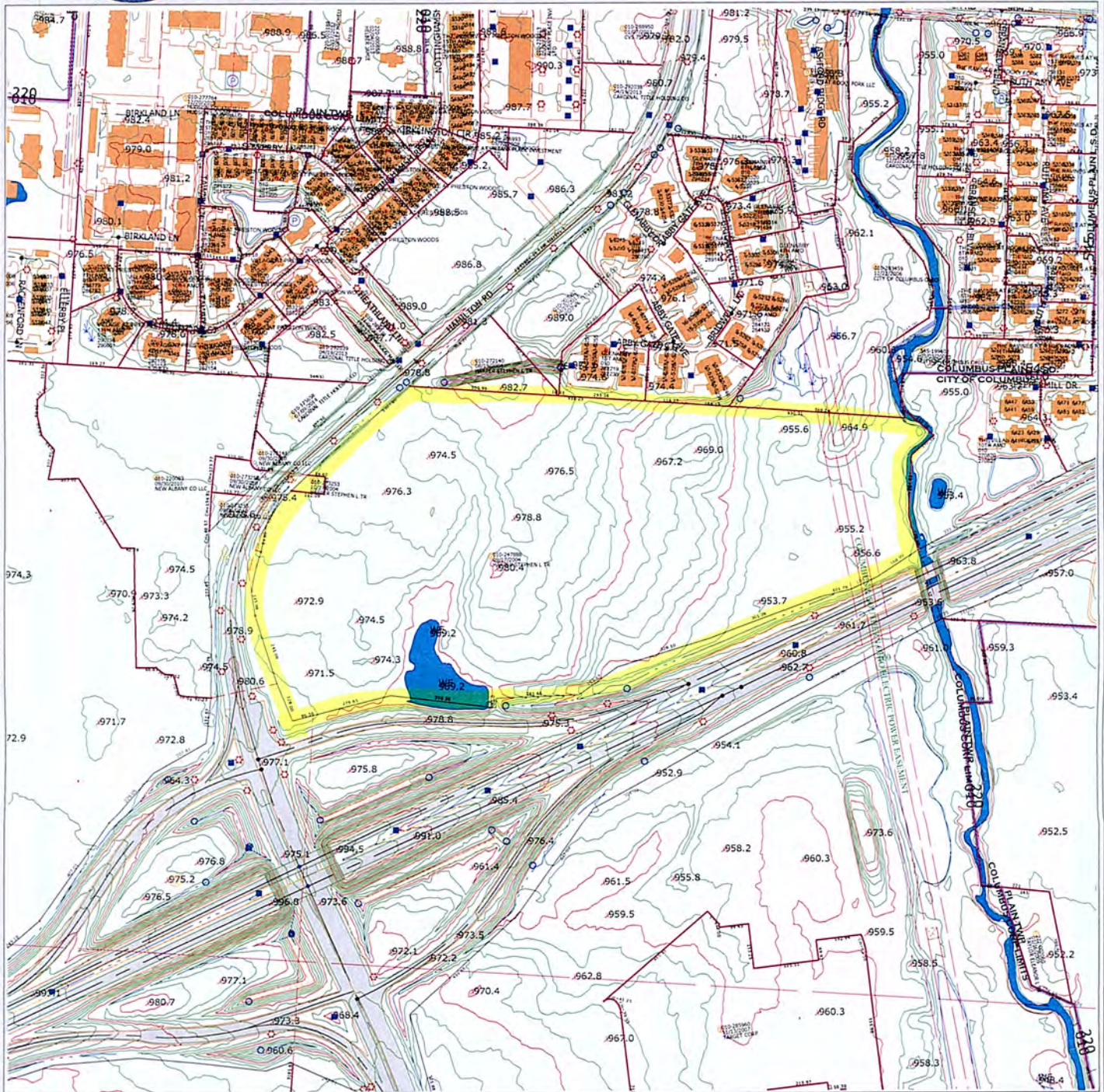
214-044



CLARENCE E MINGO II FRANKLIN COUNTY AUDITOR

MAP ID: y

DATE: 9/12/14



Disclaimer

Scale = 500

Grid
North

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Real Estate / GIS Department

**COMMERICAL PLANNED DEVELOPMENT TEXT
AND
RESIDENTIAL LIMITATION OVERLAY TEXT**

PROPOSED DISTRICT: CPD, L-AR-1
PROPERTY ADDRESS: 5074 E. Dublin-Granville Road
OWNER: TCCI Acquisitions, LLC, et al.
APPLICANT: DNC Hamilton Crossing, LLC
DATE OF TEXT: 9/18/14
APPLICATION NUMBER: Z14-044

INTRODUCTION: The real property that is the subject of this zoning text consists of 173.79+/- acres located on the north and south sides of the State Route 161 Expressway in the vicinity of the Hamilton Road interchange. The site includes most of the acreage found in the southwest quadrant of the interchange to the north of East-Dublin-Granville Road, much of which is being down-zoned to eliminate retail uses and to provide for a commitment to office development. The balance of this quadrant, as well as the portion of the site that is located to the south of East Dublin-Granville Road, are being rezoned to facilitate mixed use commercial and office development to accommodate modern development trends. The portions of the site located in the northeast and northwest quadrants of the interchange are being rezoned to accommodate multi-family development.

This application serves to relocate the commercial uses that are presently permitted in the northeast and northwest quadrants of the interchange to a location to the southwest of and adjacent to the intersection of East Dublin-Granville Road and existing Hamilton Road. Similarly, it will relocate multi-family uses that are currently permitted at this intersection to the north side of the freeway. These relocations will serve to provide for uniform commercial zoning districts and development standards on the south side of East Dublin-Granville Road and will yield a reduction in the amount of retail acreage permitted in the area from the presently zoned 51.5+/- acres of retail acreage on the north to less than 27 acres in a subarea located to the southwest of the intersection of East Dublin-Granville Road and existing Hamilton Road.

1. SUBAREA A: CPD

1.01 LOCATION: Subarea A is located to the southwest of the State Route 161 Expressway interchange at Hamilton Road and is found to the north of East Dublin-Granville Road. The proposed acreage for Subarea A is 50.72+/- gross acres in size.

1.02 PERMITTED USES:

Permitted uses and applicable development standards for these Subareas are contained in Section 3355.02 (C-4) and Chapter 3355 (C-4), respectively, of the Columbus Zoning Code unless otherwise indicated within this text.

A. The following uses shall be the only uses permitted in portions of this subarea located to the north of the centerline of the gas line easement that runs through this subarea, as shown on the subarea map shown in **Exhibit A:**

1. All uses permitted in Section 3353.03 (C-2, Office Commercial))
2. Parking garages and parking structures serving permitted uses in this subarea and/or in Subareas B and/or C
3. The following uses, but only to the extent that they are operated within a building or structure from which one or more uses permitted in Section 3353.03 (C-2, Office Commercial) are operated:
 - a. Cafes, delicatessens, and restaurants

- b. Drug stores and pharmacies
- c. Dry cleaning services
- d. Barber shops and beauty salons
- e. Ice cream and yogurt stores
- f. News dealers and newsstands
- g. Footwear sales and repair
- h. Food and beverage stores
- i. Clothing and clothing accessories stores
- j. General merchandise stores
- k. Exercise and health facilities

B. The following uses are prohibited within all portions of this subarea:

- 1. Billboards
- 2. Cabaret
- 3. Commercial radio transmitting or television station and appurtenances including cellular towers unless it is located on top of a building. Notwithstanding the previous sentence, no full size regional cell towers will be located on the top of a building if such cell tower exceeds ten (10) feet above the height of the building.
- 4. Dance hall
- 5. Electric substation
- 6. Funeral parlor
- 7. Motor bus terminal
- 8. Motion picture theater
- 9. Nightclub
- 10. Pawn shop
- 11. Poolroom
- 12. Private club
- 13. Testing or experimental laboratory
- 14. Free-standing automobile repair shops conducting engine repair provided, however, free-standing automobile repair shops which conduct routine maintenance shall be permitted.

1.03 DEVELOPMENT STANDARDS: The applicable development standards are contained in Chapter 3356 (C-4, Commercial) of the Columbus City Code unless otherwise indicated within this text.

1.04 DENSITY, HEIGHT, LOT AND SETBACK COMMITMENTS:

A. The permitted maximum site density within Subarea A shall not exceed:

- 1. The ratio of 12,000 gross square feet of building per net acre of site for retail uses;
- 2. The ratio of 18,000 gross square feet of building per net acre of site for office uses if no parking garages or other parking structures are utilized to serve such uses; and
- 3. The ratio of 30,000 gross square feet of building per net acre of site for office uses if parking garages or other parking structures are utilized to serve such uses.

B. Setbacks:

- 1. The minimum setback from the right-of-way for the State Route 161 Expressway shall be 40 feet for parking and maneuvering areas and for buildings.

2. The minimum setback from the right-of-way for East Dublin-Granville Road shall be 20 feet for parking and maneuvering areas and 5 feet for buildings.
 3. The minimum setback along other public streets shall be 20 feet for parking and maneuvering areas and 5 feet for buildings.
 4. The minimum setback from the western boundary line of Subarea A shall be 25 feet for parking and maneuvering areas, canopies and buildings.
 5. The minimum setback from the eastern boundary line of Subarea A shall be zero for parking and maneuvering areas, canopies and buildings, except that there shall be a minimum setback for parking and maneuvering areas, canopies and buildings of twenty (20) feet from Franklin County Auditor Tax Parcel Numbers 010-245194 and 010-221373 as they exist on the date of this text.
 6. There shall be a zero setback for pavement and buildings for interior property lines within this subarea.
 7. Building overhangs, stoops, steps, patios, and other architectural features shall be permitted to encroach into minimum required building setbacks, provided, however, that no encroachment will be permitted into the public right-of-way.
 8. Building setbacks shall not apply to landscape features such as, but not limited to, planters or walls six (6) feet high or less or ornamental fencing which may or may not contain signage.
 9. Any outparcel which is less than two (2) acres in size shall have side and rear yard setback of ten (10) feet for all buildings, parking and maneuvering areas, except for pedestrian and/or vehicular cross access areas.
- C. Height District: The height district shall be 110 feet as measured per the Columbus Zoning Code for all portions of this subarea located to the north of the centerline of the gas line easement (as shown on subarea plan attached hereto as **Exhibit A**). The height district shall be 60 feet as measured per the Columbus Zoning Code for all portions of this subarea located to the south of the centerline of the gas line easement.
- D. Lot Coverage: For structures and paved areas lot coverage shall not exceed eighty percent (80%). Internal sidewalks and bikeways shall not be considered as part of the lot coverage.

1.05. ACCESS, LOADING, PARKING AND OTHER TRAFFIC-RELATED COMMITMENTS:

- A. Parking shall be provided pursuant to Chapter 3312 (Off-Street Parking and Loading) of the Columbus Zoning Code.
- B. Overnight parking of semi-tractor trailers, box trucks, commercial vehicles or recreational vehicles outside of loading areas shall be prohibited. Trucks located within loading areas shall not be permitted to leave engines running overnight.
- C. This subarea shall be serviced by a minimum of two (2) full movement vehicular access points on East Dublin-Granville Road and one (1) full movement vehicular access point on Hamilton Road. Additional full movement and/or restricted movement vehicular access points may be permitted to serve this subarea if supported by a traffic impact study that is approved by the City of Columbus Division of Traffic. Spacing of all curbcuts shall be approved by the City of Columbus Division of Traffic.
- D. An area for bike parking shall be provided for each office building.

1.06. BUFFERING, LANDSCAPING, OPEN SPACE AND SCREENING COMMITMENTS:

A. Landscaping within the required parking setback along East Dublin-Granville Road shall contain one or more of the following: a minimum 3-foot high shrubbery screen, mounding with deciduous trees, evergreen trees, and/or shrubbery, and/or a fence. Where buildings encroach five (5) feet or more into the required pavement setback as permitted under this text, the requirements of this paragraph shall not apply. It is the intent that all portions of the parking setback along East Dublin-Granville Road that do not contain buildings as provided in the preceding sentence shall be landscaped in accordance with this paragraph.

B. A street tree row shall be established along all publicly dedicated rights-of-way containing one (1) tree for every fifty (50) feet of street frontage. Trees may be grouped or spaced. Such trees shall be those specified in the Columbus Street Program guidelines from the City of Columbus Forester and shall be located a minimum of ten (10) feet from the edge of the right-of-way unless the City of Columbus approves planting these trees closer to the right-of-way or within the right-of-way. Minimum tree size at installation shall be two and one-half (2 ½) caliper inches in all setback areas along East Dublin-Granville Road.

C. Within this subarea, there shall be no less than one (1) tree planted for every twenty-five (25) parking spaces. Trees shall be planted in islands at least six (6) feet wide and eighteen (18) feet long. Notwithstanding the previous sentence, if parking landscape “diamonds” are used in the parking lot, the minimum size shall be seven (7) feet by seven (7) feet. At least five percent (5%) of the vehicular use area (i.e., parking lot excluding the perimeter circulation drive exterior to the parking lot) shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.

D. An internal pedestrian circulation system shall be created so that a pedestrian using a public sidewalk along a public street can access the adjacent buildings through their parking lots delineated with markings, crosswalks, and/or other materials, directing foot traffic, where possible, away from primary access drives.

E. Deciduous trees shall be planted along both sides of any internal private access road that serves outparcels in this subarea, in a number not less than one (1) tree per fifty (50) feet of access road.

F. Minimum tree size at installation shall be not less than two and one-half (2 ½) caliper inches for street and/or shade trees, six (6) feet in height for evergreen trees, one and one-half (1 ½) caliper inches for ornamental trees, and two (2) gallons for shrubs. Caliper shall be measured six (6) inches above grade. Any mounding shall have a maximum 3:1 slope with landscaping.

G. All trees and landscaping shall be well maintained, properly weeded and kept free of trash. Dead items shall be replaced within six (6) months or the next planting season, whichever occurs first.

H. The property owner or its assigns or a forced and funded property owners’ association shall maintain any fencing and landscaping required by this Section 1.06.

I. To the extent that such screening is not provided by or through the other requirements of this Section 1.06, all parking spaces which are adjacent to East Dublin-Granville Road or relocated Hamilton Road shall have headlight screening parallel to the frontage with a minimum height of thirty (30) inches as measured from the elevation of the nearest section of the adjacent parking area. Headlight screening shall be in the form of an evergreen hedge, earth mounding, fence, or wall, or some combination thereof. The requirements of this paragraph may be included as part of the landscaping treatment required within the parking setback described in this subarea text so long as the total number of trees planted and the height of the screening meet the requirements of these two sections.

J. The landscaping requirements of this section, except for trees within the parking lot, may be satisfied or off-set by the preservation of existing vegetation. Tree plantings may be offset by using existing healthy trees four (4) inches in caliper or greater (1 tree for 1 tree). Green space may be offset by saving existing green areas rather than creating new green areas.

K. Land consisting of 70.8+/- acres located to the west of and adjacent to this subarea was previously dedicated by the owner of Subarea E to the City of Columbus as parkland. This dedication shall be credited toward the parkland dedication requirements of this Subarea A.

1.07. BUILDING DESIGN AND/OR INTERIOR-EXTERIOR TREATMENT COMMITMENTS FOR RETAIL AND RELATED BUILDINGS

THE FOLLOWING BUILDING DESIGN AND/OR INTERIOR-EXTERIOR TREATMENT COMMITMENTS SHALL APPLY TO SUBAREAS A, B, AND C:

A. The architectural design for buildings in this subarea shall be consistent with the standards set forth in this text and shall be coordinated between the various uses and proposed building types. However, these standards shall not apply to buildings in which the primary use is office. For purposes of this text, the primary use of a building shall be deemed to be office if the majority of the total gross square footage of the building contains office uses.

Architectural standards shall vary based on the size of non-office tenants or users as set forth below. All architectural exhibits incorporated as part of this zoning text are representative of the types of buildings which will be constructed in this subarea but are not the only designs which are permitted under the architectural requirements set forth in this zoning text. For the purpose of clarification of the architectural terms used in this text, a list of such terms is listed in **Exhibit O**. To further help explain the types of architectural features that may be used on the buildings, such features, by way of example, are shown graphically on **Exhibits B-M**.

B. Tenants or Users With 25,000 – 50,000 Square Feet: All tenants or users in this subarea with 25,000 – 50,000 square feet of gross floor area that are not located on an outparcel shall be subject to the following architectural standards:

1. Building architecture shall conform to the styles shown in **Exhibits B, C, D, E, F, & G** for tenants or users that have 25,000 – 50,000 square feet of gross floor area.

2. For all buildings above 25,000 square feet building features and entries shall have the appearance of being 2 stories in height as per **Exhibits B, C, D, E, F, & G** with a minimum height of twenty five (25) feet and with parapets and heights comparable to and consistent with the parapets and heights shown on **Exhibits B, C, D, E, F, & G** with a minimum height of twenty five (25) feet.

3. Required architectural features shall include large storefronts, taking into account storeroom size; using roof elements such as dormers, cupolas, roof spires, and hip and gable roofs to emphasize and reduce the building scale at the building storefront; roof screens of all roof-mounted equipment and appurtenances; and fenestration, all of the above being comparable to and consistent with the features provided on the buildings shown on **Exhibits B, C, D, E, F, & G**.

4. Exterior Elevations: Each exterior elevation shall be predominately composed of brick masonry equal to or exceeding the coverage of brick found on the buildings shown on **Exhibits B, C, D, E, F, & G**, exclusive of glass areas. Brick masonry exterior walls shall be of a type of brick that is consistent with the brick shown on the buildings shown on **Exhibits B, C, D, E, F, & G**, sized from standard to king size/jumbo. Utility brick (half a concrete block that is colored at the time of fabrication) shall be prohibited. Brick walls shall be detailed in a manner comparable to and consistent with the brick walls for the buildings shown on **Exhibits B, C, D, E, F, & G**. Jack arches shall be utilized above storefronts, windows, and blind arches in a manner comparable to and consistent

with the buildings and architecture found on **Exhibits B, C, D, E, F, & G**. Belt lines (horizontal accent bands) shall be used to break up larger brick masonry walls which can be recessed or pulled from the field in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits B, C, D, E, F, & G**. Soldier courses may be used above door and window openings or as part of a belt line (horizontal accent bands). Detail bricks shall be of an accent color that is complimentary to the field brick on the building. Other exterior elevation elements shall include the treatment of slope roof fasciae and parapet cornices, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits B, C, D, E, F, & G**. The same palette of exterior finishes and color shall be used on all sides of a building, unless otherwise detailed in this zoning text.

5. Roof fasciae shall be proportioned to the scale of the roof element with classical molding details such as crown molding. The parapets shall use cornices in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits B, C, D, E, F, & G** with molded shapes made of durable material such as stone, cast stone, architectural pre-cast concrete, gypsum fiber reinforced concrete, or expanded insulation finish system (EIFS). The same material shall be used for roof fasciae to match cornices, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits B, C, D, E, F, & G**.

6. Gutters and downspouts: Gutters shall be metal-type and shall be painted to match fasciae. Downspouts shall be installed in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits B, C, D, E, F, & G** and shall be painted to match gutters. Scuppers shall be used at the rear of the building if desired. Through wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with exterior building color or shall be manufactured with a pre-finished metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper through a masonry parapet in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits B, C, D, E, F, & G**. An open scupper shall be detailed to minimize its appearance on the building elevation.

7. All exterior doors other than entry/exits shall be made of a heavy gauge metal painted to blend in with the exterior brick masonry.

8. Retail tenants occupying the end of a building or on outparcels may be permitted to have pick-up unit(s) on the end of the building. The pick-up unit(s) shall be detailed with applicable architectural standards and in a manner comparable to and consistent with the architecture of the balance of the subarea.

C. Tenants or users with 50,000 – 100,000 square feet: All tenants or users in this subarea with 50,000 – 100,000 square feet of gross floor area that are not located on an outparcel shall be subject to the following architectural standards:

1. Building architecture shall conform to the styles shown in **Exhibits H & I** for tenants or users that have 50,000 – 100,000 square feet of gross floor area.

2. Building features and entries shall have the appearance of being 2 stories in height as per **Exhibits H & I** with parapets and heights comparable to and consistent with the parapets and heights shown on **Exhibits H & I**.

3. Required architectural features shall include large storefronts taking into account storeroom size; using roof elements such as dormers, cupolas, roof spires, and hip and gable roofs to emphasize and reduce the building scale at the building storefront; roof screens of all roof-mounted equipment and appurtenances; and fenestration, all of the above being comparable to and consistent with the features provided on the buildings shown on **Exhibits H & I**.

4. Exterior Elevations: Each exterior elevation shall be predominately composed of brick masonry equal to or exceeding the coverage of brick found on the buildings shown on **Exhibits H & I**, exclusive of glass areas. Brick masonry exterior walls shall be of a type of brick that is consistent with the brick shown on the buildings shown on

Exhibits H & I, sized from standard to king size/jumbo. Utility brick (half a concrete block that is colored at the time of fabrication) shall be prohibited. Brick walls shall be detailed in a manner comparable to and consistent with the brick walls for the buildings shown on **Exhibits H & I**. Jack arches shall be utilized above storefronts, windows, and blind arches in a manner comparable to and consistent with the buildings and architecture found on **Exhibits H & I**. Belt lines (horizontal accent bands) shall be used to break up larger masonry walls which can be recessed or pulled from the field in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits H & I**. Soldier courses may be used above door and window openings or as part of a belt line (horizontal accent band). Detail bricks shall be of an accent color that is complimentary to the field brick on the building. Other exterior elevation elements shall include the treatment of slope roof fasciae and parapet cornices, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits H & I**. The same palette of exterior finishes and color shall be used on all sides of a building, unless otherwise detailed in this zoning text.

5. Roof fasciae shall be proportioned to the scale of the roof element with classical molding details such as crown molding. The parapets shall use cornices in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits H & I** with molded shapes made of durable material such as stone, cast stone, architectural pre-cast concrete, gypsum fiber reinforced concrete, or expanded insulation finish systems (EIFS). The same material shall be used for roof fasciae to match cornices, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits H & I**.

6. Gutters and downspouts: Gutters shall be metal-type and shall be painted to match fasciae. Downspouts shall be installed in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits H & I** and shall be painted to match gutters. Scuppers shall be used at the rear of the building if desired. Through wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with exterior building color or shall be manufactured with a pre-finished metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper through a masonry parapet in a manner comparable to and consistent with the buildings and architecture shown on **Exhibits H & I**. An open scupper shall be detailed to minimize its appearance on the building elevation.

7. All exterior doors other than entry/exits shall be made of a heavy gauge metal painted to blend in with the exterior brick masonry.

8. Retail tenants occupying the end of a building or on outparcels may be permitted to have pick-up unit(s) on the end of the building. The pick-up unit(s) shall be detailed with applicable architectural standards and in a manner comparable to and consistent with the architecture of the balance of the subarea.

D. Tenants or Users with 100,000 square feet or more: All tenants that utilize 100,000 square feet or more of gross floor area shall conform to the following architectural standards:

1. Building architecture shall conform to the styles shown in **Exhibits J, K, & L**.

2. Buildings shall have the appearance of being no less than the average heights maintained on **Exhibits J, K, & L** with an average parapet height no less than within 10 feet of the average parapet heights maintained on **Exhibits J, K, & L**.

3. Required architectural features for buildings of this size and scale shall include roof elements or permanent canopies at building entrance, with glass storefronts at building entrance consistent with storefronts shown on **Exhibits J, K, & L**. Building storefront elevations adjacent to the entrance which generally are solid walls may create architectural elements such as panels and blind arches to break down the overall scale of the building. All exterior walls adjacent to building entry shall maintain minimum roof parapet treatments consistent with parapets shown on **Exhibits J, K, & L**.

4. Exterior Elevations: Each exterior elevation shall contain masonry surfaces equal to or exceeding the exterior masonry surface area of the exterior elevations, shown **Exhibits J, K, & L**. The masonry surface area is required to be brick masonry equal to or exceeding the masonry surface area shown on **Exhibits J, K, & L**. Brick masonry walls shall be consistent with the masonry shown on **Exhibits J, K, & L**, except for rear walls or side walls not visible from public right-of-ways or adjacent neighborhoods. Brick walls shall be detailed at a level comparable to or exceeding the level of masonry shown on **Exhibits J, K, & L**. Belt lines (horizontal accent bands) may be used to break up larger masonry walls which can be recessed or pulled from the field. Soldier Courses may be used above door and window openings or as a part of a belt line (horizontal accent band). Detail bricks shall be of an accent color or match the field brick. The same palette of exterior finishes and color shall be used on all sides of a building, unless otherwise detailed in this zoning text.

5. Roof fasciae where implemented shall be proportioned to the scale of the roof element. Details of roof fasciae shall be complimentary with the rest of the retail center standards.

6. Gutters shall be metal type and shall be painted to match fasciae. Downspouts shall be painted to match gutters. Scuppers shall be used at the rear of the building if desired. Through-wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with the exterior masonry color or shall be manufactured with a pre-finished metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper through a masonry parapet. An open scupper shall be detailed to minimize its appearance on the building elevation.

7. All exterior doors other than entry/exits shall be made of a heavy gauge metal painted to blend in with adjacent masonry materials.

8. Retail tenants occupying the end of the building may be permitted to have pick-up unit(s) on the end of the building. The pick-up unit(s) shall be detailed to include brick masonry details specified for exterior walls around the pick-up unit(s) window.

E. Tenants or Users With Less Than 25,000 square feet: All tenants or users that utilize less than 25, 000 square feet of gross floor area and are not located on an outparcel shall be subject to the following architectural standards:

1. Building architecture shall match the style shown in **Exhibit M** for tenants or users that have less than 25,000 square feet of gross floor area and are not located on an outparcel.

2. Building features and entries shall have the appearance of being 1 to 1 ½ stories in height with parapets and roof heights comparable to and consistent with the parapets and roof heights shown on **Exhibit M**.

3. Required architectural features shall include the following elements scaled according to the size of the individual tenant or group of smaller tenants that when grouped together still have less than 25,000 square feet of gross floor area: large storefronts, taking into account storeroom size, roof elements such as dormers, cupolas, roof spires, and hip and gable roofs to emphasize and reduce the building scale, roof screens of all roof-mounted equipment and appurtenances, and fenestration, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M**.

4. Exterior Elevations: Each exterior elevation shall be predominately composed of brick masonry equal to or exceeding the coverage of brick found on the buildings shown on **Exhibit M**, exclusive of glass areas. Brick masonry exterior walls shall be of the type of brick that is comparable to and consistent with the brick shown on the buildings shown on **Exhibit M**, sized from standard to king size. Utility brick (half a concrete block that is colored at the time of fabrication) shall be prohibited. Brick walls shall be detailed in a manner comparable to and consistent with the brick walls for the buildings shown on **Exhibit M**. Jack arches shall be utilized above

storefronts, windows, and blind arches in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M**. Belt lines (horizontal accent bands) shall be used to break up larger masonry walls which can be recessed or pulled from the field in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M**. Soldier courses may be used above door and window openings or as part of a belt line (horizontal accent band). Detail bricks shall be of an accent color that is complimentary to the field brick on the building. Other exterior elevation elements shall include the treatment of slope roof fasciae and parapet cornices, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M**. The same palette of exterior finishes and color shall be used on all sides of a building, unless otherwise detailed in this zoning text.

5. Roof fasciae shall be proportioned to the scale of the roof element with classical molding details such as crown molding. The parapets shall use cornices in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M** with molded shapes made of durable material such as stone, cast stone, architectural pre-cast concrete, gypsum fiber reinforced concrete, or expanded insulation finish systems (EIFS). The same material shall be used for roof fasciae to match cornices, in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M**.

6. Gutters and downspouts: Gutters shall be metal-type and shall be painted to match fasciae. Downspouts shall be installed in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M** and shall be painted to match gutters. Scuppers shall be used at the rear of the building if desired. Through-wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with exterior building color or shall be of a manufactured metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper though a masonry parapet in a manner comparable to and consistent with the buildings and architecture shown on **Exhibit M**. An open scupper shall be detailed to minimize its appearance on the building elevation.

7. All exterior doors other than entry/exits shall be made of a heavy gauge metal painted to blend in with the exterior brick masonry.

8. No pick-up unit(s) shall be permitted for in-line retail tenants or users in this subarea other than on end caps or on outparcels.

F. Tenants or Users Located on an Outparcel: All tenants or users that are located on an outparcel shall be subject to the following architectural standards:

1. The architectural details, materials, and colors of all outparcel buildings in this subarea shall be compatible with the standards for the main retail center in the subarea as detailed below.

2. Buildings shall be designed to have a comparable level of finishes and detail on all sides. Architectural features shall include large storefronts, taking into account storeroom size. Roof elements such as dormers, cupolas, roof spires, and hip and gable roofs shall be encouraged to emphasize and reduce the building scale. All roof-mounted equipment and appurtenances shall be screened.

3. Exterior Elevations: Each exterior elevation shall be predominately composed of brick masonry equal to or exceeding the coverage of brick compatible with the main retail center in the subarea, when and if developed, exclusive of glass areas. Brick masonry exterior walls shall be of the type of brick that is compatible with the standards for the main retail center in the subarea, sized from standard to king size. Utility brick (half a concrete block that is colored at the time of fabrication) shall be prohibited. Brick walls shall be detailed in a manner comparable to and consistent with the brick wall standards for the main retail center. Jack arches shall be utilized above storefronts, windows, and blind arches compatible with the standards for the main retail center in the subarea. Belt lines (horizontal accent bands) shall be used to break up larger masonry walls which can be recessed or pulled from the field compatible with the standards for the main retail center in the subarea. Soldier courses may be used

above door and window openings or as part of a belt line (horizontal accent band). Detail bricks shall be of an accent color that is complimentary to the field brick on the building. Other exterior elevation elements shall include the treatment of slope roof fasciae and parapet cornices, compatible with the standards for the main retail center in the subarea. The same palette of exterior finishes and color shall be used on all sides of a building, unless otherwise detailed in this zoning text.

4. Roof fasciae shall be proportioned to the scale of the roof element with classical molding details such as crown molding. The parapets shall be compatible with the standards for the main retail center in the subarea with molded shapes made of durable material such as stone, cast stone, architectural pre-cast concrete, gypsum fiber reinforced concrete, or expanded insulation finish systems (EIFS). The same material shall be used for roof fasciae compatible with the standards for the main retail center in the subarea.

5. Gutters and downspouts: Gutters shall be metal-type and shall be painted to match fasciae. Downspouts shall be installed compatible with the standards for the main retail center in the subarea and shall be painted to match gutters. Scuppers shall be used at the rear of the building if desired. Through wall scuppers may be permitted where parapet walls are used. Scupper boxes and downspouts at the rear of the building shall be painted to blend in with exterior building color or shall be manufactured with a pre-finished metal of a color which compliments the finished material to which it is affixed. Overflow drains may be an open scupper through a masonry parapet compatible with the standards for the main retail center in the subarea. An open scupper shall be detailed to minimize its appearance on the building elevation.

6. All exterior doors other than entry/exits shall be made of a heavy gauge metal painted to blend in with the exterior brick masonry.

7. No outdoor playgrounds are permitted on outparcels in this subarea.

8. Pick-up unit(s) are permitted on outparcels but shall be designed to be located at or near the sides or rear of the building.

9. Mechanical equipment or other utility hardware on the roof of a building shall be screened from view from any public roadway. Rooftop screens shall be consistent and harmonious with the building's façade and character. Mechanical and all other equipment on the ground shall be fully screened from view from ground level by wall, fence, or landscape material utilizing the same material or character of the building.

1.08. DUMPSTERS, LIGHTING, OUTDOOR DISPLAY AREAS AND OTHER ENVIRONMENTAL COMMITMENTS:

A. All external outdoor lighting shall be cut-off type fixtures (downlighting), and shall be designed in such a way to prevent off-site spillage. Lighting shall not direct light onto an adjacent property or street. The source of exterior illumination of a building or landscaping shall be concealed from view. Direct lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures will be similar, and wiring for such fixtures will be underground.

B. Maximum height of light poles including fixtures shall not exceed twenty eight (28) feet, except for on a frontage outparcel the maximum height shall be eighteen (18) feet.

C. Emergency/safety egress lighting located outside the building(s) at all exterior exit doors shall be down-lit. Emergency/safety lights for all tenants shall be consistent in type and color.

D. Rear service area lighting shall be provided through the use of cut-off style down lighting with concealed light sources.

E. Lighting fixtures used to illuminate the area below a freestanding canopy shall be recessed so that the lens cover is recessed or flush with the bottom surface (ceiling) of the canopy. However, indirect lighting may be used where a shielded source of light is beamed upward and then reflected down from the underside of the canopy.

F. An outdoor display area for convenient store/gas sales shall contain only those items normally and customarily sold by such store and such seasonal items/products including but not limited to firewood, mulch, flowers and Christmas wreaths. Such display area shall be located adjacent to the building and is limited to fifty (50) square feet in area with a maximum height of three (3) feet. A five (5) foot wide pedestrian travel zone shall be maintained on a store sidewalk. Self-illuminated items such as ice/soda and vending machines are not permitted outside of a structure.

G. All new or relocated utility lines shall be installed underground.

H. All refuse shall be containerized. Such container and containment area shall be fully screened from view by a solid wall or fence that is compatible with the associated building's architecture and materials.

I. Mechanical equipment or other utility hardware on the roof of a building shall be screened from ground level by building materials, parapets or mansards compatible and consistent with the building roof or exterior. Color shall also match the building roof or exterior. Mechanical and all other equipment on the ground shall be fully screened from view at ground level with a wood fence or brick wall (matching the brick on the nearest building elevation) that screens the equipment.

1.09. GRAPHICS AND SIGNAGE COMMITMENTS: A graphics plan shall be submitted to the Columbus Graphics Commission. All signage and graphics shall conform to such graphics plan as approved by the Columbus Graphics Commission.

1.10. MISCELLANEOUS COMMITMENTS:

A. Miscellaneous

1. An "abandoned service station" is defined as a service station which has ceased operations or is closed to the public for at least six (6) months in any twelve (12) month period. The owner or lessee of an abandoned service station shall, within seven (7) days of the beginning of the closure period referred to herein:

a. Install wheel blocks, firmly attached, across the driveway entrance to the service station to prohibit unauthorized vehicle parking or abandonment of motor vehicles;

b. Remove all signs and pumps;

c. Board up all windows, garage doors and entrances to prevent the breakage of glass and the unauthorized entrance therein;

d. Take appropriate action as required by the City of Columbus Fire Code to treat abandoned underground tanks and;

e. During the closure period cut all grass, remove all rubbish and weeds and continue such maintenance as may be necessary to prevent the building or structure from deteriorating into a state of disrepair.

1.11. CPD CRITERIA:

A. Existing land uses: To the north is green space/parkland and future multi-family residential; to the east is future commercial; to the west is existing commercial; and to the south is future commercial.

B. Transportation and circulation: Access to the site shall be via East Dublin-Granville Road and existing Hamilton Road.

C. Visual form of the development: The site shall be developed in accordance with the zoning text.

D. View and visibility: In the development of the subject property and the location of the buildings and access points consideration has been given to the visibility and safety of motorists and pedestrians.

E. Proposed development: Office and commercial as permitted under this text.

F. Emissions: No adverse effects from emissions shall result from the proposed development.

G. Behavior patterns: The proposed development would serve the growing Columbus residential population as well as the motorists who use State Route 161, Hamilton Road, and East Dublin-Granville Road.

2. SUBAREA B: CPD

2.01. LOCATION: Subarea B contains approximately 44.65 acres and is located southwest of and adjacent to the intersection of East Dublin-Granville Road and the to-be-constructed portion of Hamilton Road, to the east of and adjacent to Subarea C.

2.02. PERMITTED USES: Permitted uses for subarea B are contained in Section 3356.02 (C-4, Commercial) and Section 3357.01 (C-5, Commercial) of the Columbus City Code unless otherwise indicated within this text.

A. The following uses are prohibited within this subarea:

1. Billboards
2. Cabaret
3. Commercial radio transmitting or television station and appurtenances including cellular towers unless it is located on top of a building. Notwithstanding the previous sentence, no full size regional cell towers will be located on the top of a building if such cell tower exceeds ten (10) feet above the height of the building.
4. Dance hall
5. Electric substation
6. Funeral parlor
7. Motor bus terminal
8. Motion picture theater
9. Nightclub
10. Pawn shop
11. Poolroom
12. Private club
13. Testing or experimental laboratory
14. Free-standing automobile repair shops conducting engine repair provided, however, free-standing automobile repair shops which conduct routine maintenance shall be permitted.

2.03. DEVELOPMENT STANDARDS: The applicable development standards are contained in Chapter 3356 (C-4, Commercial) of the Columbus City Code unless otherwise indicated within this text.

2.04. DENSITY, HEIGHT, LOT AND SETBACK COMMITMENTS:

A. The permitted maximum site density for the subject property shall not exceed the ratio of 12,000 gross square feet of building per net acre of the subarea except that office development shall not exceed the ratio of 18,000 gross square feet of building per net acre of the subarea. Net acreage shall be the gross acreage less the public right-of-way.

B. Setbacks:

1. The minimum setback from relocated Hamilton Road shall be 25 feet for parking and maneuvering areas and 15 feet for buildings and canopies.

2. The minimum setback from the right-of-way for East Dublin-Granville Road shall be 20 feet for parking and maneuvering areas and 5 feet for buildings and canopies.

3. The minimum setback from the western boundary line of Subarea B shall be 25 feet for parking and maneuvering areas, canopies, and buildings, provided, however, that there shall be a zero setback requirement from the western boundary line of Subarea B in the event that Subarea B and Subarea C (located to the west of and adjacent to Subarea B) are developed as a unified development.

4. There shall be a zero setback for pavement and buildings for interior property lines within this subarea.

5. Building overhangs, stoops, steps, patios, and other architectural features shall be permitted to encroach into minimum required building setbacks, provided, however, that no encroachment will be permitted into the public right-of-way.

6. Building setbacks shall not apply to landscape features such as, but not limited to, planters or walls six (6) feet high or less or ornamental fencing which may or may not contain signage.

7. Any outparcel which is less than two (2) acres in size shall have side and rear yard setback of ten (10) feet for all buildings, parking and maneuvering areas, except for pedestrian and/or vehicular cross access areas.

C. Height District: The height district for this subarea shall be 35 feet, except that buildings used for hotels or primarily used for offices shall be subject to the requirements of the 60-foot height district under the Columbus City Code. Height shall be measured exclusive of architectural features, parapets, and roof elements necessary to meet architectural standards required by this CPD text, as measured per Columbus City Code.

D. Lot Coverage: For structures and paved areas lot coverage shall not exceed eighty percent (80%). Internal sidewalks and bikeways shall not be considered as part of the lot coverage.

2.05. ACCESS, LOADING, PARKING AND OTHER TRAFFIC-RELATED COMMITMENTS:

A. Overnight parking of semi-tractor trailers, box trucks, commercial vehicles or recreational vehicles outside of loading areas shall be prohibited. Trucks located within loading areas shall not be permitted to leave engines running overnight.

B. Pedestrian access will be provided between Subarea B and Subarea C. Pedestrian access points shall be coordinated between the owners of Subarea B and Subarea C. Vehicular access may be provided between Subarea B and Subarea C if these subareas are developed as part of a unified development plan or if the owners of these subareas otherwise agree.

C. This subarea shall be serviced by (i) a minimum of two (2) full movement vehicular access points on East Dublin-Granville Road and (ii) a minimum of two (2) full movement vehicular access points on relocated Hamilton Road. A third (3rd) full movement vehicular access point shall be permitted to serve this subarea on relocated Hamilton Road if it also serves Subarea C. Additional full movement and/or restricted movement vehicular access points may be permitted to serve this subarea if supported by a traffic impact study that is approved by the City of Columbus Division of Traffic. Spacing of all curbcuts shall be approved by the City of Columbus Division of Traffic.

D. The sides of all loading docks shall be fully screened from adjacent public street rights-of-way and adjacent property to a level of at least 90% opacity to a minimum height of seven feet (7) from finished grade. Loading docks for retail tenants that have greater than 25,000 square feet of gross floor area shall be screened from off-site view with a brick wall that screens trucks using the docks. The brick on this wall shall match the brick on the exterior elevation of the building. A brick cap shall be required on top of this screening wall.

2.06. BUFFERING, LANDSCAPING, OPEN SPACE AND SCREENING COMMITMENTS:

A. Landscaping within the required parking setbacks along East Dublin-Granville Road, relocated Hamilton Road, and existing Hamilton Road shall contain some combination of a minimum three (3) foot high continuously uniform shrubbery screen, mounding with deciduous trees, evergreen trees, and/or shrubbery, and/or decorative walls and/or fencing. Where buildings are located either at or within the required minimum pavement setback from East Dublin-Granville Road or relocated Hamilton Road as permitted under this text, the requirements of this paragraph shall not apply to the street frontage in front of the building for the length of the front building façade. It is the intent that all portions of the parking setback along East Dublin-Granville Road that do not contain buildings as provided in the preceding sentence shall be landscaped in accordance with this paragraph.

B. A street tree row shall be established along all publicly dedicated rights-of-way containing one (1) tree for every thirty (30) feet of street frontage. Trees may be grouped or spaced. Such trees shall be those specified in the Columbus Street Program guidelines from the City of Columbus Forester and shall be located a minimum of ten (10) feet from the edge of the right-of-way unless the City of Columbus approves planting these trees closer to the right-of-way or within the right-of-way. Minimum tree size at installation shall be two and one-half (2 ½) caliper inches in all setback areas along East Dublin-Granville Road and relocated Hamilton Road.

C. Within this subarea, there shall be no less than one (1) tree planted for every ten (10) parking spaces. Trees shall be planted in islands at least six (6) feet wide and eighteen (18) feet long. Notwithstanding the previous sentence, if parking landscape “diamonds” are used in the parking lot, the minimum size shall be seven (7) feet by seven (7) feet. At least five (5%) of the vehicular use area (i.e., parking lot excluding the perimeter circulation drive exterior to the parking lot) shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.

D. An internal pedestrian circulation system shall be created so that a pedestrian using a public sidewalk along a public street can access the adjacent buildings through their parking lots delineated with markings, crosswalks, and/or other materials, directing foot traffic, where possible, away from primary access drives.

E. Deciduous trees shall be planted along both sides of any internal private access road that serves outparcels in this subarea, in a number not less than one (1) tree per fifty (50) feet of access road.

F. Minimum tree size at installation shall be not less than two and one-half (2 ½) caliper inches for street and/or shade trees, six (6) feet in height for evergreen trees, one and one-half (1 ½) caliper inches for ornamental trees, and two (2) gallons for shrubs. Caliper shall be measured six (6) inches above grade. Any mounding shall have a maximum 3:1 slope with landscaping.

G. All trees and landscaping shall be well maintained, properly weeded and kept free of trash. Dead items shall be replaced within six (6) months or the next planting season, whichever occurs first.

H. The property owner or its assigns or a forced and funded property owners' association shall maintain any fencing and landscaping required by this Section 2.06.

I. To the extent that such screening is not provided by or through the other requirements of this Section 2.06, all parking spaces which are adjacent to East Dublin-Granville Road or relocated Hamilton Road shall have headlight screening parallel to the frontage with a minimum height of thirty (30) inches as measured from the elevation of the nearest section of the adjacent parking area. Headlight screening shall be in the form of an evergreen hedge, earth mounding, fence, or wall, or some combination thereof. The requirements of this paragraph may be included as part of the landscaping treatment required within the parking setback described in this subarea text so long as the total number of trees planted and the height of the screening meet the requirements of these two sections.

J. The landscaping requirements of this section, except for trees within the parking lot, may be satisfied or off-set by the preservation of existing vegetation. Tree plantings may be offset by using existing healthy trees four (4) inches in caliper or greater (1 tree for 1 tree). Green space may be offset by saving existing green areas rather than creating new green areas.

K. Land consisting of 70.8+/- acres located to the west of and adjacent to Subarea E was previously dedicated by the owner of Subarea E to the City of Columbus as parkland. This dedication shall be credited toward the parkland dedication requirements of this Subarea B.

2.07. BUILDING DESIGN AND INTERIOR-EXTERIOR TREATMENT COMMITMENTS: The architectural design requirements for Subarea B shall be the same as which apply to Subarea A as provided in Section 1.07 of this text.

2.08. DUMPSTERS, LIGHTING, OUTDOOR DISPLAY AREAS AND OTHER ENVIRONMENTAL COMMITMENTS:

A. All external outdoor lighting shall be cut-off type fixtures (downlighting), and shall be designed in such a way to prevent off-site spillage. Lighting shall not direct light onto an adjacent property or street. The source of exterior illumination of a building or landscaping shall be concealed from view. Direct lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures will be similar, and wiring for such fixtures will be underground.

B. Maximum height of light poles including fixtures shall not exceed twenty eight (28) feet, except for on a frontage outparcel the maximum height shall be eighteen (18) feet.

C. Emergency/safety egress lighting located outside the building(s) at all exterior exit doors shall be down-lit. Emergency/safety lights for all tenants shall be consistent in type and color.

D. Rear service area lighting shall be provided through the use of cut-off style down lighting with concealed light sources.

E. Lighting fixtures used to illuminate the area below a freestanding canopy shall be recessed so that the lens cover is recessed or flush with the bottom surface (ceiling) of the canopy. However, indirect lighting may be used where a shielded source of light is beamed upward and then reflected down from the underside of the canopy.

F. An outdoor display area for convenient store/gas sales shall contain only those items normally and customarily sold by such store and such seasonal items/products including but not limited to firewood, mulch, flowers and Christmas wreaths. Such display area shall be located adjacent to the building and is limited to fifty (50) square feet in area with a maximum height of three (3) feet. A five (5) foot wide pedestrian travel zone shall be maintained on a store sidewalk. Self-illuminated items such as ice/soda and vending machines are not permitted outside of a structure.

G. All new or relocated utility lines shall be installed underground.

H. All refuse shall be containerized. Such container and containment area shall be fully screened from view by a solid wall or fence that is compatible with the associated building's architecture and materials.

I. Mechanical equipment or other utility hardware on the roof of a building shall be screened from ground level by building materials, parapets or mansards compatible and consistent with the building roof or exterior. Color shall also match the building roof or exterior. Mechanical and all other equipment on the ground shall be fully screened from view at ground level with a wood fence or brick wall (matching the brick on the nearest building elevation) that screens the equipment.

2.09. GRAPHICS AND SIGNAGE COMMITMENTS: A graphics plan shall be submitted to the Columbus Graphic Commission. All signage and graphics shall conform to such graphics plan as approved by the Columbus Graphic Commission.

2.10. MISCELLANEOUS COMMITMENTS:

A. Miscellaneous

1. An "abandoned service station" is defined as a service station which has ceased operations or is closed to the public for at least six (6) months in any twelve (12) month period. The owner or lessee of an abandoned service station shall, within seven (7) days of the beginning of the closure period referred to herein:

- a. Install wheel blocks, firmly attached, across the driveway entrance to the service station to prohibit unauthorized vehicle parking or abandonment of motor vehicles;
- b. Remove all signs and pumps;
- c. Board up all windows, garage doors and entrances to prevent the breakage of glass and the unauthorized entrance therein;
- d. Take appropriate action as required by the City of Columbus Fire Code to treat abandoned underground tanks and;
- e. During the closure period cut all grass, remove all rubbish and weeds and continue such maintenance as may be necessary to prevent the building or structure from deteriorating into a state of disrepair.

2.11. CPD CRITERIA:

- a. Existing land uses: To the north is future office and commercial; to the east is future office and commercial; to the west is future office and commercial; and to the south is future residential.
- b. Transportation and circulation: Access to the site shall be via East Dublin-Granville Road and future relocated Hamilton Road.

- c. Visual form of the development: The site shall be developed in accordance with the zoning text.
- d. View and visibility: In the development of the subject property and the location of the buildings and access points consideration has been given to the visibility and safety of motorists and pedestrians.
- e. Proposed development: Commercial and office as permitted under this text.
- f. Emissions: No adverse effects from emissions shall result from the proposed development.
- g. Behavior patterns: The proposed development would serve the growing Columbus residential population as well as the motorists who use State Route 161, Hamilton Road and Dublin-Granville Road.

3. SUBAREA C: CPD

3.01. LOCATION: Subarea C contains approximately 26.94 acres and is located southeast of and adjacent to the intersection of East Dublin-Granville Road existing Hamilton Road, to the west of and adjacent to Subarea B.

3.02. PERMITTED USES: Permitted uses for Subarea C are contained in Section 3356.02 (C-4, Commercial) and Section 3357.01 (C-5, Commercial) of the Columbus City Code unless otherwise indicated within this text.

A. The following uses are prohibited within this subarea:

1. Billboards
2. Cabaret
3. Commercial radio transmitting or television station and appurtenances including cellular towers unless it is located on top of a building. Notwithstanding the previous sentence, no full size regional cell towers will be located on the top of a building if such cell tower exceeds ten (10) feet above the height of the building.
4. Dance hall
5. Electric substation
6. Funeral parlor
7. Motor bus terminal
8. Motion picture theater
9. Nightclub
10. Pawn shop
11. Poolroom
12. Private club
13. Testing or experimental laboratory
14. Free-standing automobile repair shops conducting engine repair provided, however, free-standing automobile repair shops which conduct routine maintenance shall be permitted.

3.03. DEVELOPMENT STANDARDS: The applicable development standards are contained in Chapter 3356 (C-4, Commercial) of the Columbus City Code unless otherwise indicated within this text.

3.04. DENSITY, HEIGHT, LOT AND SETBACK COMMITMENTS:

A. The permitted maximum site density for the subject property shall not exceed the ratio of 12,000 gross square feet of building per net acre of the subarea except that office development shall not exceed the ratio of 18,000 gross square feet of building per net acre of the subarea. Net acreage shall be the gross acreage less the public right-of-way.

B. Setbacks:

1. The minimum setback from relocated Hamilton Road shall be 25 feet for parking and maneuvering areas and 15 feet for buildings and canopies.
2. The minimum setback from existing Hamilton Road shall be 25 feet for parking and maneuvering areas and buildings and canopies.
3. The minimum setback from the right-of-way for East Dublin-Granville Road shall be 20 feet for parking and maneuvering areas and 5 feet for buildings and canopies.
4. The minimum setback from the eastern boundary line of Subarea C shall be 25 feet for parking and maneuvering areas, canopies, and buildings, provided, however, that there shall be a zero setback requirement from the eastern boundary line of Subarea C in the event that Subarea B (located to the east of and adjacent to Subarea B) and Subarea C are developed as a unified development.
5. There shall be a zero setback for pavement and buildings for interior property lines within this subarea.
6. Building overhangs, stoops, steps, patios, and other architectural features shall be permitted to encroach into minimum required building setbacks, provided, however, that no encroachment will be permitted into the public right-of-way.
7. Building setbacks shall not apply to landscape features such as, but not limited to, planters or walls six (6) feet high or less or ornamental fencing which may or may not contain signage.
8. Any outparcel which is less than two (2) acres in size shall have side and rear yard setback of ten (10) feet for all buildings, parking and maneuvering areas, except for pedestrian and/or vehicular cross access areas.

C. Height District: The height district for this subarea shall be 35 feet, except that buildings used for hotels or primarily used for offices shall be subject to the requirements of the 60-foot height district under the Columbus City Code. Height shall be measured exclusive of architectural features, parapets, and roof elements necessary to meet architectural standards required by this CPD text, as measured per Columbus City Code.

D. Lot Coverage: For structures and paved areas lot coverage shall not exceed 80%. Internal sidewalks and bikeways shall not be considered as part of the lot coverage.

3.05. ACCESS, LOADING, PARKING AND OTHER TRAFFIC-RELATED COMMITMENTS:

A. Overnight parking of semi-tractor trailers, box trucks, commercial vehicles or recreational vehicles outside of loading areas shall be prohibited. Trucks located within loading areas shall not be permitted to leave engines running overnight.

B. Pedestrian access will be provided between Subarea B and Subarea C. Pedestrian access points shall be coordinated between the owners of Subarea B and Subarea C. Vehicular access may be provided between Subarea B and Subarea C if these subareas are developed as part of a unified development plan or if the owners of these subareas otherwise agree.

C. This subarea shall be serviced by (i) a minimum of two (2) full movement vehicular access points on East Dublin-Granville Road and (ii) a minimum of two (2) full movement vehicular access points on relocated Hamilton Road. A third (3rd) full movement vehicular access point shall be permitted to serve this subarea on relocated Hamilton Road if it also serves Subarea B. Additional full movement and/or restricted movement vehicular access

points may be permitted to serve this subarea if supported by a traffic impact study that is approved by the City of Columbus Division of Traffic. Spacing of all curbcuts shall be approved by the City of Columbus Division of Traffic.

D. The sides of all loading docks shall be fully screened from adjacent public street rights-of-way and adjacent property to a level of at least 90% opacity to a minimum height of seven feet (7) from finished grade. Loading docks for retail tenants that have greater than 25,000 square feet of gross floor area shall be screened from off-site view with a brick wall that screens trucks using the docks. The brick on this wall shall match the brick on the exterior elevation of the building. A brick cap shall be required on top of this screening wall.

3.06. BUFFERING, LANDSCAPING, OPEN SPACE AND SCREENING COMMITMENTS:

A. Landscaping within the required parking setbacks along East Dublin-Granville Road, relocated Hamilton Road, and existing Hamilton Road shall contain some combination of a minimum three (3) foot high continuously uniform shrubbery screen, mounding with deciduous trees, evergreen trees, and/or shrubbery, and/or decorative walls and/or fencing. Where buildings are located either at or within the required minimum pavement setback from East Dublin-Granville Road or relocated Hamilton Road as permitted under this text, the requirements of this paragraph shall not apply to the street frontage in front of the building for the length of the front building façade. It is the intent that all portions of the parking setback along East Dublin-Granville Road that do not contain buildings as provided in the preceding sentence shall be landscaped in accordance with this paragraph.

B. A street tree row shall be established along all publicly dedicated rights-of-way containing one (1) tree for every thirty (30) feet of street frontage. Trees may be grouped or spaced. Such trees shall be those specified in the Columbus Street Program guidelines from the City of Columbus Forester and shall be located a minimum of ten (10) feet from the edge of the right-of-way unless the City of Columbus approves planting these trees closer to the right-of-way or within the right-of-way. Minimum tree size at installation shall be two and one-half (2 ½) caliper inches in all setback areas along East Dublin-Granville Road, relocated Hamilton Road, and existing Hamilton Road.

C. Within this subarea, there shall be no less than one (1) tree planted for every ten (10) parking spaces. Trees shall be planted in islands at least six (6) feet wide and eighteen (18) feet long. Notwithstanding the previous sentence, if parking landscape “diamonds” are used in the parking lot, the minimum size shall be seven (7) feet by seven (7) feet. At least 5% of the vehicular use area (i.e., parking lot excluding the perimeter circulation drive exterior to the parking lot) shall be landscaped or green space (or tree areas). Parking lots shall be designed to accommodate parking lot islands with tree(s) at the end of parking aisles.

D. An internal pedestrian circulation system shall be created so that a pedestrian using a public sidewalk along a public street can access the adjacent buildings through their parking lots delineated with markings, crosswalks, and/or other materials, directing foot traffic, where possible, away from primary access drives.

E. Deciduous trees shall be planted along both sides of any internal private access road that serves outparcels in this subarea, in a number not less than one (1) tree per fifty (50) feet of access road.

F. Minimum tree size at installation shall be not less than two and one-half (2 ½) caliper inches for street and/or shade trees, six (6) feet in height for evergreen trees, one and one-half (1 ½) caliper inches for ornamental trees, and two (2) gallons for shrubs. Caliper shall be measured six (6) inches above grade. Any mounding shall have a maximum 3:1 slope with landscaping.

G. All trees and landscaping shall be well maintained, properly weeded and kept free of trash. Dead items shall be replaced within six (6) months or the next planting season, whichever occurs first.

H. The property owner or its assigns or a forced and funded property owners' association shall maintain any fencing and landscaping required by this Section 3.06.

I. To the extent that such screening is not provided by or through the other requirements of this Section 3.06, all parking spaces which are adjacent to East Dublin-Granville Road, relocated Hamilton Road, or existing Hamilton Road shall have headlight screening parallel to the frontage with a minimum height of thirty (30) inches as measured from the elevation of the nearest section of the adjacent parking area. Headlight screening shall be in the form of an evergreen hedge, earth mounding, fence, or wall, or some combination thereof. The requirements of this paragraph may be included as part of the landscaping treatment required within the parking setback described in this subarea text so long as the total number of trees planted and the height of the screening meet the requirements of these two sections.

J. The landscaping requirements of this section, except for trees within the parking lot, may be satisfied or off-set by the preservation of existing vegetation. Tree plantings may be offset by using existing healthy trees four (4) inches in caliper or greater (1 tree for 1 tree). Green space may be offset by saving existing green areas rather than creating new green areas.

H. Land consisting of 70.8+/- acres located to the west of and adjacent Subarea E was previously dedicated by the owner of Subarea E to the City of Columbus as parkland. This dedication shall be credited toward the parkland dedication requirements of this Subarea C.

3.07. BUILDING DESIGN AND INTERIOR-EXTERIOR TREATMENT COMMITMENTS: The architectural design requirements for Subarea C shall be the same as which apply to Subarea A as provided in Section 1.07 of this text.

3.08. DUMPSTERS, LIGHTING, OUTDOOR DISPLAY AREAS AND OTHER ENVIRONMENTAL COMMITMENTS:

A. All external outdoor lighting shall be cut-off type fixtures (downlighting), and shall be designed in such a way to prevent off-site spillage. Lighting shall not direct light onto an adjacent property or street. The source of exterior illumination of a building or landscaping shall be concealed from view. Direct lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures will be similar, and wiring for such fixtures will be underground.

B. Maximum height of light poles including fixtures shall not exceed twenty eight (28) feet, except that in parking areas located between a building and the right-of-way for existing Hamilton Road or on a frontage outparcel the maximum height shall be eighteen (18) feet.

C. Emergency/safety egress lighting located outside the building(s) at all exterior exit doors shall be down-lit. Emergency/safety lights for all tenants shall be consistent in type and color.

D. Rear service area lighting shall be provided through the use of cut-off style down lighting with concealed light sources.

E. Lighting fixtures used to illuminate the area below a freestanding canopy shall be recessed so that the lens cover is recessed or flush with the bottom surface (ceiling) of the canopy. However, indirect lighting may be used where a shielded source of light is beamed upward and then reflected down from the underside of the canopy.

F. An outdoor display area for convenient store/gas sales shall contain only those items normally and customarily sold by such store and such seasonal items/products including but not limited to firewood, mulch, flowers and Christmas wreaths. Such display area shall be located adjacent to the building and is limited to fifty (50) square feet

in area with a maximum height of three (3) feet. A five (5) foot wide pedestrian travel zone shall be maintained on a store sidewalk. Self-illuminated items such as ice/soda and vending machines are not permitted outside of a structure.

G. All new or relocated utility lines shall be installed underground.

H. All refuse shall be containerized. Such container and containment area shall be fully screened from view by a solid wall or fence that is compatible with the associated building's architecture and materials.

I. Mechanical equipment or other utility hardware on the roof of a building shall be screened from ground level by building materials, parapets or mansards compatible and consistent with the building roof or exterior. Color shall also match the building roof or exterior. Mechanical and all other equipment on the ground shall be fully screened from view at ground level with a wood fence or brick wall (matching the brick on the nearest building elevation) that screens the equipment.

3.09. GRAPHICS AND SIGNAGE COMMITMENTS: A graphics plan shall be submitted to the Columbus Graphic Commission. All signage and graphics shall conform to such graphics plan as approved by the Columbus Graphic Commission.

3.10. MISCELLANEOUS COMMITMENTS:

A. Miscellaneous

1. An "abandoned service station" is defined as a service station which has ceased operations or is closed to the public for at least six (6) months in any twelve (12) month period. The owner or lessee of an abandoned service station shall, within seven (7) days of the beginning of the closure period referred to herein:

- a. Install wheel blocks, firmly attached, across the driveway entrance to the service station to prohibit unauthorized vehicle parking or abandonment of motor vehicles;
- b. Remove all signs and pumps;
- c. Board up all windows, garage doors and entrances to prevent the breakage of glass and the unauthorized entrance therein;
- d. Take appropriate action as required by the City of Columbus Fire Code to treat abandoned underground tanks and;
- e. During the closure period cut all grass, remove all rubbish and weeds and continue such maintenance as may be necessary to prevent the building or structure from deteriorating into a state of disrepair.

3.11. CPD CRITERIA:

A. Existing land uses: To the north is future office and commercial; to the east is future office and commercial; to the west is existing commercial and multi-family residential; and to the south is future residential.

B. Transportation and circulation: Access to the site shall be via East Dublin-Granville Road, future relocated Hamilton Road, and existing Hamilton Road.

C. Visual form of the development: The site shall be developed in accordance with the zoning text.

D. View and visibility: In the development of the subject property and the location of the buildings and access points consideration has been given to the visibility and safety of motorists and pedestrians.

E. Proposed development: Commercial and office as permitted under this text.

F. Emissions: No adverse effects from emissions shall result from the proposed development.

G. Behavior patterns: The proposed development would serve the growing Columbus residential population as well as the motorists who use State Route 161, Hamilton Road and Dublin-Granville Road.

4. SUBAREA D: L-AR-1

4.01. LOCATION: Subarea D contains approximately 40.09 acres and is located northeast of and adjacent to the intersection of State Route 161 and Hamilton Road.

4.02. PERMITTED USES: Permitted uses for Subarea D shall include multi-family residential; private clubhouses, fitness centers, and pools serving multi-family uses; and accessory uses that are customary for multi-family residential uses.

4.03. DEVELOPMENT STANDARDS: The applicable development standards are contained in Chapter 3333 (AR-1, Apartment Residential) of the Columbus City Code unless otherwise indicated within this text.

4.04. DENSITY, HEIGHT, LOT AND SETBACK COMMITMENTS

A. The maximum number of dwelling units in this subarea shall be 650.

B. Setback from Hamilton Road shall be the Preservation Area's interior boundary as outlined in Section 4.06 below. Outside of the Preservation Areas, the setbacks from Hamilton Road and State Route 161 shall be thirty (30) feet for parking and maneuvering areas and fifty (50) feet for buildings.

C. Building setbacks shall not apply to landscape features such as, but not limited to, planters or walls six (6) feet high or less, entry features along Hamilton Road which may or may not contain signage, or ornamental fencing which may or may not contain signage.

D. From all internal roadways, whether public or private, the minimum setback for parking and maneuvering areas and for buildings shall be ten (10) feet. Building overhangs, stoops, steps, patios, and other architectural features shall be permitted to encroach into minimum required building setbacks, provided, however, that no encroachment will be permitted into the public right-of-way.

E. There shall be no minimum setback requirement with respect to parking aisles or drive lanes internal to a parking lot area.

F. The height district shall be sixty (60) feet as measured per Columbus City Code.

G. The maximum lot coverage of buildings and parking lots shall not exceed seventy (70) percent. Landscaped areas within parking lots shall not be included in calculation of parking lot area. The land dedicated to the City of Columbus for parkland in Subarea 9-D directly east of Subarea D shall be included in the lot coverage calculation for Subarea D.

4.05. ACCESS, LOADING, PARKING AND OTHER TRAFFIC-RELATED COMMITMENTS:

A. Any public streets within this subarea should be of the size and use consistent with the standards of the Rocky Fork – Blacklick Accord. Parking on internal public and private streets shall be permitted.

B. Driveway access points and aisles may be divided by property lines without regard to minimum dimensions within any single property, as long as the overall driveway or aisle dimensions meet minimum Code requirements, and easements, as applicable, are provided to ensure the function of shared driveways and aisles.

C. Parking shall be provided pursuant to Chapter 3312 (Off-Street Parking and Loading) of the Columbus Zoning Code. To encourage shared parking and provide the most efficient design and layout of parking, parking lots may be designed without regard to internal property lines. Cross access easements shall be provided as applicable to insure the designed function of the parking and internal vehicular circulation system.

D. A sidewalk/leisure path shall be installed along Hamilton Road, to be located either on-site or within the right-of-way as approved by the City's Transportation Division. Pedestrian connections between buildings are encouraged. Pedestrian connections shall be established between the primary parking area for a building and the primary entry doors of that building.

4.06. BUFFERING, LANDSCAPING, OPEN SPACE AND/OR SCREENING COMMITMENTS:

A. Unless such plantings would cause significant harm to existing vegetation in relevant Preservation Areas (as contemplated in Section 4.06.A below), a street tree row shall be established along Hamilton Road with the planting of one (1) tree for every thirty (30) lineal feet of street frontage. Trees shall be approximately evenly spaced, unless tree grouping is more practical, and planted within the right-of-way. A street tree row shall be established along both sides of all internal access roadways with the planting of one (1) tree for every thirty (30) lineal feet. Such trees shall be those specified in the Columbus Street Tree Program guidelines from the City Forester.

B. The parking setback area along the S.R. 161 Expressway shall include tree plantings at a rate of four (4) trees per one hundred (100) lineal feet of expressway frontage. The trees shall be placed randomly in a manner that appears natural in character. Existing healthy trees five (5) inches in caliper and above may be used in place of new trees.

C. The essence of the character created by the natural environment of trees, topography, and the pond that exists along Hamilton Road and the S.R. 161 Expressway shall be maintained as described in this Section 4.06.C. Preservation **Areas A-F**, described herein and delineated on **Exhibit P**, titled "Tree Preservation Plan" are established to preserve and maintain existing trees as outlined below. Preservation Areas "A", "B", "C", "E" and "F" as delineated on **Exhibit P** will be "total non-disturbance preservation areas", meaning that all existing landscaping, vegetation, trees and other growth will be left in their current state and remain untouched as the site is developed. Preservation Area "A" includes the pond adjacent to S.R. 161, the majority of which is located in Subarea D and which will be preserved in its current state. A portion of the pond is located in the ODOT right-of-way which is not included in the acreage calculation for Preservation Area "A".

Preservation Area "B" is fifty (50) feet in depth measured from the S.R. 161 right-of-way line, and runs parallel to the S.R. 161 frontage between Preservation Areas "A" and "C" as illustrated in **Exhibit P**. Preservation Area "C" is generally located on the southwest corner of the site. There will be a buffer fifty (50) foot in width that will extend from the outside edge of Preservation Area "C" along Hamilton Road which is contained in the acreage for Preservation Area "D", as shown in **Exhibit P**. The balance of Preservation Area "D", depicted on the

attached **Exhibit P**, is fifty (50) feet in depth measured from the existing Hamilton Road right-of-way line and runs parallel to Hamilton Road. Within Preservation Area “D”, fifty percent (50%) of mature, healthy trees five (5) inches in caliper and above shall be preserved. The location of the two curb cuts on Hamilton Road shown on **Exhibit P** are subject to change at the designation of the City of Columbus Transportation Department, and Preservation Area “D” will allow for these access points. Preservation Area “E” is twenty (20) feet in width and is located along a portion of the north property line as shown on **Exhibit P**. Adding fill, changing the grade, or disturbing the soil is not permitted in Preservation Area “D.” Dead trees may be removed within Preservation Area “D” and “E.” Preservation Area “F” is located along the east property line of this subarea adjacent to Subarea 9-D.

Preservation Area “B” also will be a no build area; however, ground signage may be placed within Preservation Area “B.” Preservation Area “D” also will be a no-build area; however, ground signage, sidewalks for residential units and parking may be placed within Preservation Area “D” as long as fifty percent (50%) of mature, healthy trees five (5) inches in caliper shall be preserved. A sign will be permitted in the area noted as “Sign Area” (located at the southwest corner of Subarea D, adjacent to Preservation Area “C”) on the Tree Preservation Plan (**Exhibit P**). The requirement of the Preservation Areas (tree preservation and no build areas) is intended to be a perpetual provision through any subsequent rezonings or variances.

All trees preserved in Preservation Areas “A-F” shall be maintained in a healthy state according to locally accepted good horticultural practices and as approved by the City Forester. In areas along Hamilton Road where existing trees are dead, are in decline or are undesirable species these trees may be removed and replanted with landscaping consisting of a single row of deciduous shade trees (4 trees/100 lineal feet) in a natural hedgerow (minimum 2 ½ inch caliper upon installation) and ornamental trees unless tree groupings are more practicable or tree groupings will make the landscaping appear more natural in character. Evergreen and/or deciduous shrubs and/or mounding may also be used. Mounding, if used for screening, shall maintain a maximum 3:1 slope along Hamilton Road. Utilities may be located in Preservation Areas “A-F” provided that care is taken to prevent the unnecessary destruction of any vegetation. The owner and/or developer will create balance of tree preservation that will allow those passing the site to experience the natural features of the site while retaining views of the retail behind the preservation areas.

D. Parking areas adjacent to Hamilton Road and the S.R. 161 Expressway shall be screened along their entire frontage length. Screening shall be in the form of an evergreen hedge, earth mounding, wall, or any combination thereof, at no less than four (4) feet in height. The height of screening may be reduced as needed adjacent to curb cuts to provide adequate vision clearance. Screening shall be augmented with a mixed planting of at least five (5) ornamental trees or deciduous shrubs per one hundred (100) lineal foot of screening. The requirements of this paragraph shall not be applicable where the existence of Preservation Areas provides a natural form of screening that meets the intent of this paragraph.

E. In addition to the screening provisions of Section 4.06.D, interior landscaping of a parking lot area shall be provided to break up large expanses of pavement (Also see 6E-5). Parking lot interior landscaping shall consist of one (1) tree for every ten (10) parking spaces and at least five (5) square feet of live vegetation for every one hundred (100) square feet of vehicular use area. Eighty (80) percent of the required trees herein shall be located within the parking lot’s interior and drive lanes. A reasonable soil planting area shall be provided for each tree. Trees shall be planted in islands at least six (6) feet wide and eighteen (18) feet long. Notwithstanding the previous sentence, if parking landscape “diamonds” are used in the parking lot, the minimum size shall be seven (7) feet by seven (7) feet.

F. Loading/service areas, if any, shall be screened from off-site view to a minimum height of six (6) feet by a fence, wall, building, and/or landscaping, used individually or in combination.

G. The minimum size of all plant material at installation shall be two and one half (2 ½) inch caliper for street trees, two (2) inch caliper for all other deciduous shade trees, six (6) feet high for evergreen trees, two (2) inch caliper for ornamental trees, and (18) inches height for shrubs. Tree caliper shall be measured twelve (12) inches above the ground for new trees and four (4) foot above the ground for existing trees. Credit shall be given for preserving an existing healthy tree two and one half (2 ½) inches in caliper or greater located outside of a designated Preservation Area by allowing one (1) tree preserved to count as one (1) tree required under this Section 4.06.G, except for trees within the parking lot.

H. Earth mounding with a gentle slope and crest may be installed within this subarea provided it is landscaped with a mix of shrubs and trees and has a grade not exceeding a 3:1 slope.

I. All landscaping, trees, plant material, pond, site grades and fencing provided under this section shall be maintained by the property owner or its assigns, or by a forced and funded property owners association, in a healthy and good condition per accepted horticultural practices and as approved by the City Forester. Best tree preservation practices are to be used to preserve and protect trees intended to be protected during all phases of construction, including the installation of snow fencing at the drip line. Dead items shall be replaced within six (6) months.

J. All landscape designs are to be reviewed and certified by the owner/developer's registered landscape architect before submitting such designs to the City for approval.

K. Land consisting of 1.1+/- acres located in the extreme eastern portion of the subarea shall be dedicated to the City of Columbus as parkland at the time that a building permit is issued for the first structure in this subarea. In addition, 4.3+/- acres of land located in existing Subarea 9-D located to the east of this Subarea D (pursuant to Zoning Case Z05-054, approved in Ordinance 1137-2007) shall be dedicated to the City of Columbus for parkland and shall be credited to the parkland dedication requirement for this Subarea D. To the extent that the total land dedication in this Subarea D and in Subarea 9-D exceeds the requirements of City Code, then any excess dedication may be used to meet the parkland dedication requirements related to development within Subarea E of this zoning text.

4.07. DUMPSTERS, LIGHTING, AND OTHER ENVIRONMENTAL COMMITMENTS:

A. All external outdoor lighting shall be cut-off type fixtures (downlighting), and shall be designed in such a way to prevent off-site spillage. Lighting shall not generate excessive light levels, cause glare, or direct light onto an adjacent property or street. The source of exterior illumination of a building or landscaping shall be concealed from view. Direct lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures will be similar, and wiring for such fixtures will be underground.

B. Street lights shall be required to be installed within or adjacent to the Hamilton Road right-of-way to the extent that such lights exist on other portions of this street adjacent to this subarea and only as permitted by the Ohio Department of Transportation, if such lights are regulated by that entity. Streets lights installed within or adjacent to the Hamilton Road right-of-way shall be consistent with existing street lights on portions of Hamilton Road that are located adjacent to this subarea. Street lights shall be required along primary private and public streets within this subarea but shall not be required on secondary access drive or within drive aisles unless desired by the

C. All new or relocated utility lines shall be installed underground.

D. All refuse shall be containerized. Such container and containment area shall be fully screened from view by a solid wall or fence that is compatible with the associated with the architecture and materials of nearby buildings.

E. Mechanical equipment or other utility hardware on the roof of a building shall be screened from ground level by building materials, parapets or mansards compatible and consistent with the building roof or exterior. Color shall also match the building roof or exterior. Mechanical and all other equipment on the ground shall be fully screened from view at ground level with a wood fence or brick wall (matching the brick on the nearest building elevation) that screens the equipment.

4.08. GRAPHICS AND SIGNAGE COMMITMENTS: A graphics plan shall be submitted to the Columbus Graphic Commission. All signage and graphics shall conform to such graphics plan as approved by the Columbus Graphic Commission.

4.09. CPD CRITERIA

A. Existing land uses: To the north is existing residential; to the east is open space; to the west across Hamilton Road is future multi-family and open space/parkland; and to the south is future commercial and office.

B. Transportation and circulation: Access to the site shall be via Hamilton Road.

C. Visual form of the development: The site shall be developed in accordance with the zoning text.

D. View and visibility: In the development of the subject property and the location of the buildings and access points consideration has been given to the visibility and safety of motorists and pedestrians.

E. Proposed development: Multi-family residential as permitted under this text.

F. Emissions: No adverse effects from emissions shall result from the proposed development.

G. Behavior Patterns: The proposed development would serve the growing Columbus residential population in northeast Columbus.

5. SUBAREA E: L-AR-1

5.01. LOCATION: Subarea E contains approximately 11.39 acres and is located northwest of and adjacent to the intersection of State Route 161 and Hamilton Road.

5.02. PERMITTED USES: Permitted uses for Subarea E shall include multi-family residential; private clubhouses, fitness centers, and pools serving multi-family uses; and accessory uses that are customary for multi-family residential uses.

5.03. DEVELOPMENT STANDARDS: The applicable development standards are contained in Chapter 3333 (AR-1, Apartment Residential) of the Columbus City Code unless otherwise indicated within this text.

5.04. DENSITY, HEIGHT, LOT AND SETBACK COMMITMENTS:

A. The maximum number of dwelling units in this subarea shall be 225.

B. The minimum setback from Hamilton Road shall be thirty-five (35) feet for parking and maneuvering areas and for buildings.

C. The minimum setbacks from the northern and western boundaries of this subarea shall be twenty-five (25) feet for parking and maneuvering areas and for buildings. A “no-build zone” shall be established within the minimum setback from the western boundary of this subarea.

C. Building setbacks shall not apply to landscape features such as, but not limited to, planters or walls six (6) feet high or less, entry features along Hamilton Road which may or may not contain signage, or ornamental fencing which may or may not contain signage.

D. From all internal roadways, whether public or private, the minimum setback for parking and maneuvering areas and for buildings shall be ten (10) feet. Building overhangs, stoops, steps, patios, and other architectural features shall be permitted to encroach into minimum required building setbacks, provided, however, that no encroachment will be permitted into the public right-of-way.

E. There shall be no minimum setback requirement with respect to parking aisles or drive lanes internal to a parking lot area.

F. The height district shall be sixty (60) feet as measured per Columbus City Code.

G. The maximum lot coverage of buildings and parking lots shall not exceed seventy (70) percent. Landscaped areas within parking lots shall not be included in calculation of parking lot area. The land dedicated to the City of Columbus for parkland in Subarea 9-D directly east of Subarea D shall be included in the lot coverage calculation for Subarea D.

5.05. ACCESS, LOADING, PARKING AND OTHER TRAFFIC-RELATED COMMITMENTS:

A. Any public streets within this subarea should be of the size and use consistent with the standards of the Rocky Fork – Blacklick Accord. Parking on internal public and private streets shall be permitted.

B. Driveway access points and aisles may be divided by property lines without regard to minimum dimensions within any single property, as long as the overall driveway or aisle dimensions meet minimum Code requirements, and easements, as applicable, are provided to ensure the function of shared driveways and aisles.

C. Parking shall be provided pursuant to Chapter 3312 (Off-Street Parking and Loading) of the Columbus Zoning Code. To encourage shared parking and provide the most efficient design and layout of parking, parking lots may be designed without regard to internal property lines. Cross access easements shall be provided as applicable to insure the designed function of the parking and internal vehicular circulation system.

D. A sidewalk/leisure path shall be installed along Hamilton Road, to be located either on-site or within the right-of-way as approved by the City’s Transportation Division. Pedestrian connections between buildings are encouraged. Pedestrian connections shall be established between the primary parking area for a building and the primary entry doors of that building.

E. The owner and/or developer shall provide the City of Columbus with an access easement through this subarea for the purpose of providing the City with vehicular and pedestrian access to 70.8+/- acres of real property previously dedicated by the current property owner to the City. The owner or developer may install pavement and other non-

structural improvements within the easement area to provide for such access that will be shared with residents and users of Subarea E.

5.06. BUFFERING, LANDSCAPING, OPEN SPACE AND/OR SCREENING COMMITMENTS:

A. Unless such plantings would cause significant harm to existing vegetation in relevant Preservation Areas (as contemplated in Section 5.06.A below), a street tree row shall be established along Hamilton Road with the planting of one (1) tree for every thirty (30) lineal feet of street frontage. Trees shall be approximately evenly spaced, unless tree grouping is more practical, and planted adjacent to the right-of-way, unless the City of Columbus otherwise requires. A street tree row shall be established along both sides of all internal access roadways with the planting of one (1) tree for every thirty (30) lineal feet. Such trees shall be those specified in the Columbus Street Tree Program guidelines from the City Forester.

B. Parking areas adjacent to Hamilton Road and the S.R. 161 Expressway shall be screened along their entire frontage length. Screening shall be in the form of an evergreen hedge, earth mounding, wall, or any combination thereof, at no less than four (4) feet in height. The height of screening may be reduced as needed adjacent to curb cuts to provide adequate vision clearance. Screening shall be augmented with a mixed planting of at least five (5) ornamental trees or deciduous shrubs per one hundred (100) lineal foot of screening. The requirements of this paragraph shall not be applicable where the existence of Preservation Areas provides a natural form of screening that meets the intent of this paragraph.

C. In addition to the screening provisions of Section 5.06.D, interior landscaping of a parking lot area shall be provided to break up large expanses of pavement. Parking lot interior landscaping shall consist of one (1) tree for every ten (10) parking spaces and at least five (5) square feet of live vegetation for every one hundred (100) square feet of vehicular use area. Eighty (80) percent of the required trees herein shall be located within the parking lot's interior and drive lanes. A reasonable soil planting area shall be provided for each tree. Trees shall be planted in islands at least six (6) feet wide and eighteen (18) feet long. Notwithstanding the previous sentence, if parking landscape "diamonds" are used in the parking lot, the minimum size shall be seven (7) feet by seven (7) feet.

D. Loading/service areas, if any, shall be screened from off-site view to a minimum height of six (6) feet by a fence, wall, building, and/or landscaping, used individually or in combination.

E. The minimum size of all plant material at installation shall be two and one half (2 ½) inch caliper for street trees, two (2) inch caliper for all other deciduous shade trees, six (6) feet high for evergreen trees, two (2) inch caliper for ornamental trees, and (18) inches height for shrubs. Tree caliper shall be measured twelve (12) inches above the ground for new trees and four (4) foot above the ground for existing trees. Credit shall be given for preserving an existing healthy tree two and one half (2 ½) inches in caliper or greater located outside of a designated Preservation Area by allowing one (1) tree preserved to count as one (1) tree required under this Section 4.06.G, except for trees within the parking lot.

F. Earth mounding with a gentle slope and crest may be installed within this subarea provided it is landscaped with a mix of shrubs and trees and has a grade not exceeding a 3:1 slope.

G. All landscaping, trees, plant material, pond, site grades and fencing provided under this section shall be maintained by the property owner or its assigns, or by a forced and funded property owners association, in a healthy and good condition per accepted horticultural practices and as approved by the City Forester. Best tree preservation practices are to be used to preserve and protect trees intended to be protected during all phases of construction, including the installation of snow fencing at the drip line. Dead items shall be replaced within six (6) months.

H. All landscape designs are to be reviewed and certified by the owner/developer's registered landscape designer or architect before submitting such designs to the City for approval.

I. Land consisting of 70.8+/- acres located to the west of and adjacent to this subarea was previously dedicated by the current property owner to the City of Columbus as parkland. This dedication shall be credited toward parkland dedication requirements of this Subarea E and the other subareas that are the subject of this zoning text. To the extent that the total parkland dedication provided in Subarea D and in Subarea 9-D (as described in Section 4.06.K above) exceeds the parkland dedication requirements of City Code for Subarea D, then any excess dedication may be used to meet the parkland dedication requirements related to development within Subarea E.

5.07. DUMPSTERS, LIGHTING, AND OTHER ENVIRONMENTAL COMMITMENTS:

A. All external outdoor lighting shall be cut-off type fixtures (downlighting), and shall be designed in such a way to prevent off-site spillage. Lighting shall not generate excessive light levels, cause glare, or direct light onto an adjacent property or street. The source of exterior illumination of a building or landscaping shall be concealed from view. Direct lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures for a ground sign shall be shielded with landscaping and be positioned in such a way as to prevent glare. External outdoor lighting fixtures will be similar, and wiring for such fixtures will be underground.

B. Street lights shall be required to be installed within or adjacent to the Hamilton Road right-of-way to the extent that such lights exist on other portions of this street adjacent to this subarea and only as permitted by the Ohio Department of Transportation, if such lights are regulated by that entity. Streets lights installed within or adjacent to the Hamilton Road right-of-way shall be consistent with existing street lights on portions of Hamilton Road that are located adjacent to this subarea. Street lights shall be required along primary private and public streets within this subarea but shall not be required on secondary access drive or within drive aisles unless desired by the

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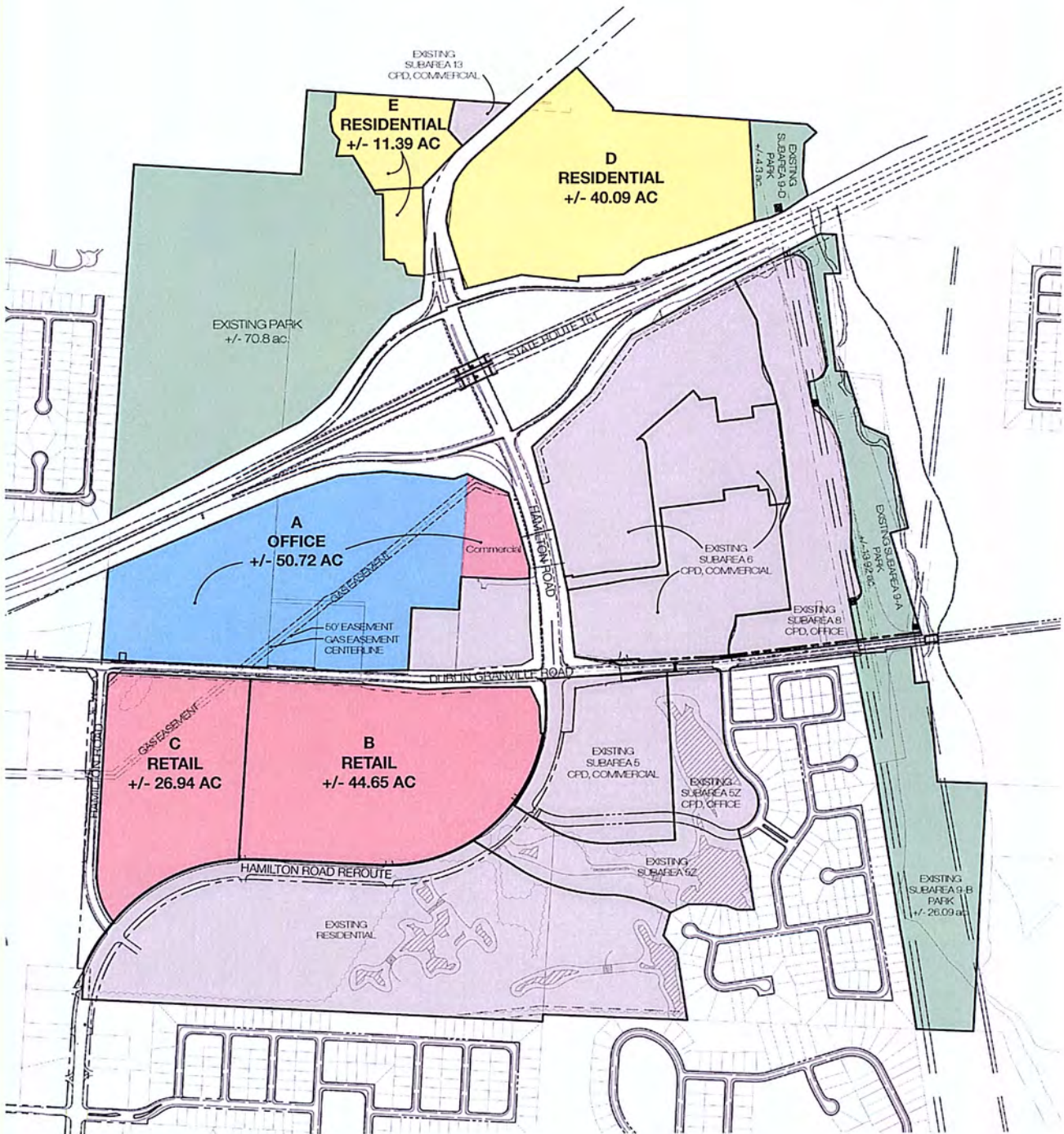
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- E. Proposed development: Multi-family residential as permitted under this text.
- F. Emissions: No adverse effects from emissions shall result from the proposed development.
- G. Behavior Patterns: The proposed development would serve the growing Columbus residential population in northeast Columbus.

Exhibit A

214-044



SUBAREA PLAN



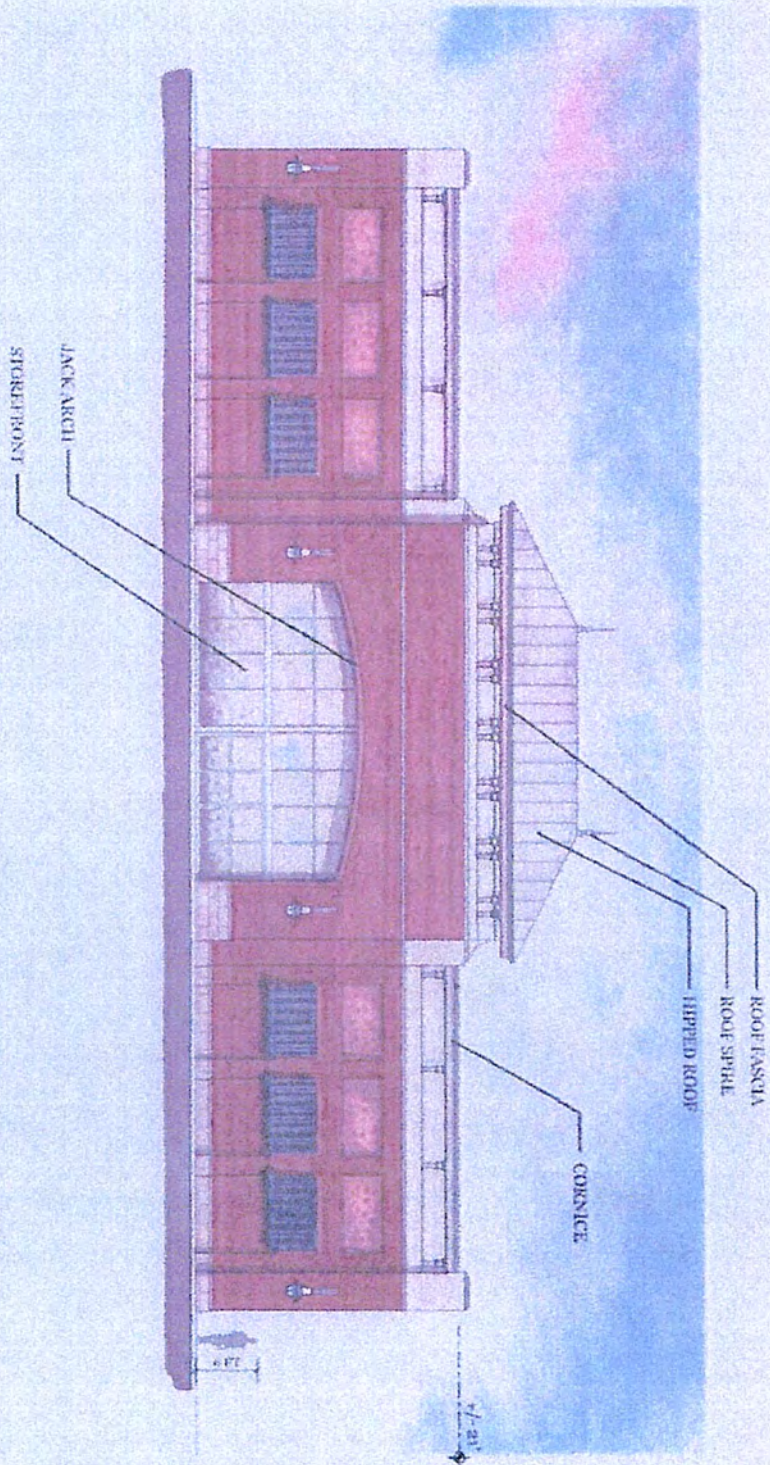
Albany Park | COLUMBUS, OHIO



9.18.2014

Job # 6444140010

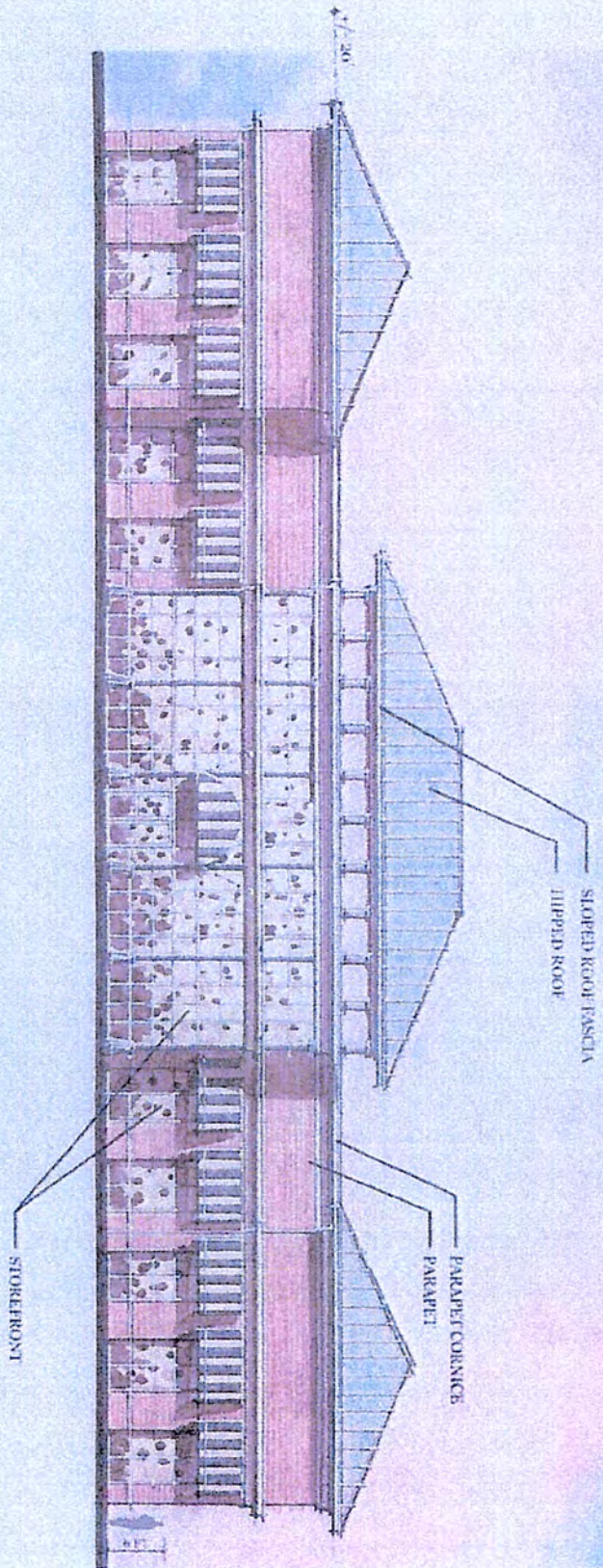
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ALBANY PARK—EXHIBIT B

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June 20, 2007

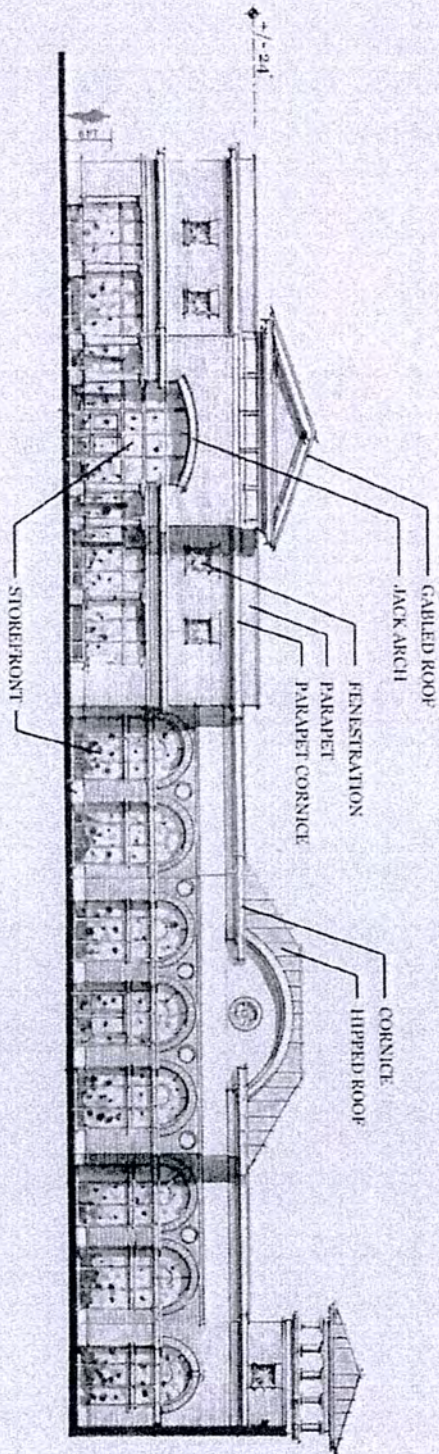
214-044



ALBANY PARK—EXHIBIT C

Jeffrey A. Khar
June 20, 2007

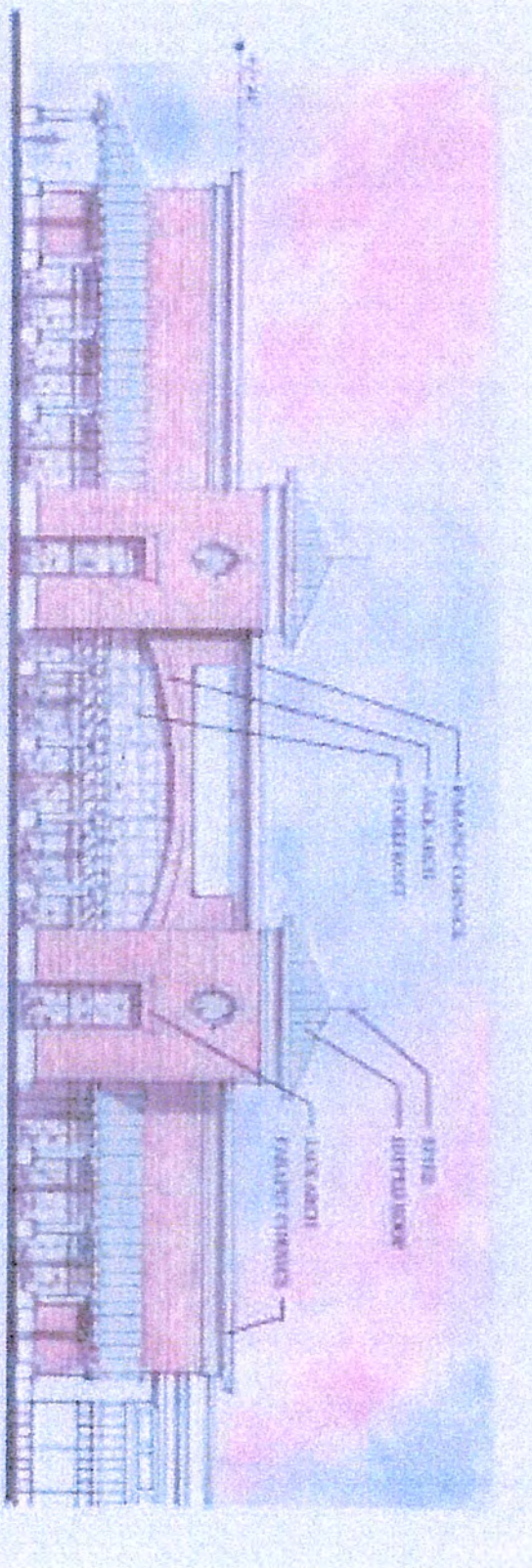
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ALBANY PARK—EXHIBIT D

214-044



J. J. J. J. J.
June 20, 2007

ALBANY PARK—EXHIBIT E

214-044



ALBANY PARK—EXHIBIT F

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June 20, 2007

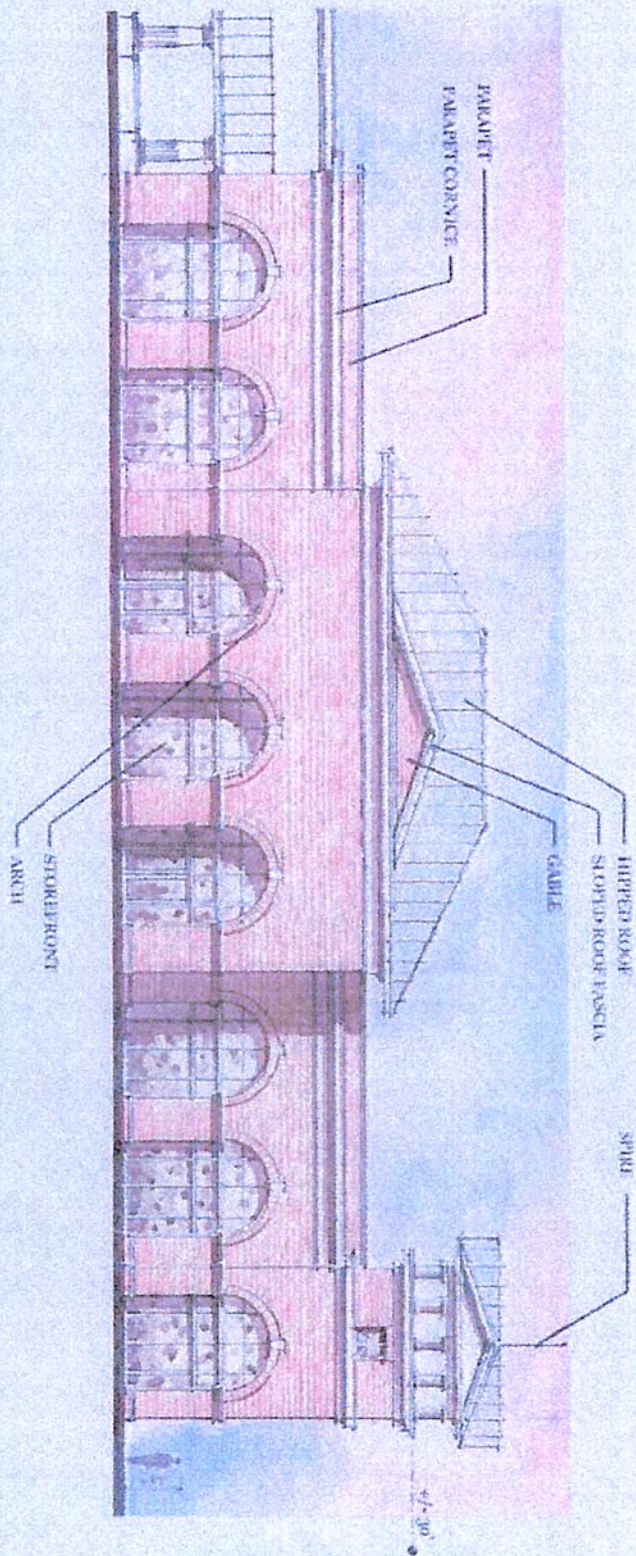
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ALBANY PARK—EXHIBIT G

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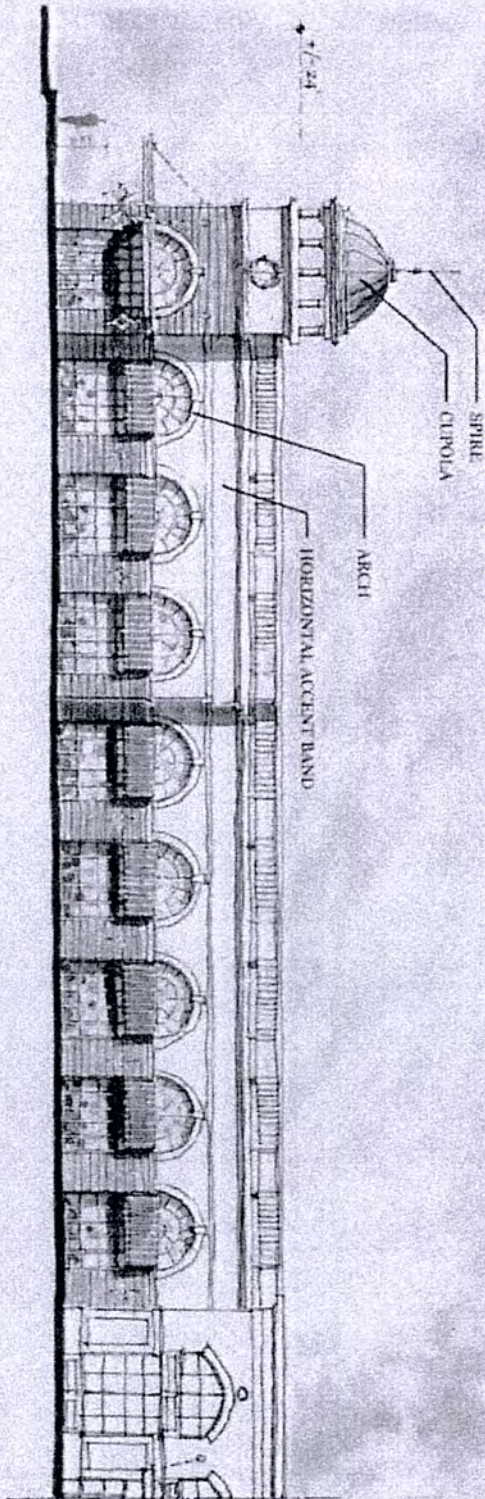
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ALBANY PARK—EXHIBIT H

Added for
June 20, 2007

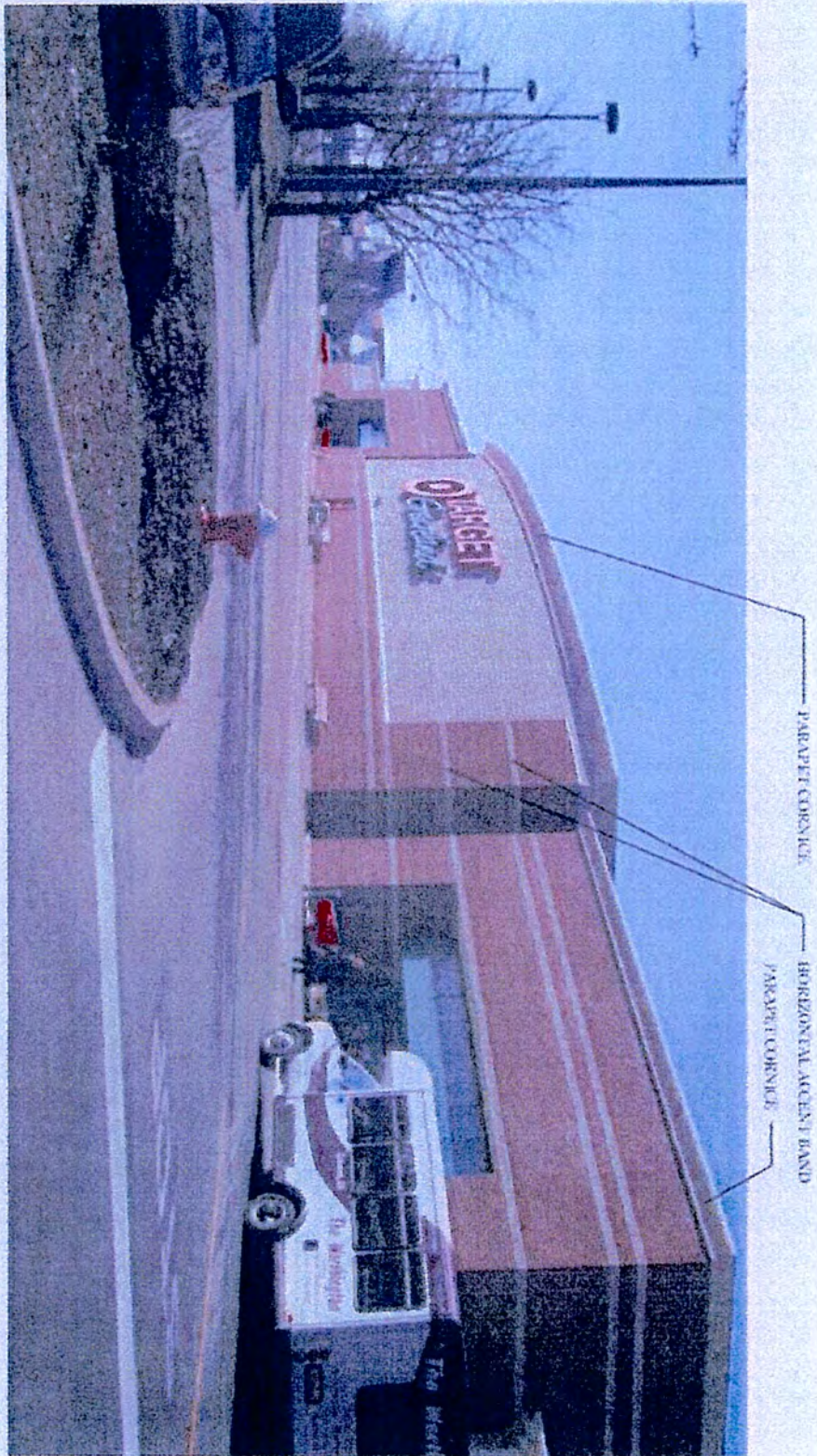
214-044



ALBANY PARK—EXHIBIT I

John P. M.
June 20, 2007

214-044



ALBANY PARK—EXHIBIT J

Allyson P
June 20, 2007

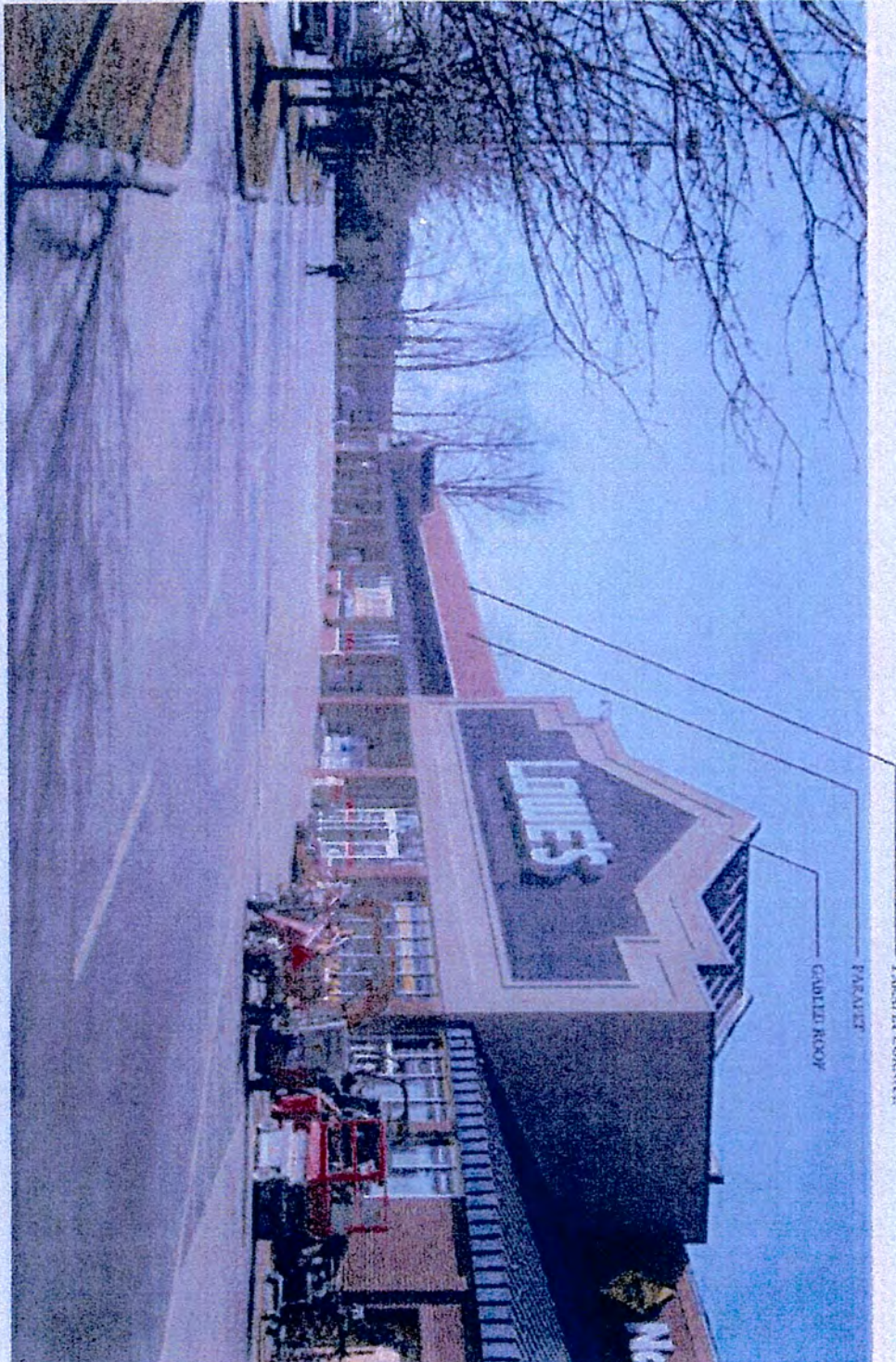
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ALBANY PARK—EXHIBIT K

Applied for
June 20, 2007

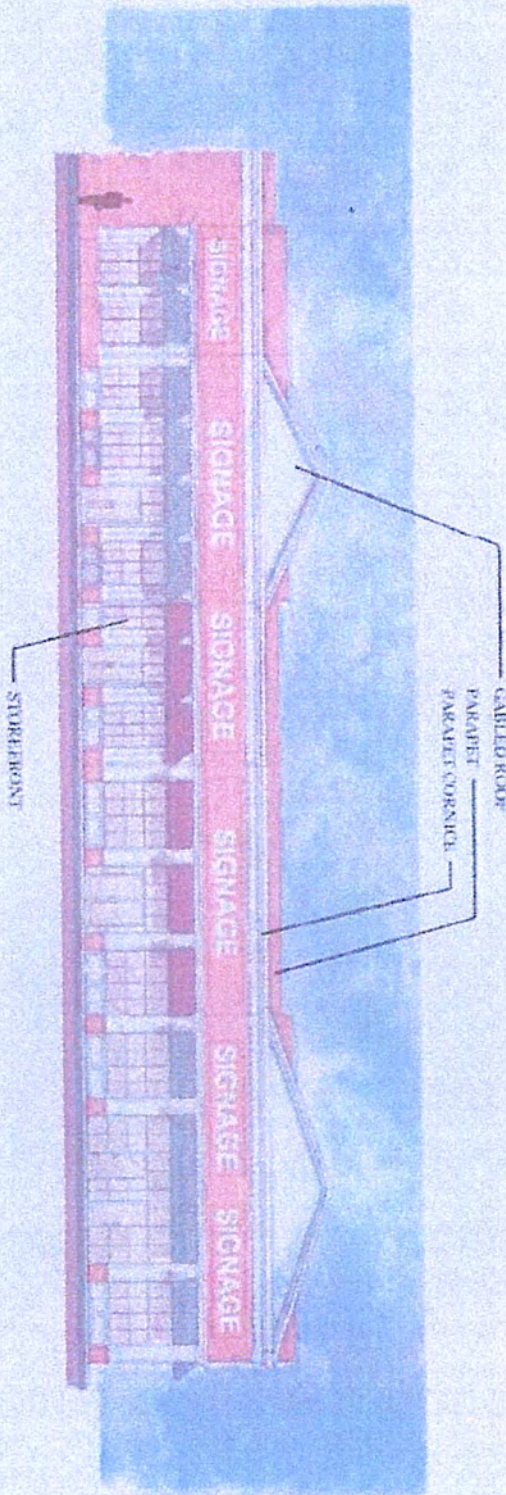
214-044



ALBANY PARK—EXHIBIT L

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June 20, 2007

214-044



ALBANY PARK—EXHIBIT M

Offer for
June 20, 2007

Z14-044

EXHIBIT N
(Intentionally Deleted)

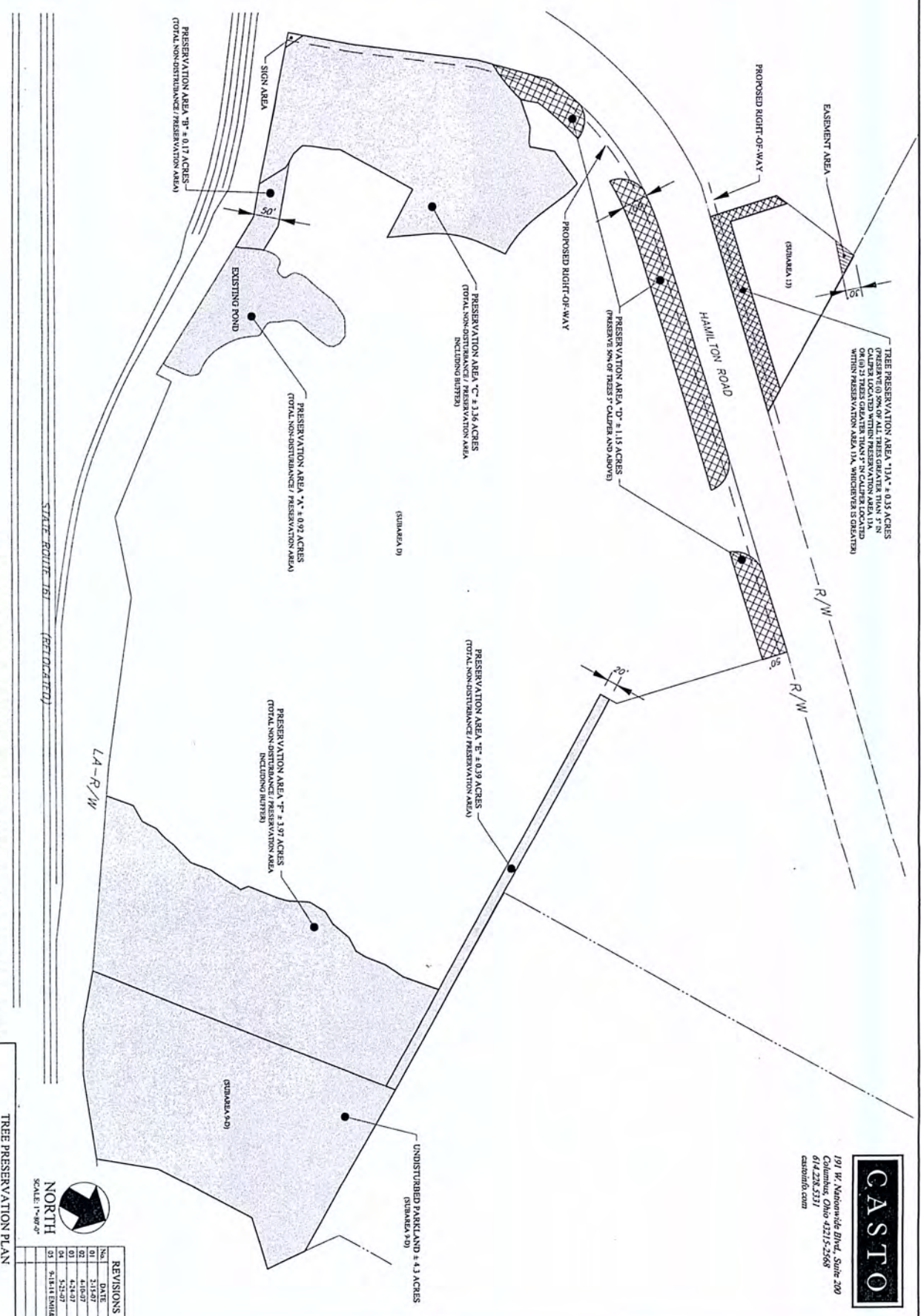
214-044

EXHIBIT O

<u>Belt Line</u> (Horizontal Accent Band)	A horizontal band that may project from the primary wall plane space. Band shall be of an different exterior finish material to provide contrast in color and or texture to the primary wall plan.
<u>Blind Arches</u>	A recessed wall panel within an exterior wall plane that is in the shape of an arch. Recessed panel may or may not employ an alterante brick color or pattern.
<u>Cornice</u>	Exterior structural trim along the intersection of the roof and top of a wall. Includes all framing and trip members.
<u>Crown Molding</u>	Trim member at the top of the cornice and immediately beneath the roof.
<u>Cupola</u>	Small ornamental structure or dome projecting above the ridge of a roof.
<u>Dormer</u>	Projection from a sloping roof, commonly including a window or louver. Provides additional interior area between two sloping roofs.
<u>Fenestration</u>	Arrangement of windows in a structure.
<u>Gable Roof</u>	Roof with gabled ends that slopes in two opposite directions from the ridge.
<u>Hip Roof</u>	Roof formed by adjacent inclined planes that slope down toward all exterior walls. Intersecting corners of roof intersect at a hip rafter that extends diagonally from the ridge to the outside corners of the exterior walls.
<u>Jack Arch</u>	Arch with flat intrados (highest point of arch).
<u>Parapet</u>	Low wall or a short extension of a wall above a horizontal surface.
<u>Parapet Cornices</u>	A decorative band comprised of multiple shapes or planes located at the top of a building parapet.
<u>Roof Spire</u>	A tall, acutely pointed pyramidal roof or rooflike construction upon a tower, roof, etc.
<u>Scupper</u>	Opening in a wall that allows rainwater to drain.
<u>Scupper Boxes</u>	Rectangular fixture channels rainwater into the downspout and storm water removal system.
<u>Storefront</u>	Building windows and entrance walls constructed or prefinished aluminum frames with glass panels.
<u>Soldier Course</u>	Horizontal layer of brick set vertically with the longest, narrowest sides exposed.

April 14, 2007
 June 20, 2007

44-012



CONCEPTUAL, SUBJECT TO ADJUSTMENT FOR FINAL ENGINEERING AND WETLANDS DELINEATION AND/OR MITIGATION AND STORM DRAINAGE

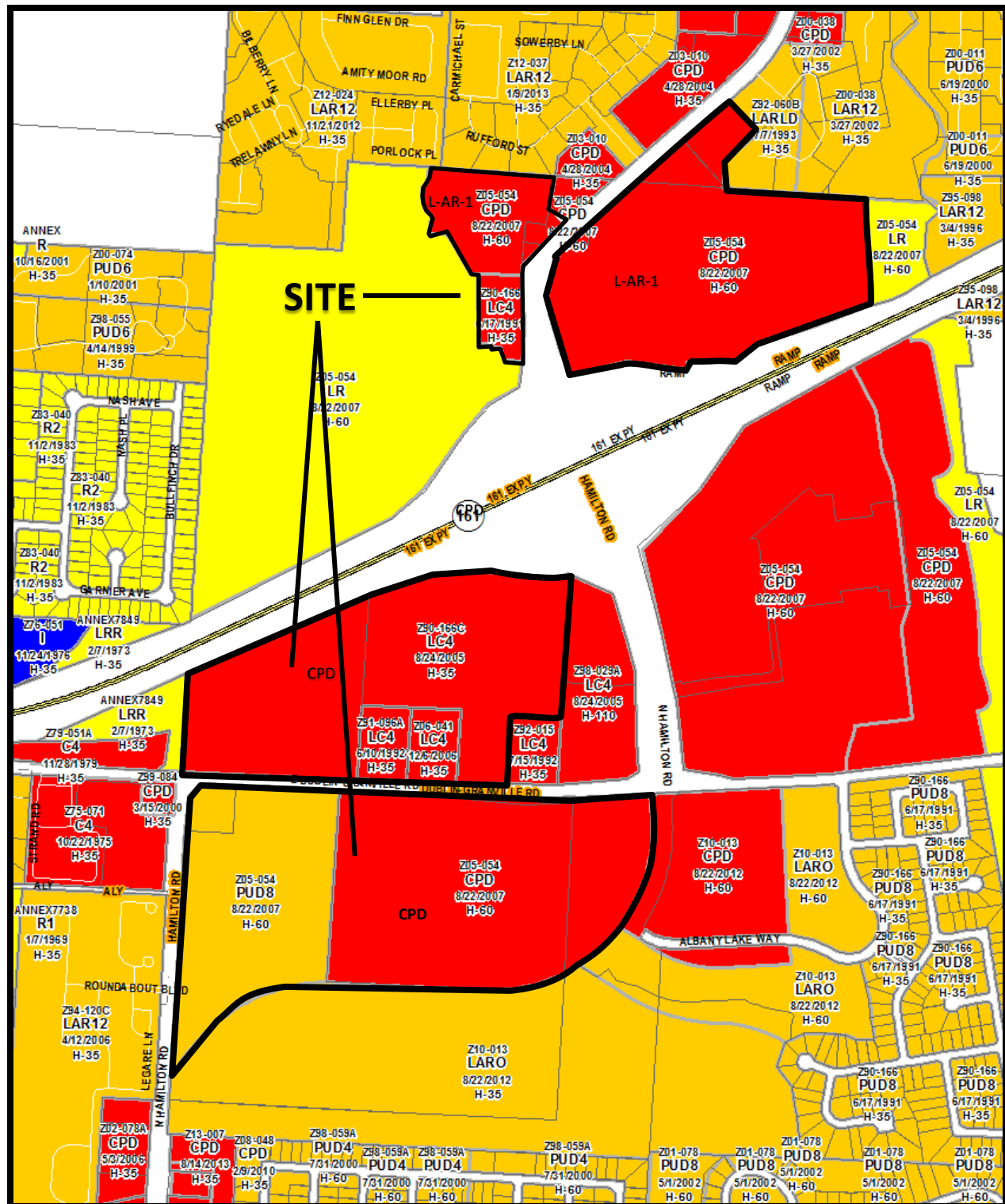
TREE PRESERVATION PLAN
EXHIBIT "P"

REVISIONS	
NO.	DATE
01	2-13-07
02	4-10-07
03	4-14-07
04	5-21-07
05	5-18-08



191 W. Mainville Blvd., Suite 200
Columbus, Ohio 43215-2568
614.278.5133
castoinfo.com





Z14-044

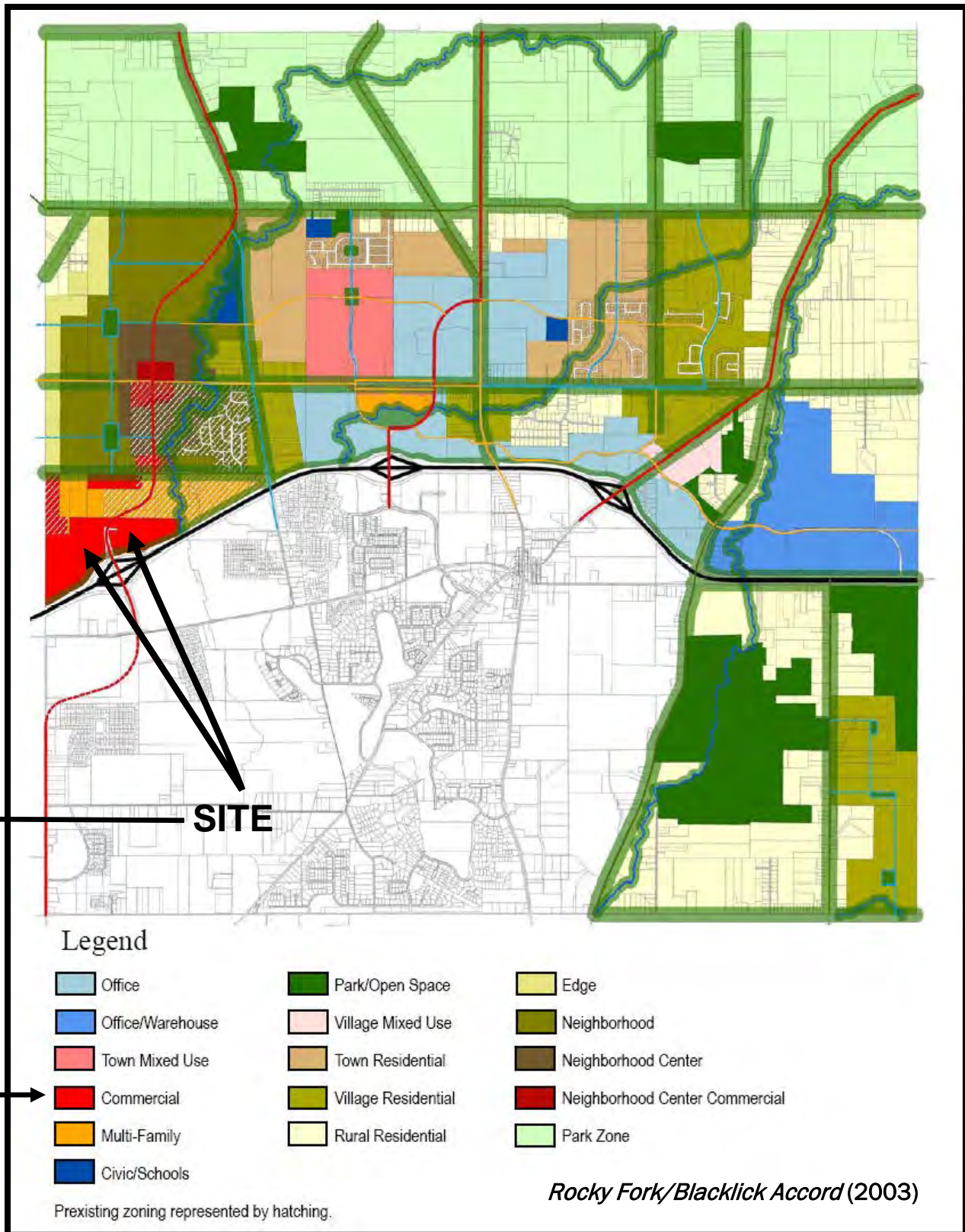
5074 East Dublin-Granville Road

Approximately 173.79 acres

L-C-4, CPD, & PUD-8 to CPD & L-AR-1



Z14-044
5074 East Dublin-Granville Road
Approximately 173.79 acres
L-C-4, CPD, & PUD-8 to CPD & L-AR-1



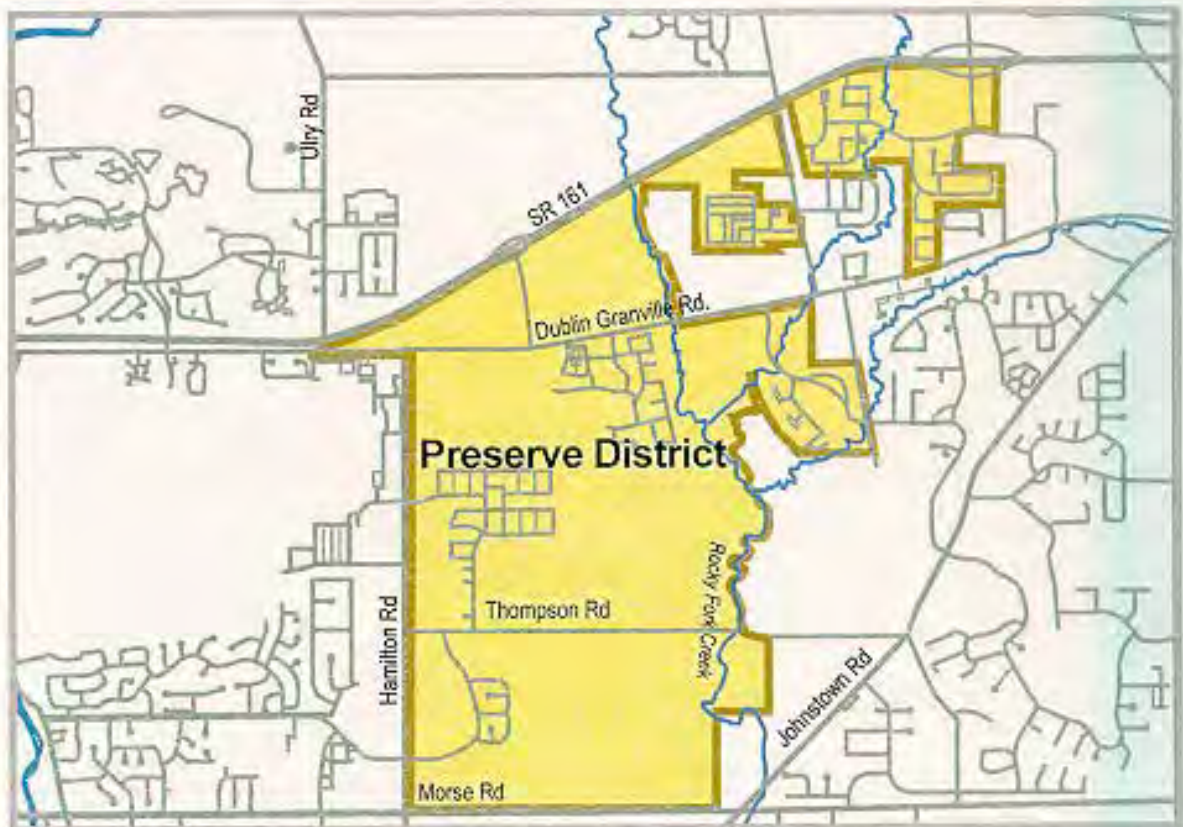
Z14-044
 6106 Central College Road
 Approximately 173.79 acres
 L-C-4, CPD, & PUD-8 to CPD & L-AR-1

Preserve District

This district is located east of Hamilton Road, north of Morse Road and follows the Columbus city limits east to the village of New Albany. A significant portion of this district is undeveloped, however, almost the entire district has previously been annexed and zoned in the city of Columbus.

The largest single zoning in the district is the Preserve Master Plan, a nearly 1,000-acre development east of Hamilton Road. This plan will incorporate single and multi-family residences, provisions for open space, portions of a golf course, and some commercial uses. Hamilton Road will eventually be extended in the northwest corner of this district. There is commercial and multi-family zoning in place where this road will be located.

Zoning on several parcels near SR-161, north of Dublin-Granville Road, ranges from LM2, limited manufacturing, to LC4, limited commercial. Preliminary private sector plans for these parcels call for a mixed-use development with retail, single and multi-family residential, and office uses.



Preserve District



Z14-044
 5074 East Dublin-Granville Road
 Approximately 173.79 acres
 L-C-4, CPD, & PUD-8 to CPD & L-AR-1

It is the recommendation of Northland Plan – Volume II that:

- *The current residential pattern of development east of Hamilton Road, south of Old Dublin-Granville Road be continued, with single-family residential encouraged.*
- *Future redevelopment or rezoning of larger parcels between SR-161 and Dublin Granville Road, currently zoned in Columbus, adhere to the Northland Development Standards. State Route 161 bisects a property of approximately 140 acres zoned LM2 in Columbus. The southernmost LM2 parcel falls within the Northland Plan-Volume II area. Mixed-use development, consisting of retail and multi-family uses on this parcel, with an office-use component either on this parcel or the parcel immediately to the north, is recommended as the future land-use for this area. Any future redevelopment of these parcels should take into consideration views from the highway and surrounding land-uses.*
- *To ensure that appropriate standards pertaining to freeway exposure and surrounding land-uses are met, major commercial development of five or more acres be zoned in planned or limited districts.*
- *Land-use recommendations and standards of the Rocky Fork-Blacklick Accord (RFBA), adopted by Columbus City Council in 1997 as a planning guide for development in northeast Franklin County, be considered when reviewing re-zoning applications contiguous to the RFBA, to ensure compatibility of planning efforts.*



Z14-044
5074 East Dublin-Granville Road
Approximately 173.79 acres
L-C-4, CPD, & PUD-8 to CPD & L-AR-1