

FINAL SITE COMPLAINT PLAN STANDARD REQUIREMENTS

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Final Site Compliance Plan Standard Requirements

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Site Engineering Requirements

Division Contact: Engineeringinfo@columbus.gov

Quick Links

Site Compliance Submittal Standard Checklist:

<https://www.columbus.gov/files/sharedassets/city/v/7/building-and-zoning/site-compliance-plan-standard-information-checklist.pdf>

Formatting Requirements (applies to all Site Compliance submittals)

- Plans Size: Please submit with one of the following dimensions: "E" size (22" x 34") or Architectural size (30" x 42") plan sheets.
- Landscape Orientation
- Document Name: "A-Project Name" or "A-Project Address"
 - Ex: A-Michael B. Coleman Government Center
 - Ex: A-111 N Front St.
 - Please do not include special characters in your document naming. The exception to this rule includes using a dash (-) or period (.).
- Line work must be shown black and white.
- Revision clouds should only be used for FSCP revisions.
- Aerial Imagery removed
- Flattened PDF

Preliminary Site Compliance Standards

Preliminary Site Compliance is a mechanism to get preliminary feedback on a proposed site compliance plan. Typically, this process is reserved for out-of-town design firms, design professionals that are unfamiliar with this process, or complex projects that may require further discussion. While the preliminary site compliance process does not grant any formal approvals, it can provide a blueprint on how to proceed with your proposed development.

- Please note, the site plans that are submitted should be 100% design phase or as close to 100% as possible. The preliminary review process is utilized to assess compliance with City of Columbus code. Major re-design and plan changes following the preliminary meeting may significantly impact on the review timeline. Please note, preliminary meetings are only held once for a proposed project, and the subsequent submittal would be for the final site compliance process.

Steps for Submittal

1. To receive preliminary feedback on your proposed Site Compliance Plan, please email Site Engineering and attach the preliminary site plan to see if you are eligible for a preliminary review. Please utilize the following checklist to ensure that the standard information is included on the site plan prior to initial review.
 - Project title
 - Address Parcel ID and Parcel Boundaries

- North arrow and scale bar Project location map
 - Scope of Work: Provide a description of the existing and proposed conditions on the site
 - Site Data Table
 - Total Site Area
 - Total Disturbed Area
 - Total Impervious Disturbed
 - Pre-Developed Impervious Area
 - Post-Developed Impervious Area
 - Zoning designation for project sites and adjacent sites
 - Building and Parking Setbacks
 - Label street names, roads, access widths, clear vision triangles, and existing right-of-way
 - Parking calculations
 - • See C.C.C. 3312.47 Calculation methods and 3312.49 Required parking
 - • If the site is within a new ZoneIn Corridor, indicate the amount of parking provided.
 - All existing / proposed buildings, building footprints, dimensions, heights, and square footages
 - Elevations (only if the site is within the new ZoneIn Corridor)
 - Floodplain Table
 - FIRM Panel Number (provide entire FIRM Panel #)
 - Effective date of FIRM Panel (provide month, day & year)
 - Flood Zones (insert AE, X, etc. as applicable)
 - Any floodway fills or floodway obstruction? (YES or NO) Fire
 - Show all hydrant locations in the immediate area– both Private & Public
 - List all Fire Department connections and proposed locations.
2. Please note, missing or incomplete information may result in further delays. Once the site plan has included the above-listed standard information, Engineering will work with you to schedule a preliminary meeting.
 3. Once you have received comments from your preliminary review, the design team/applicant will be responsible for drafting a list of questions/comments prior to the planned meeting. During the meeting, the design team/applicant will have a chance to discuss their questions/comments at the meeting. If the project team does not develop any questions or comments, the meeting will be cancelled.
 - a. Please note, if you have had a preliminary site compliance review, please include a disposition of comments during the Final Site Compliance Submittal.

Final Site Compliance Standards

- Please ensure that the standard information is included on the site plan prior to initiating review.
- Please ensure that the fee is paid. Once the fee has been paid, the plan will be routed for review.
 - Tip: An email will be sent out once the plan has been routed for review. If your application status has not been updated after you paid the fee, please contact engineeringinfo@columbus.gov to ensure that the site plan was received.
- Please refer to the division checklists below to ensure that you are in conformance with the different division standards. The following agencies review the final site compliance plan submittals:
 - Building and Zoning Department

- Zoning
 - Site Engineering
- Department of Public Service
 - Division of Traffic Management
 - Refuse
 - Design and Construction
 - Parking and Mobility Services
 - Central Ohio Transit Authority (COTA)
- Department of Public Utilities
 - Division of Water Reclamation
 - Floodplain
 - Division of Water
 - Division of Power
- Recreation and Parks Department
 - Recreation and Parks
 - Division of Forestry
- Department of Public Safety
 - Division of Fire

Upon the conformance and approval of all division standards, final site compliance approval will be granted, and zoning clearance will be administered. Any associated building permits submitted in concurrence with the final site compliance process will be approved by the Site Engineering section pending Building Plan approval.

Final Site Compliance Revisions

Any final site compliance plan that has been approved will become the site plan of record. If your development is proposing minor modifications to the site plan of record, a final site compliance plan will need to be submitted.

Submittal Requirements

- The Design Professional that originally stamped the approved plan of record must complete the modifications. Site plans are not permitted to be modified by any other design profession other than the design professional on the original record.
 - Please note, if the original design professional of record cannot complete the record, a letter of concurrence may be needed to grant permission for modifications of the original site plan of record. If the design professional of record cannot complete the modifications or a letter of concurrence is not provided, a new final site compliance plan will need to be submitted.
- Please follow the aforementioned “Formatting Requirements”
- Include an updated scope of work of the revisions on the title sheet.
- Cloud and highlight the changes in red.
- Flatten the PDF prior to resubmittal. Failure to flatten the PDF prior to submittal may impact how markups made by the engineer or architect are shown on the plan.

Zoning

Division Contact: zoninginfo@columbus.gov

Quick Links

Zoning Map: <https://gis.columbus.gov/zoning/>

Title 33: https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodeId=TIT33ZOCO

Title 34:

<https://mcclibrary.blob.core.usgovcloudapi.net/codecontent/16219/481263/Title%2034%202024%20Zoning%20Code.pdf>

Background

The Zoning Division's oversight within the final site compliance process is to ensure all proposed developments are in conformance with City's Zoning Code to provide a Certificate of Zoning Clearance. This includes residential reviews for three-unit dwellings or greater, commercial sites, mixed use sites, and utility sites. Beyond these standard reviews, the division also monitors Building Permits, Plats, and Lot Splits for conformance with City Code.

Aside from this permitting process, this division coordinates public hearing processes Rezoning, Council Variances, BZA Variances, and Special Permits. More information on the Rezoning, Council Variance, BZA Variance, and Special Permit process can be found here: <https://www.columbus.gov/Business-Development/Building-Zoning-Services/Zoning>

Plan Considerations

- Please note, the Rezoning, Council Variance, BZA Variances, and Special Permits must be approved prior to receiving final site compliance approval. While a site may be eligible to seek the aforementioned processes, this does not guarantee approval. Please note, any departures from the code requirements must receive approval prior to receiving final site compliance approval.
- The Certificate of Appropriateness process is a mandatory design for properties location within Columbus historic districts, design review area, or individually historic properties otherwise listed on the zoning code. While Zoning is responsible for ensuring the stamped site plan is included in final approvals, the CoA process is facilitated by the Planning Division.
- Graphics are not to be shown on the plans or elevations, unless required by other departments for purpose of safety and/or code compliance. *Graphics Permits are reviewed and approved through a separate submittal process.*

Submittal Standards

- A site plan with Zoning and Traffic Management information is to be provided separate from the utility plans.
- Existing and proposed site conditions are not to be overlapped on the same drawing.
- Future developments are not to be shown. Only information pertaining to the current proposed development is to be depicted.

Zoning Checklist

Labels and Dimensions

- Provide Zoning Data Table
 - Zoning district designation for project site and adjacent parcels
 - Parcel area
 - Proposed maximum building height
 - Commercial uses and gross floor area for each use
 - Number of residential dwelling units
 - Parking Calculations
 - Parking Calculations for required and provided EV Capable and EVSE Installed Parking Spaces
 - Number of Required and provided Bicycle Parking Spaces
 - Total Open Space Area Required and Provided
 - Façade Zone Coverage
- Please label and dimension the following items:
 - Distance from Construction to Adjacent Parcels
 - Open Space Areas
 - Height, Gross Floor Area, and Use(s) of Each Building
 - Pedestrian Connections
 - Site Lighting (height and location)
 - Utility boxes (location, setback, and size)
 - Public realm extensions

Landscape and Screening

- Please label and dimension the following items:
 - Frontage landscaping
 - Parking Lot Shade Trees
 - Dwelling Unit Trees
 - Headlight Screening
 - Residential Landscape Buffers
 - Mechanical and Utility Screening
 - Dumpster and Bulk Pickup Enclosures

Floor Plans

- Please label and dimension the following items:
 - Structure parking levels
 - Ground floor space depth

Building Elevations

- Please label and dimension the following items:
 - Adjacency requirements/step-backs
 - Blank wall treatments
 - Module differentiations

- Base, middle, and top differentiations
- Frontage types
- Window coverage calculations
- Ground floor height

Detail Drawings

- Please label and dimension the following items:
 - Dumpster and bulk pickup screening (include height, materials, gates, and opacity), or indicate the absence of dumpsters/bulk pickup
 - Fence & walls (include height and materials)
 - Light fixtures

Additional Zoning Standards

- Indicate if you are eligible or have obtained height bonus approvals.
- Include approved variance application numbers.
- All parcels on which the development is located are to be combined, and a copy of the recorded lot combination from Franklin County is to be provided. Otherwise, the site data is to be provided on a parcel-by-parcel basis.
- Include a copy of the Limitation or CPD text, and CPD plan associated with the site is to be provided as part of the submittal. Additionally, a statement is to be provided on the cover page next to the architect/engineer seal and signature, certifying the project complying with all CPD/Limitation text requirements.
- If a historic site, located within a historic district, the East Franklinton Overlay, or the University Impact District, please include a Certificate of Appropriateness/Approval. Please note, the Planning Divisions facilitate the process of obtaining a Certificate of Appropriateness. For more information, please reach out to PlanningInfo@columbus.gov for more information.

Division of Traffic Management

Division Contact: DPSDevelopmentInquiries@columbus.gov

Scoping R/W Improvements: DPSDevelopmentScopeRequests@columbus.gov

Traffic Studies: DPSDevelopmentTrafficStudies@columbus.gov

Parking Studies: DPSDevelopmentParkingStudy@columbus.gov

R/W Questions: rightofwaymanagement@columbus.gov

Quick Links

[Refuse Collection Note](#)

[Inverted U Bicycle Rack Detail with Counts](#)

Multimodal Thoroughfare Plan Information:

<https://columbus.legistar.com/LegislationDetail.aspx?ID=4066837&GUID=FA56A812-1334-4CF4-9610-5DBF5D84AE44&Options=ID|Text|&Search=1950-2019>

Title 21 – Traffic Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT21TRCO

Title 13 – Refuse Collection Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT13RECOCO

Title 43: Platting and Engineering Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT43PLENCO

Background

The Division of Traffic Management is the regulating and coordinating body for traffic mobility and safety within private development into the city's existing transportation network. Their regulatory authority within the Final Site Compliance process is to monitor internal and external circulation of the site to ensure safety for vehicles, bicycles, and pedestrians across public and private infrastructure. This can include right-of-way improvements, parking configuration, site circulation, maintaining site access, and the coordinating refuse collection services. Outside of this process, Traffic Management is responsible for the scoping of right-of-way improvements, completing Traffic Studies, and reviewing Street Construction Plans in accordance with City of Columbus Code.

Plan Considerations

- Improvements shown in the public right-of-way will need to be shown in an E-Plan. Please note, the Final Site Compliance plan will need to be completed prior to receiving FSCP approval.
- A traffic impact study may need to be performed to study off-site intersections in addition to the access points for the proposed developments. A traffic impact study is required when a development meets certain trip thresholds defined in the Traffic Standards Code. A traffic access study may be required when access is taken from an arterial or collector street. This study determines queuing impacts and/or turning movement limitations that may be necessary at the site access points. Both

studies can be triggered by rezoning, zoning variance, special permit or preliminary subdivision plat application. Please note, approval of these traffic studies is necessary to initiate the scoping of work for right-of-way improvements.

- Depending on the scoping for right-of-way improvements, your site may be subject to the submittal and approval of an E-Plan (Street Construction Plan), CC-Plan (Stormwater Plan), or Right-of-Way permit. Approval for these permits is necessary prior to the approval of a final site compliance plan.

Traffic Checklist

Labels and Dimensions

- Please provide the general information:
 - Provide a brief project description indicating the existing and proposed conditions of the site.
 - Required and provided vehicle, accessible, and bicycle parking.
 - Indicate if you are proposing any work within the R/W, which will trigger a Drawer-E Plan.
 - Indicate if you are seeking a rezoning or variance.
 - Provide information on how emergency access will be achieved at the site.
- Dimension the following:
 - 10' by 10' clear vision triangles from the driveway access to the intersecting road
 - Please clearly note the R/W widths and the associated R/W lines of the adjacent public streets on the plans. If the R/W varies, please include a spot dimension.
 - Parking stalls and wheel stop devices (if applicable)
 - 60-degree parking angles require 17'
 - 45 degree and 30-degree parking angles require 13'
 - ADA parking spaces and associated striping (check compliance with)
 - Aisle Widths
 - 2-way aisles must have at least 20'
 - 1-way aisles must have at least 13'
 - Maneuvering Area
 - Ensure that maneuvering does not occur in the right-of-way, parking setback, or public street
 - Drive-Through Lanes, Vehicular Stacking, Bypass Lanes
 - Existing and proposed access point and access widths
 - Please note, new access points may be subjected to additional sight distance requirements and access requirements
 - Identify any encroachments to be removed from the right-of-way.
 - Clearly label any gates or access restrictions.

Zoning and Right-of-Way Commitments

- If you are seeking a rezoning or variance, your site may be subjected to additional standards including Right-of-Way dedication. Verify if you have sought or are seeking a rezoning or variance. Please check if your project is within the [Columbus Multimodal Thoroughfare Plan](#) to confirm that R/W will need to be dedicated.

- If your site is within the Downtown District, please identify if your site occupies 150 lineal feet of public street frontage or 50% or more of a block. If so, please reference the Downtown Streetscape Standards for your E Plan Submittal.

Access Requirements

- Verify the Jurisdiction of the frontage the access is to be taken from.
- Is proposed access close to an existing intersection, other driveways? Or propose a significant increase in parking?
- Verify driveway width between 20' and 35' at throat. (use turning templates if needed). If not, reasoning must be provided to us to evaluate the necessity of a larger drive, review with Division of Fire may be necessary to approve drives smaller than 20'.
- Driveway must measure at least 26' if more than 60 parking spaces are proposed.
- Is there a need for a traffic access study or traffic impact study?
 - Intersection signalization, turn lanes or other improvements may be warranted.
- A driveway serving a parking lot should be designed so that vehicles entering or exiting the lot are traveling in a forward motion.
- Please verify with the Division of Fire if emergency access is needed. Ensure access is not inviting and that gate and signage details are provided.

Bike Requirements

- Please clearly show bike parking locations and include the standard note for the DPS inverted U bike rack detail on the plan.
- Ensure that the bike rack has adequate room and does not encroach upon any walkway, parking space, aisle or maneuvering area.
- If any of the frontages of this development is included within the Bicentennial Bikeways Plan of 2008, a fee may be assessed at the time of review. Please reference [Chapter 4307.29](#) for further information regarding this requirement.

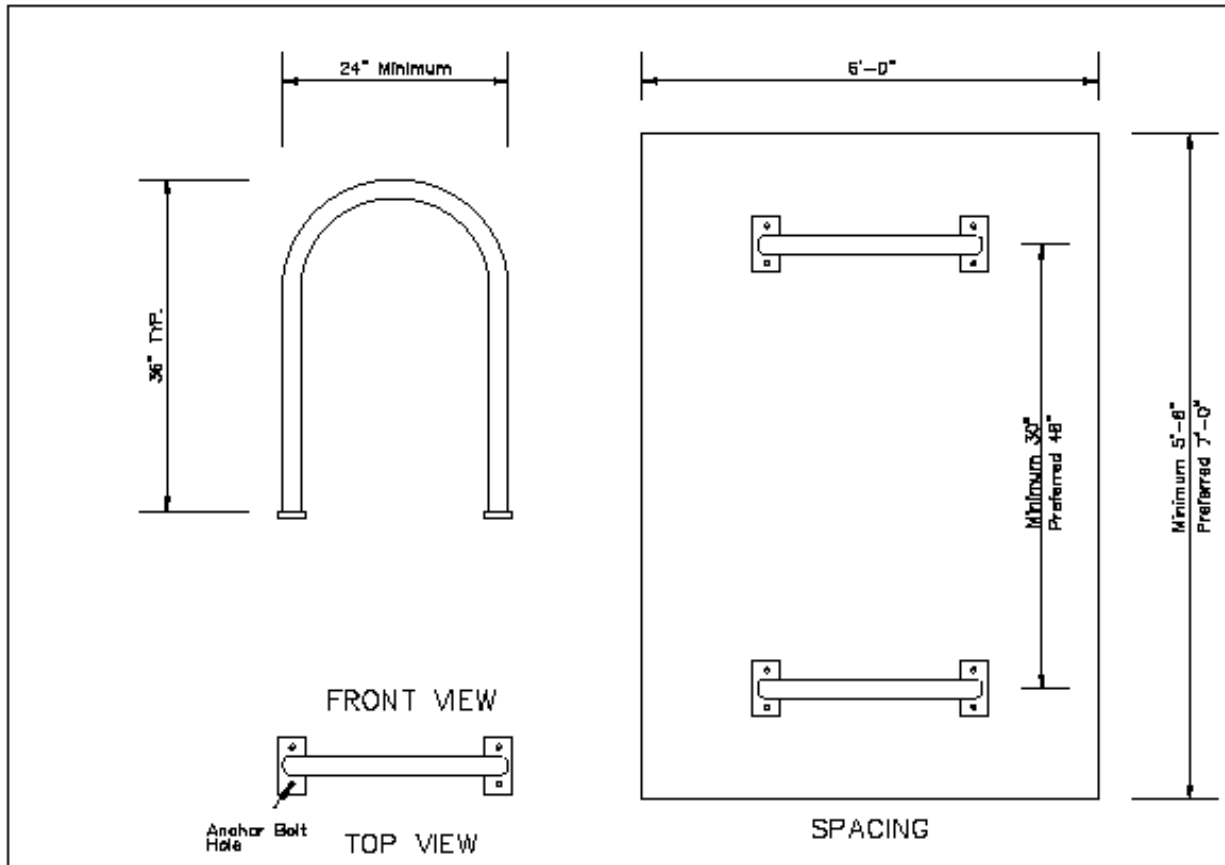
Sidewalk and Curb Ramp Requirements

- If your project is proposing new construction or the building expansion exceeds 50% increase in building square footage, sidewalks will be required along the frontages of this site in conformance with [Design Memo 6.03](#). Please ensure that the sidewalks adhere to the following standards:
 - Show and label sidewalks in the Right-of-Way
 - Show and label ADA compliant curb ramps installed at public intersections. For more information, please utilize the [Curb Ramp Construction](#) webpage.
 - Demonstrate continuous pedestrian connection from buildings to sidewalks.
- If a shared use path is required as a part of this development, please ensure that the SUP is in conformance with [Design Memo 6.02](#). Please ensure that the SUP adheres to the following standards
 - Show and label SUP in the Right-of-Way
- If you are near a CIP project, further coordination may be required. A fee in lieu of the construction or an exemption to the requirements may be required.
- Please note, additional off-site pedestrian infrastructure may be required if the development exceeds 50 residential units, 20,000 sf of retail or restaurant uses, or 30,000 sf of other nonresidential uses.

School/Daycare Requirements

- Change of use to daycare will require a site compliance plan.
- Show, label, and dimension the following:
 - Pick-up and drop-off spaces
 - Main Pedestrian and Vehicular Access points to and from school
 - Hours of Operation and Heaviest Impact Times
 - Provide a Transportation Circulation Plan
 - Student drop-off and pick-up areas
 - Bus loading/unloading zones
 - No Parking Zones
 - Provide information about the Total School Population
 - Provide # of walkers
 - Provide # of bus riders
 - Provide # of car riders
 - Distinguish if any of the drivers are high school students
 - If this is an interim plan or expansion plan, please share any details.

Inverted U Bike Rack Detail



Total No. of Parking Spaces Required	Total No. of Inverted "U" Racks Required
1-20	1
21-80	2
81-100	3
101-140	4
141-180	5
181-220	6
221-280	7
281-300	8
301-340	9
341+	10

1. Bicycle parking shall be located in highly visible areas near the intended use.
2. Bicycle parking racks shall be positioned out of walkway clear zones and not pose a tripping hazard for visually impaired pedestrians.
3. Bicycle parking racks shall be located to avoid potential conflict with parking and circulation of motor vehicles.
4. Bicycle parking racks shall be of the inverted "U" type design, unless an alternative design has been approved by the Public Service Department.
5. Bicycle parking racks shall support a bicycle upright in two places. See Figure 1.
6. Bicycle parking racks shall enable the bicycle frame and one or both wheels to be secured through use of a "U" type lock.
7. Bicycle parking racks shall be securely anchored to an approved hard surface.
8. A two foot by six foot space is required to accommodate two bicycles.
9. Parallel bike racks shall be a minimum on-center spacing of 30 inches. Spacing of 48 inches is optimal.

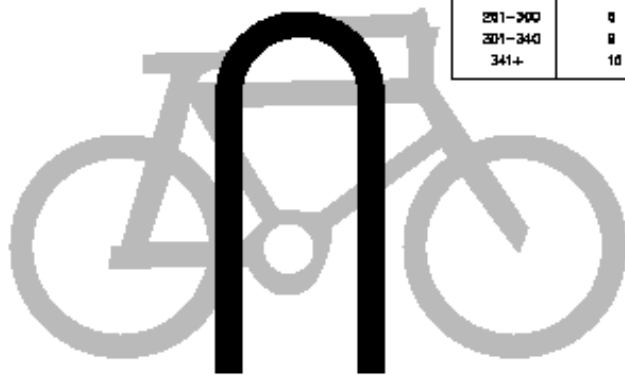


FIGURE 1

INVERTED "U" BICYCLE RACK

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC SERVICE
DIVISION OF PLANNING AND OPERATIONS

NOT FOR
DESIGN
PURPOSES

REV: 05/31/13

SHT 1 OF 1

Refuse

- Please note, this section is only applicable to Residential Plans and City Facilities
- Please include the City of Columbus Refuse Collection note.
 - The project may be eligible for public refuse collection. To be eligible, please ensure that the project satisfies the following criteria:
 - Adequate space is provided for dumpster maneuvering (50' for dumpster & 60' for compactor, both include 10' approach apron).
 - Locations with five units or greater on one parcel are required to have a dumpster or compactor to service refuse needs.
 - Street network can be served by Refuse vehicles
 - Angle of approach must be adequate to accommodate Refuse vehicles
 - Dumpster capacity must be adequate by providing ½ cubic yard per dwelling
 - If the project does not meet the public refuse requirements and you are seeking private service, please ensure that the private portion of the refuse collection note is completed and provided on the site plan.
- Please show and dimension the refuse containers and enclosures within each refuse area.

Refuse Collection Note

REFUSE COLLECTION NOTE	
<u>PRIVATE SERVICE</u>	
Total # of Units:	_____
Required Loose Capacity (# of units x ½ cubic yards)	_____
Required Compactor Capacity (# of units x ½ cubic yards x ¼)	_____
Provided Capacity (# of physical containers x container size)	_____
Total Capacity (provided capacity x # of weekly collections)	_____
*Total Capacity must meet or exceed Required Capacity	
Location and Method of Bulk Storage Collection:	

Property Owner Name: _____	
Property Owner E-mail Address: _____	
I voluntarily choose to opt out of the requirements of subsection 1309.02 of Columbus City Codes, Title 13, Refuse Collection Code, by securing a private collection service for all acceptable waste for said property. By opting out, the identified parcel(s) will no longer be eligible for any future refuse collection services within the City of Columbus.	
CITY OF COLUMBUS DEPARTMENT OF PUBLIC SERVICE DIVISION OF REFUSE COLLECTION	
REV: 04/23/24 SH1 1 OF 1	

Central Ohio Transit Authority (COTA)

- If your project will impact Maintenance of Traffic (MOT), please coordinate with COTA’s Design Review team at cotadesignreview@cota.com
- Ensure that bus stop locations are accurately shown and any relocations are approved prior to scoping.

Design and Construction

Division Contact: mdtimbrook@columbus.gov and/or CNFallara@columbus.gov

Quick Links

Final Site Compliance Table:

[https://www.dropbox.com/s/w5qyt344aea2eaz/Table For Final Site Compliance Plans.pdf?dl=0](https://www.dropbox.com/s/w5qyt344aea2eaz/Table%20For%20Final%20Site%20Compliance%20Plans.pdf?dl=0)

Design and Construction Checklist

Table of Associated Plans

- Plan must include the [Table of Associated Plans List](#)
 - Table must include the Preliminary Site Compliance Number and Final Site Compliance Number
 - Include ONE entry: Drawer E# OR Storm CC# OR R/W Permit OR No DPS Improvements in the R/W (based on determination by DoTM)
 - List other associated plans in far-right hand column, when applicable

Final Site Compliance Plan # _____						
DPS Improvements in the Right-of-Way					No DPS Improvements in the Right-of-Way	Other associated plans
Drawer E #	or	Storm CC #	or	R/W Permit		
				<input type="checkbox"/>	<input type="checkbox"/>	

Parking and Mobility Services

Division Contact: DPSDevelopmentParkingStudy@columbus.gov

Quick Links

Parking Impact Study Guide and Checklist: https://www.columbus.gov/files/sharedassets/city/v/3/public-service/parking-service/policy_parkingimpactstudy_3.17.2026.pdf

Parking and Mobility Services Checklist

- Identify if a [Parking Impact Study](#) is required for your project:
 - A Parking Impact Study is required if your project meets either of these conditions:
 - **Residential:** Greater than 10 dwelling units AND providing fewer than 1 parking space per unit

- **Non-Residential:** Greater than 2,500 sq. ft. AND providing less than 50% of the number of parking spaces as stated in Title 33 of the Columbus City Code ([Chapter 3312.49 - Required Parking](#))
- **You may be exempt from a parking impact study if:**
 - Your site and all block faces within 750 feet are within a Managed Parking Area; OR
 - Your project uses a state **LIHTC** designation
- If a study is required, the Division of Mobility and Parking Services will contact you within 10 business days of your site plan submission with next steps.
- Additionally, if the development is proposing more than ten (10) Residential units, zero (0) parking spaces, and does not require a Parking Impact Study, the project will require the implementation of Mitigation strategies per the requirements found in the Mitigation section.

Division of Water Reclamation

Division of Water Reclamation Contact: DPU_Private_Development@columbus.gov

Division of Floodplain Contact: RMVanSickle@columbus.gov

GIS Map Room: DPU_GIS_Mapping@columbus.gov

Quick Links

Stormwater Drainage Manual:

<https://www.columbus.gov/files/sharedassets/city/v/2/utilities/documents/sewer-publications/2025-stormwater-drainage-manual.pdf>

Title 11 – Water, Sewer, and Electricity Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT11WASEELCO

Background

Division of Water Reclamation is responsible for overseeing site-specific stormwater management and sanitary sewer concerns. The purpose of the Stormwater Drainage Manual is to protect existing natural stormwater resources, convey and control stormwater in a safe and responsible manner, and meeting water quality goals. The final site compliance plan will not receive approval until the associated Storm CC Plans and Sanitary CC plans are granted approval. The stormwater requirements are derived from the Stormwater Drainage Manual.

Plan Considerations

- If a site exceeds 2,000 sf of new, net impervious area, a Storm CC Plan will be required showing quantity controls.
- If a site exceeds 10,000 sf of impervious area, a Storm CC plan will be required showing quantity and quality controls.
- If a residential project is being proposed for 10 or more units, a Sanitary CC plan will be required.
- CC Plans are separate submittals from the site compliance process, but the processes run concurrently. Please note, the final site compliance plan will not be approved until the associated storm and sanitary plans are approved.
- A Stormwater Pollution Prevention Plan may be needed for sites identified as land disturbance activity sources of pollutants and temporary construction pollution prevention controls to manage the site runoff. This is triggered for sites that exceed 1 acre of total disturbance. Please reference the Ohio EPA Construction General Permit and Ohio EPA Routine Maintenance Exclusion and Columbus Land Disturbance Regulation for SWPP requirements for further advisement.

Water Reclamation Checklist

Labels and Dimensions

- Please provide a site data table including the following information:
 - Total Site Area: _____ ac
 - Total Disturbed Area: _____ ac

- Impervious Disturbed Area: _____ ac
- Pre-Developed Impervious: _____ ac
- Post-Developed Impervious: _____ ac
- If a project meets the de-minimis requirements, please include the following note:
 - The above disturbance is under the De-minimis requirements for detention of creating 10,000 sq. ft. or less of impervious area disturbance and/or not creating more than 2,000 sq. ft. of new, net impervious area. However, for any future developments on this site, the above disturbance will be added to any new disturbance proposed, and hence all developments will be cumulative.
- Show existing and proposed storm and sanitary sewers labeled with pipe diameter and Sewer record number. To obtain existing sewer records, please contact.
- For parcels that are under common ownership and retain contiguous stormwater facilities, the lots must be combined. If a lot combination is not proposed, a recorded deed restriction addressing maintenance and perpetuity of stormwater facilities must be provided prior to approval of the FSCP.
- For parcels that are under different ownership and retain stormwater facilities crossing multiple parcels, please provide recorded reciprocal easements addressing shared stormwater facilities. This will be required prior to FSCP approval.

Sanitary Services

- For residential projects that exceed 10 persons per acre, please provide a “Sanitary Design Capacity Table”
 - Units Bedrooms People/Unit People
 - # 1 1.5 ##
 - # 2 2.5 ##
 - # 3 3.5 ##
 - Total People ###
 - Density (ppa) #####
 - Where
 - # is number of units with stated number of bedrooms
 - ## calculated units x people/unit
 - ### Total calculated people for all units
 - ##### calculated people per acre for site
- Show and label existing and proposed sanitary services (contact sewer permits office 614-645-7490)
- Please include the following notes:
 - “Connection to sanitary sewer cannot be made without obtaining a permit from Sewer Permit Office 111 N. Front St (614) 645-7490.”
 - “Sanitary Services are shown on this plan for reference only. Approval of this plan does not constitute approval of the sanitary services or their locations. Contact the DPU Permit Office at 111 N. Front St for sanitary service approval.”
- If a Sanitary Sewer Cap off is required, please include the following note:

- “Sewer Capoff permit is required prior to issuance of demolition permit. Obtain a capoff permit from Sewer Permit Office 111 N. Front St. 614-645-7490”
- If the project is proposing to abandon the Healthcare Septic Treatment Systems, please contact Franklin County Health Department for further coordination.
- A permission to tap letter is required from developer who built sanitary sewer prior to issue of sanitary service tap permit.

Easements

- Show existing and proposed storm and sanitary sewer easements.
- Label easement dimension numbers and instrument numbers.
- Please note, encroachments into the Division of Sewers and Drains easements are not permitted.

Floodplain and Stream Corridor Protection Zone

- If your site is located within the floodplain or stream corridor protection zone, label the 100-year floodplain lines, floodway lines, and Stream Corridor Protection Zone lines on all sheets.
- Include a floodplain table on the title sheet of the Final Site Compliance Plan with the following information:
 - FIRM Panel Number (provide the entire FIRM Panel number)
 - Effective Date of FIRM Panel with the month, day, and year
 - Flood Zones (Insert AE, X, etc. as applicable)
 - Indicate if there is any floodway fill or floodway obstruction?
- For flood information, please utilize the FEMA website: <https://msc.fema.gov/portal/home>

Important Considerations

- Re-stripping of the parking lot does not contribute to new disturbed area. However, parking lot changes to surface type and full depth replacements may count toward new disturbed areas.
- If there have been additional disturbances since the previously approved site plan of record, the alterations will need to be considered within the new site compliance process or removed to be in conformance with the previously approved plan of record.

Recreation and Parks

Division Contact: DEEvans@columbus.gov

Forestry Division: Forestry@columbus.gov

Parkland Dedication Contact: PDO@columbus.gov

Quick Links

Standard Notes: <https://columbusrecreparks.com/connect/business-resources/>

Public Tree Inventory: <https://experience.arcgis.com/experience/8c709551d05f46c78f9b62df707b0b2d>

Chapter 3318 – Parkland Dedication:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetd=TIT33ZOCO_CH3318PADE

Background

Recreation and Parks maintain public recreational facilities and natural resources. In the purview of the private development, Rec and Parks seeks to provide adequate public parkland and open space for its residents throughout the city. If there is a zoning change, the Parkland Dedication Ordinance is triggered. Additionally, the Forestry Department monitors the impact of public trees in the right-of-way and seeks protection and mitigation during construction.

Plan Considerations

- Please note, if the Parkland Dedication Ordinance is triggered for your project, the final site compliance plan will not be approved until the dedication has occurred or the fee-in-lieu of the dedication has been paid.
- Any impact to Public Trees may trigger the requirement for a Public Tree Plan. This will need to be completed by a Natural Resource professional.
- To ensure that the private development that is being proposed does not interfere with Parkland uses, please reference the “Non-Park Use of Park Lands” policy for further information for code compliance.

Recreation and Parks Checklist

Public Trees

- Please show, dimension and label all trees within the public right-of-way. Add the CRPD standard “Public Tree Removal and Mitigation Note,” to the plan’s General Notes section. Find CRPD standard notes/details at: <https://columbusrecreparks.com/connect/business-resources/>
 - Label with Public Tree Inventory Number
 - Please note, if trees removed in the R/W or public property shall be mitigated by replanting or fee-in-lieu.
- Add the CRPD standard Public Tree Notes to the plan’s General Notes section. Find CRPD standard notes/details at: <https://columbusrecreparks.com/connect/business-resources/>
 - Include all 5 Public Tree Notes on all plans even if there are no public trees currently present. There is no guarantee a public tree won’t be planted by the time construction starts.

- A Public Tree Plan is required for any plan with Public Trees in the work limits. This includes the tree’s critical root zone.
 - Contact Forestry with any questions about the Public Tree Plan at Forestry@columbus.gov.
 - To view and download a digital copy of the Tree Technical Manual: <https://columbusrecparcs.com/nature/urban-forestry/tree-technical-manual/>.
- Forestry Permits are to be applied for after Public Tree Plan approval.

Rezoning or Council Variances

- For sites that are over an acre in size and are seeking a rezoning and/or the zoning of the site changes, the Parkland Dedication Ordinance will be triggered. The Parkland Dedication Ordinance ensures that public parkland and open space is adequate, and that development interests are treated equitably throughout the rezoning process.
 - The Parkland Dedication Ordinance fee is assessed at the time of improvements. If a rezoning is sought and left undeveloped, the ordinance is not triggered.
 - There are a few ways to adhere to Parkland Dedication Ordinance including the provision of private recreational resources and/or a fee in lieu of the land dedication. The Recreation and Parks Commission or its designee shall deem the dedicated land to be appropriate only if the proposed dedicated land is suitable for public parkland/open space.
- Unless there is an increase in population density, the PDO does not apply to residential classification to residential classification rezonings that do not increase population density.
- If you are seeking to calculate the PDO fee, please utilize the “CRPD Park Dedication Ordinance Guidance” for further information. Please note, the PDO fee differs between commercial and residential projects.

Division of Power

Division Contact: phenderson@Columbus.gov

Quick Links

Streetlight Design Manual: <https://www.columbus.gov/WorkArea/DownloadAsset.aspx?id=2147509006>

Potential City Electric Service:

<https://columbus.maps.arcgis.com/apps/webappviewer/index.html?id=ca87b3e29943488ba7f02aafe1f8d0f9>

Electrical Service Application: <https://www.columbus.gov/Services/Columbus-Water-Power/About-Columbus-Water-Power/Division-of-Power/Apply-for-New-Service>

Title 11 - Water, Sewer, and Electricity Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT11WASEELCO

Background

The Division of Power (DOP) is a publicly owned electric utility that manages electrical distribution and street lighting infrastructure for the City of Columbus. In the private development process, the division ensures that new projects can be safely connected to the city's power grid and that the required street lighting is properly integrated into the public right-of-way.

Plan Considerations

- Impacts to DOP facilities are expected to be properly mitigated under an engineering Dr. E plan or other engineered plan if all departments are in agreement thereto. In these cases, add basic references or coded notes to the engineering plan # under which this work will be designed and constructed.
- Please note, the Final Site Compliance plan will not be approved until the E Plan has received approval.
- Department of Public Service will scope the development for right-of-way improvements. Follow up with Power to establish these impacts, and DOP will provide a scope of work for any DOP related improvements. Improvements are to be performed at the expense of the private development.
- Please note, Division of Power observes the "joint use agreement policy" wherein DOP can be attached to "private" wood poles and vice versa. If our equipment is attached to a "private utility" pole that is being impacted, engineering plans are required to account for DOP mitigation design work separately from the "private utility's" required permitting process. This scenario creates the need for construction coordination on behalf of the development team and private utility in conjunction with the engineering plans.

Division of Power Checklist

Labels and Dimensions

- o Show and label all DOP facilities located in the right-of-way or internal to the site. Use industry standard nomenclature for lines (OHL/UGL for overhead/underground street lighting; OHE/UGE for overhead/underground primary and secondary) and equivalent line-types. Label Pole ID#s (DPU/GIS).

- Add dispositions to all poles (DND “do not disturb”; TBR “to be removed”; TBRL “to be relocated” etc.).
- Please include Division of Power Standard Note:

FOR THE DIVISION OF POWER

The Division of Power (DOP) may have overhead and underground primary, secondary, and street lighting at this work location. The contractor is hereby required to contact OUPS at 811 or 1-800-362-2764 forty-eight hours prior to conducting any activity within the construction area.

Any required relocation, support, protection, or any other activity concerned with the City's electrical facilities in the construction area is to be performed by the contractor under the direction of DOP personnel and at the expense of the project. DOP shall make all final connections to DOP's existing electrical system at the expense of the project. The contractor shall use material and make repairs to a City of Columbus street lighting system by following DOP's “Material and Installation Specifications” (MIS) and the City of Columbus “Construction and Material Specifications” (CMSC). Any new or re-installed underground streetlight system shall require testing as referred to in section 1000.18 of the CMSC manual. The contractor shall conform to DOP's existing Street Light Lockout/Tagout (LOTO) Procedure, MIS-1, copies of which are available from DOP.

If any electric facility belonging to DOP is damaged in any manner by the contractor, its agents, servants, or employees, and requires emergency repairs, the DOP Dispatch Office should be contacted immediately at (614) 645-7627. DOP shall make all necessary repairs, and the expense of such repairs and other related costs shall be paid by the contractor to the Division of Power, City of Columbus, Ohio.

Street Lighting

- All impacts to street lighting are to be addressed in accordance with our Streetlight Design Manual.
- All “temporary” removal or relocation of street lighting will require applicable design and details to be part of engineering plans.
- Any existing obsolete luminaire (other than LED) that is impacted shall be replaced (at the expense of the project) with current standard LED luminaire meeting our Streetlight Design Manual and MIS specifications.
- All new commercial driveways are to comply with our minimum horizontal clearance requirements of a minimum of 5 feet clear from the centerline of poles to the beginning point of radius of said driveway.
- All new commercial driveways proposed over top of “existing” underground street lighting 2” conduit requires replacing both circuit and conduit to comply with 3” steel w/ 2” conduit insert (MIS-702). This requires a street light plan to be part of the engineering plan set.

Services

- If you live or operate a business within the Division of Power's service area, you may be eligible to select Division of Power as your electrical service provider, if you are not already a site customer.
 - To find if you are located in the City's service area, please utilize the following map to search for eligibility:
<https://columbus.maps.arcgis.com/apps/webappviewer/index.html?id=ca87b3e29943488ba7f02aafe1f8d0f9>

- To submit an application for a new service, please fill out the application for New Service: <https://www.columbus.gov/Services/Columbus-Water-Power/About-Columbus-Water-Power/Division-of-Power/Apply-for-New-Service>

Division of Water

Division Contact:

WSP Submissions: DPUDigitalSubmittal@columbus.gov

Waterline Only Submission: Engineeringinfo@columbus.gov

Quick Links

Water Service Plan Design Manual: www.columbus.gov/Services/Public-Utilities/Information-for-Customers/Public-Utilities-Forms-Documents/Water-Publications

Title 11 – Water, Sewer, and Electricity Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT11WASEELCO

Background

The Division of Water coordinates water infrastructure maintenance and compliance with the proposed development. As a part of the final site compliance process, the Division of Water verifies that the proposed and existing water systems have adequate capacity, connection, and pressure for domestic use and fire suppression. In concurrence with this process, Water Service Plans are triggered by new water service work, the modification or relocation of existing connections, and some fire hydrant installations. This plan is a separate submittal from the final site compliance process.

Plan Considerations

- Water Service Plans and Waterline Only plans are separate from the Final Site Compliance review. Water Service Plans are submitted for review to DPUDigitalSubmittal@columbus.gov. Waterline Only plans are submitted to EngineeringInfo@columbus.gov.
- Please note, if a Water Service Plan is needed for this site, it must undergo 1 round of reviews prior to receiving site compliance approval.

Division of Water Checklist

Label and Dimensions

- Please show the existing water mains in the area and label with the record plan number and size. To request records of water infrastructure, please contact dpu_gis_mapping@columbus.gov.
- Show and label water service to the site and include the Tap ID and Water Service Plan Record Number. Please note, if you are proposing a new water service, the Water Service Plan record number will be assigned during the initial site compliance review.
- For proposed water service, if meter and backflow preventer are to be located outside of a building, label the underground meter pit and/or the above ground heated enclosure as needed.
- The Water Service Plan should be in accordance with the Water Service Plan Design Manual located on the City of Columbus website at: <https://www.columbus.gov/Services/Public-Utilities/Information-for-Customers/Public-Utilities-Forms-Documents/Water-Publications>
- For a site with existing water service, the backflow preventer may not be in compliance with our current rules and regulations. Please contact our Backflow Prevention Office at 614-645-6674 to

request a site consultation meeting to determine if the proper backflow containment exists and meets our standards.

Division of Fire

Contact: CFDPlansReview@columbus.gov

CFD High Hazard Inspectors: CFDtanks@columbus.gov

Quick Links

Title 25 – Fire Prevention Code:

https://library.municode.com/oh/columbus/codes/code_of_ordinances?nodetid=TIT25FIPRCO

Background

The Columbus Fire Division ensures that private developments are in conformance with Ohio Fire Code. Their oversight focuses on ensuring adequate fire apparatus access, including minimum road widths, weight-bearing capacities, and proper turning radii for emergency vehicles. Additionally, the division verifies the strategic placement of fire hydrants and Fire Department Connections (FDCs) to guarantee a reliable water supply and efficient suppression capabilities. CFD works to ensure that all projects are equipped to support rapid emergency response and occupant safety prior to final plan approval.

Division of Fire Checklist

Fire Apparatus

- The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building. If the building is sprinklered, the fire code official can increase the dimension to 250 feet OFC 503.1.1
- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. OFC 503.2.1
- Dead-end fire apparatus access roads more than 150 feet in length shall be provided with an approved turnaround for fire apparatus. OFC D103.4
- Multi-family residential projects having more than 100 dwellings shall have two separate & approved apparatus access roads. If all buildings are sprinklered 200 units shall be allowed (garages included). OFC D106
- One- and two-family dwelling units over 30 shall have two separate and approved apparatus access roads. Exception for Automatic Sprinkler System. OFC D107.1
- Where security gates are installed, they shall have an approved means of emergency entry. Currently use Knox brand products for entry. OFC 503.6.
- Commercial buildings more than 30' or three stories in height shall have at least two means of fire apparatus access for each structure. D104.1
- Commercial buildings exceeding 62,000 sq. ft. shall have two separate and approved fire access roads. Can go up to 124,000 sq. ft. if equipped with approved automatic sprinkler system. OFC D104.2
- Aerial Apparatus Access roads of 26' are required for buildings exceeding 30' to the eaves or top of the parapet wall. It should be located no less than 15' and no greater than 30' from the building parallel to one entire side. No overhead utility and power lines allowed. OFC D105

- Provide turning radius to show apparatus will make all turns. OFC D103.3
- Fire lanes will need to be marked on site plans. OFC D103.6
- Fire apparatus access roads shall not exceed 10 percent in grade. OFC D103.2
- CIC #046 Access Roads during Construction shall be adhered to at all times. Provide a note on the FSCP.

Hydrants

- Show and label existing, proposed, private, and public hydrants and mains.
- Water supply shall meet Ohio Fire Code Appendix B & C **[Provide Gallons Per Minute (GPM) flow on FSCP]**
- All portions of the building must be within 400 feet of a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building. 600 feet are allowed if the building is fully sprinklered. OFC 507.5.1
- Hydrants need to be spaced 300' apart in commercial areas and 400' residential.
- An approved water supply for fire protection shall be made available as soon as combustible material arrives on the site. OFC: 3312. Provide a note on the FSCP.

FDCs

- Show FDC on front address side of building and within 100' of a hydrant. The FDC & hydrant connection cannot interfere with the access for other responding apparatus. The FDC needs to be at grade level of the sidewalks. The FDC needs a sign above it stating what system it serves/address along with operating pressures and gallons per minute required. Multiple FDCs on a building must show what area of the building they serve.
- Remote FDC shall be designed and installed per NFPA 24 standards. OFC 912. An inspection and maintenance pit is required. Show remote FDC and pit on the FSCP.
- All FDC's must have locking Knox caps. Provide a note on the Site Plan. OFC 912.3.1
- Buildings that are considered a high rise need two separate FDCs that are remote from each other. NFPA 14 Section 7.12.2
- The fire pump room shall be accessible from the outside and the room rated.
 - NFPA 20, 4.13.2. Show and label the location on the Site Plan.
- Temporary Standpipes shall be installed prior to construction exceeding 40 feet. See OFC Section 3313. Provide a note on FSCP.

Emergency Response

- Fire Command Center location shall be approved by the fire code official. OFC 508.1.1. Show and label the location on the Site Plan.
- Emergency responder radio coverage. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building (The test is done by a 3rd party). OFC 510. Submit test results to CFDERRS@columbus.gov. Provide a note on the Site Plan.
- City of Columbus requires the use of the Rapid Key Entry System. Knox entry required for each secured tenant space. OFC 506.1. Provide a note on the Site Plan.

- While there is no code regulating underground EV charging stations, CFD does not support EV charging stations to be underground due to potential property and public risk.

Generators and Fuel Tanks

- These tanks must have
 - Vehicle impact protection
 - Security against unauthorized entry
 - An approved location by the Division of Fire BUSTR Inspectors
 - Contact CFD High Hazard Inspectors