

Applying for Graphics Permits

Dana Hitt, AICP

Christine Palmer

Jamie Freise

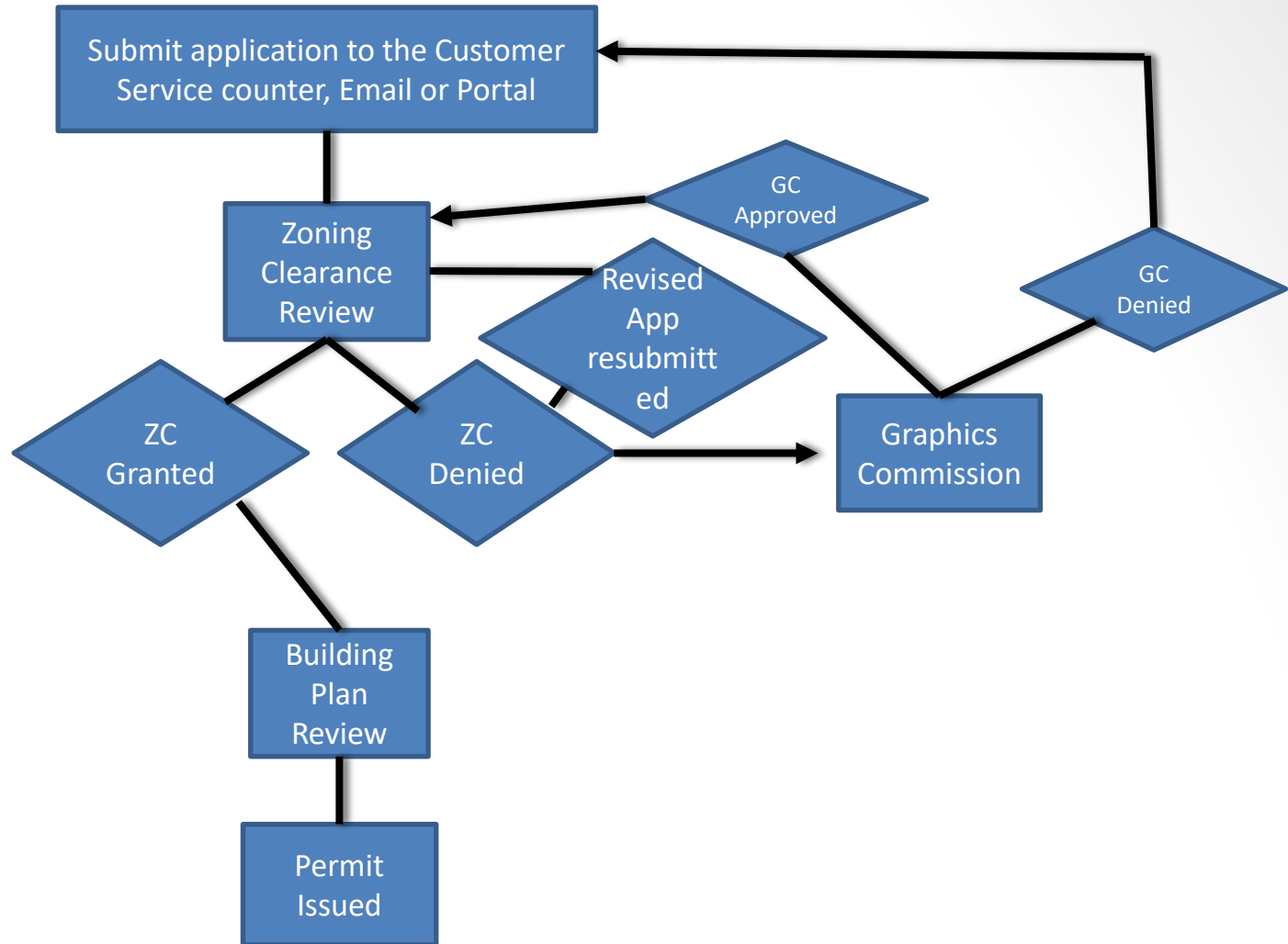
Nick Leonard

Nicholas Newnham



THE CITY OF
COLUMBUS
ANDREW J. GINTHER, MAYOR

DEPARTMENT OF BUILDING
AND ZONING SERVICES



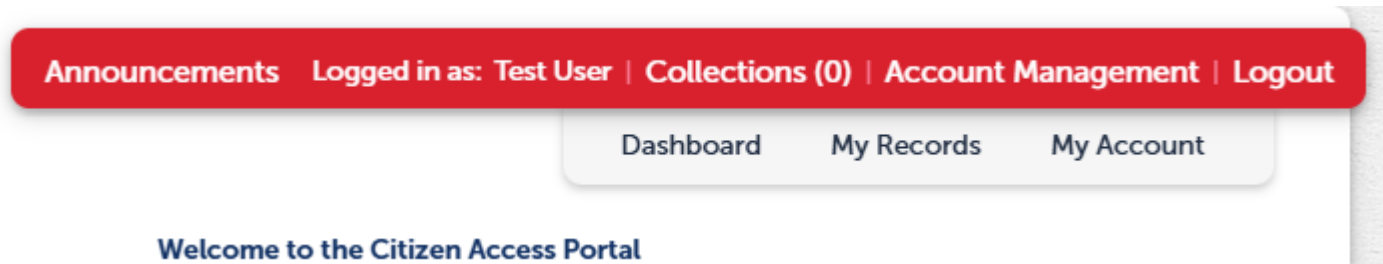
Applying for Graphics

Three ways to apply:

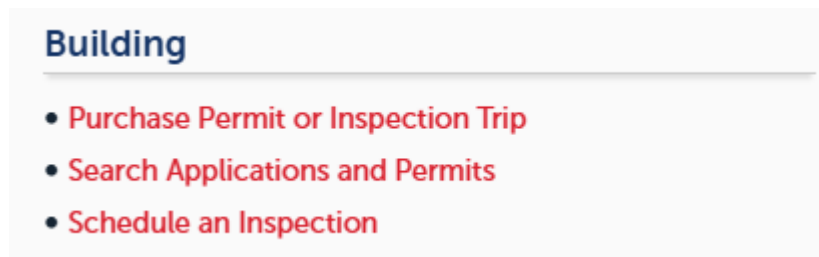
- Paper application with two sets of plans
 - Drawings on legal (8.5x14) or smaller
- Electronic submission through Citizen Access
 - Columbus.gov/bzs
- One PDF with application and plans to BZS-Intake@Columbus.gov
 - This option will be phased out

Electronic submission through Citizen Access

- Create an account and log in
- Account Management – associate your City of Columbus license to your Citizen Access Account

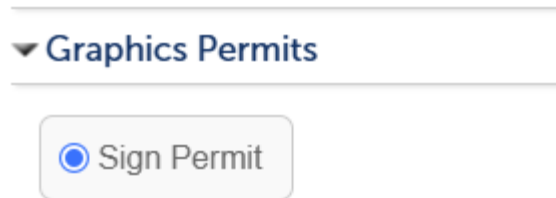


- Scroll down and click Purchase Permit or Inspection Trip under Building



Electronic submission through Citizen Access

- Accept the Terms
- From the list of Categories:
 - Expand Graphics Permits
 - Select Sign Permit



▼ Graphics Permits

☒ Sign Permit

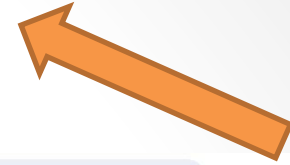
- Be familiar with the Online Graphics Submission Standards and the Online Graphics Permit Application

Before Proceeding

-
- Please review the **Online Graphics Submission Standards**.
 - Additionally, complete the **Online Graphics Permit Application** and include it with your submission.
 - All documents must be combined into one PDF file for submission.



Finding The Application Form:



← → ↻ new.columbus.gov/Business-Development/Building-Zoning/Documents-Forms ☆ 📄 📁 📱 🌐

[Visit the old website](#)

Careers 311 Facebook Youtube X Instagram English (United States) ▾

THE CITY OF **COLUMBUS**

Services Community **Business & Development** Government 311

How can we help you? **Search**

Home / Business & Development / Building & Zoning / Documents & Forms

Documents & Forms

This library contains documents generated and maintained by the Department of Building and Zoning Services.

Most Requested Documents:

- [2024 Fee Schedule](#)
- [Board of Zoning Adjustment Application](#)
- [Graphic and Sign Installation Permit Form](#)
- [Building Permit Application Form](#)
- [Certified Address Form](#)
- [Approved Minor Work Permit](#)

All Documents:

Building Permit Applications and Request Forms +

Contact

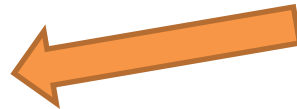
Building and Zoning Services
111 North Front Street
Columbus, OH 43215
(614) 645-7433

[Additional Contacts](#) (PDF, 146KB)

[Directions to Our Office](#)

[Parking Map for BZS](#) (PDF, 290KB)

Hours



Completing the Installation Form

Application No.: _____



DEPARTMENT OF BUILDING
AND ZONING SERVICES

Graphics Permit Application

111 N Front Street, Columbus, Ohio 43215
Phone: 614-645-8637 • www.columbus.gov/bzs

ALL FEES ARE NON-REFUNDABLE • Make checks payable to the Columbus City Treasurer

☐ On Premise ☐ Off-Premise (Requires Graphics Commission Approval) Date: _____

☐ Permanent Graphic:

Sign Type:		Subtype:	
<input type="checkbox"/> Wall	<input type="checkbox"/> Ground	<input type="checkbox"/> New Installation	<input type="checkbox"/> Face Replacement
<input type="checkbox"/> Roof	<input type="checkbox"/> Billboard	<input type="checkbox"/> Non-Illuminated	<input type="checkbox"/> Illuminated: <input type="checkbox"/> Internal <input type="checkbox"/> External
For Ground Signs Only:		Foundation: <input type="checkbox"/> New <input type="checkbox"/> Existing	Height: <input type="checkbox"/> ≤6 FT <input type="checkbox"/> >6 FT

☐ Temporary Graphic: 3376.10 & 3377.27

Type of Submittal: ☐ Initial ☐ Renewal; Prior Permit No.: _____
Mount Type: ☐ Ground Mounted; # of Facings: _____ ☐ Wall Mounted (if unable to ground mount)
Installation Date: _____ Removal Date: _____

☐ Miscellaneous Graphic: 3375.11.B (Does not require submittal by a licensed sign erector)

Type of Submittal: ☐ Banner (3375.15) ☐ Projector Graphic (3375.16) ☐ Other (3375.11.B.3): _____
Mount Type: ☐ Ground Mounted; # of Facings: _____ ☐ Wall Mounted
Installation Date: _____ Removal Date: _____

Job Site Information:

Certified Address _____ Zip _____ Working in Unit _____ Tax District/Parcel Number _____
Name of Establishment _____ Current Use _____
Description of Work to be Done: _____

Graphic Area for this Permit: _____ Sq. Ft. **Graphic is Associated with:** ☐ North ☐ East ☐ South ☐ West Bldg. Elevation _____

Property Owner and Contractor Information:

Property Owner Name _____	Property Owner Address _____
Property Owner Telephone Number _____	Property Owner E-mail Address _____
Contractor City of Columbus License No. _____	Company/Contractor Name _____
Contractor Telephone Number/Ext. _____	Contractor E-mail Address _____
Signature of Contractor or Authorized Signer _____	Print or Type Name _____

A. Zoning Information & Graphics Related Actions:

1. Zoning District _____ (e.g. C-4, L-C-4, CPD)
2. Case #: Z _____; Z _____; Z _____ (Include amendments); Other: _____
3. Overlay: ☐ UCO (Urban Commercial) ☐ CCO (Community Commercial) ☐ RCO (Regional Commercial) ☐ Noe-Bixby ☐ University
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1. Setback from street R.O.W. line _____ ft	8. Projecting sign distance from wall to R.O.W. line _____ ft
2. Setback from alley R.O.W. line _____ ft	9. R.O.W. Encroachment: <input type="checkbox"/> YES <input type="checkbox"/> NO
3. Setback from side property lot line _____ ft	10. Projecting sign: distance of encroachment into R/W _____ ft
4. Setback from rear property lot line _____ ft	11. Projecting sign: base of sign to R/W grade _____ ft
5. Number of through traffic lanes (exclude turn lanes) _____	12. Number of multi family dwelling units on same parcel _____
6. Speed limit _____ m.p.h.	13. Linear distance of public street frontage _____ ft
7. Height from grade to top of ground sign _____ ft	14. Residential Wall Sign: Height from grade to top of sign _____ ft

C. Area of Elevation of Building Associated with Sign & Allowable Graphic Area:

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NOTE: Provide all dimensions necessary to document *Area of Building Associated w/Sign* for complex building elevations.
2. $\sqrt{(\text{Square Root})}$ of **Area of Building Associated with Sign:** _____ Ft.
3. $\sqrt{(\text{Area of Building Associated with Sign})} \times \text{Mass Factor} (\text{_____}) = \text{Allowable Graphic Area} (\text{_____ Ft.})$
NOTE: Use appropriate Mass Factor from C.C. 3377.05A-C; 3377.06A-C; 3377.07A-C; or, 3377.24(B)
4. Allowable Graphic Area calculation without a Mass Factor: list code section & provide calculation:
Zoning Code Section: C.C. _____ Calculation: _____ = **Allowable Graphic Area** (_____ Sq. Ft.)
5. **Existing Graphic Area** (Complete for Face Replacement Only) = _____ Sq. Ft.
6. **Total Graphic Area for Building Elevation** = _____ Sq. Ft.
(Include all existing signs of same type for same elevation)

D. Signs in Residential Zoning Districts: (In addition to the information required above)

Number of Existing Signs on the Property: Wall _____ Ground _____ Window _____
Zoning Code Section for Current Sign Proposal: _____

Ground Sign Specifications: Contractors who are registered with COSA may indicate applicable engineering reference from the COSA Structural Standards specifications. Registration # _____
Otherwise, submit working drawings certified by an Architect or Engineer licensed by the State of Ohio.

Wall Sign Specifications: Contractors who are registered with COSA may indicate applicable engineering reference from the COSA Structural Standards specifications. Registration # _____
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Finding the City Zoning Map



gis.columbus.gov/zoning/



gis.columbus.gov/zoning/

THE CITY OF
COLUMBUS
ANDREW J. GINTHER, MAYOR

Columbus Zoning Map

Search by Parcel/Owner/Address

Parcel, Owner, Address

Welcome to the City of Columbus Online Zoning Map

This map is intended to locate the property in question, and provide information about the Columbus Zoning Code governing the use of this parcel. Please consult with zoning staff before making binding decisions based on this information. The property address is not a certified address for building purposes. No warranty is expressed or implied.

Please see our [help file](#) or [video](#) for assistance navigating this application.

☐ I agree

OK

Example: 010012345
Example: Smith
Example: 1111 E Broad St

4mi

Move mouse to get coordinates

Type here to search

4:55 PM
3/8/2023

The screenshot displays the City of Columbus's Enhanced Basemap Gallery. The main map area shows an aerial view of Harrisburg Pike in Columbus, Ohio, with various property parcels outlined in red and labeled with IDs such as 570250088, 570250094, 570221807, 1339, 570207389, 1347, 1370, ANNEX, 570149360, 01021875, 1949, 1938, 1937, 1961, 1965, 1969, 1973, 1977, 1981, 2001, 1993, 1988, 1983, 1979, 1974, 1968, 1963, 1958, 1953, 1948, 1938, 1933, 1928, 1923, 1918, 1913, 1908, 1903, 1898, 1893, 1888, 1883, 1878, 1873, 1868, 1863, 1858, 1853, 1848, 1843, 1838, 1833, 1828, 1823, 1818, 1813, 1808, 1803, 1798, 1793, 1788, 1783, 1778, 1773, 1768, 1763, 1758, 1753, 1748, 1743, 1738, 1733, 1728, 1723, 1718, 1713, 1708, 1703, 1698, 1693, 1688, 1683, 1678, 1673, 1668, 1663, 1658, 1653, 1648, 1643, 1638, 1633, 1628, 1623, 1618, 1613, 1608, 1603, 1598, 1593, 1588, 1583, 1578, 1573, 1568, 1563, 1558, 1553, 1548, 1543, 1538, 1533, 1528, 1523, 1518, 1513, 1508, 1503, 1498, 1493, 1488, 1483, 1478, 1473, 1468, 1463, 1458, 1453, 1448, 1443, 1438, 1433, 1428, 1423, 1418, 1413, 1408, 1403, 1398, 1393, 1388, 1383, 1378, 1373, 1368, 1363, 1358, 1353, 1348, 1343, 1338, 1333, 1328, 1323, 1318, 1313, 1308, 1303, 1298, 1293, 1288, 1283, 1278, 1273, 1268, 1263, 1258, 1253, 1248, 1243, 1238, 1233, 1228, 1223, 1218, 1213, 1208, 1203, 1198, 1193, 1188, 1183, 1178, 1173, 1168, 1163, 1158, 1153, 1148, 1143, 1138, 1133, 1128, 1123, 1118, 1113, 1108, 1103, 1098, 1093, 1088, 1083, 1078, 1073, 1068, 1063, 1058, 1053, 1048, 1043, 1038, 1033, 1028, 1023, 1018, 1013, 1008, 1003, 998, 993, 988, 983, 978, 973, 968, 963, 958, 953, 948, 943, 938, 933, 928, 923, 918, 913, 908, 903, 898, 893, 888, 883, 878, 873, 868, 863, 858, 853, 848, 843, 838, 833, 828, 823, 818, 813, 808, 803, 798, 793, 788, 783, 778, 773, 768, 763, 758, 753, 748, 743, 738, 733, 728, 723, 718, 713, 708, 703, 698, 693, 688, 683, 678, 673, 668, 663, 658, 653, 648, 643, 638, 633, 628, 623, 618, 613, 608, 603, 598, 593, 588, 583, 578, 573, 568, 563, 558, 553, 548, 543, 538, 533, 528, 523, 518, 513, 508, 503, 498, 493, 488, 483, 478, 473, 468, 463, 458, 453, 448, 443, 438, 433, 428, 423, 418, 413, 408, 403, 398, 393, 388, 383, 378, 373, 368, 363, 358, 353, 348, 343, 338, 333, 328, 323, 318, 313, 308, 303, 298, 293, 288, 283, 278, 273, 268, 263, 258, 253, 248, 243, 238, 233, 228, 223, 218, 213, 208, 203, 198, 193, 188, 183, 178, 173, 168, 163, 158, 153, 148, 143, 138, 133, 128, 123, 118, 113, 108, 103, 98, 93, 88, 83, 78, 73, 68, 63, 58, 53, 48, 43, 38, 33, 28, 23, 18, 13, 8, 3, 0. A search result box is overlaid on the map, displaying the address 1377 HARRISBURG PIKE, COLUMBUS, OH, and a zoom to button. The Enhanced Basemap Gallery is open on the right side of the screen, showing a grid of basemap options including Imagery 2021, Imagery 2019, Imagery 2017, Imagery 2015, Imagery 2013, Imagery 2011, Imagery 2009, Imagery 2007, Imagery 2004, Delaware 2002, Imagery 2000, Delaware 1997, Imagery 1995, Light Gray, and Columbus Basemap.

Enhanced Basemap Gallery

Imagery 2021

Imagery 2019

Imagery 2017

Imagery 2015

Imagery 2013

Imagery 2011

Imagery 2009

Imagery 2007

Imagery 2004

Delaware 2002

Imagery 2000

Delaware 1997

Imagery 1995

Light Gray

Columbus Basemap

Search result

1377 HARRISBURG PIKE, COLUMBUS, OH

Zoom to



1377 HARRISBURG PIKE, COL X

Zoning Report

Site Information

Address	1377 HARRISBURG PIKE, COLUMBUS, OH
Tax Bill Mailing Address	PO BOX 182571 COLUMBUS OH 43218-2571
Owner	SWSII-MCD LLC
Parcel Number	570298082
In Columbus?	Yes
County	FRANKLIN

Zoning Information

Zoning	Z73-033, Commercial, C4, 7/25/1973, H-35
Historic District	None
Special Parking Area	None
Council Variance	None
Board of Zoning Adjustment (BZA) Variance	None
Commercial Overlay	None
Planning Overlay	None
Graphics Variance	None
Area Commission	Southwest Area Commission
Historic Site	No
Flood Zone	Out
Airport Overlay Environs	None

Pending Zoning Action

Zoning	None
Board of Zoning Adjustment (BZA) Variance	None
Council Variance	None
Graphics Variance	None

Installation Form Page 2

A. Zoning Information & Graphics Related Actions:

1. Zoning District _____ (e.g. C-4, L-C-4, CPD)
2. Case #: Z _____; Z _____; Z _____ (Include amendments); Other: _____
3. Overlay: ☐ UCO (Urban Commercial) ☐ CCO (Community Commercial) ☐ RCO (Regional Commercial) ☐ Noe-Bixby ☐ University
4. Graphics Commission Action(s): _____

B. Calculation Data for Graphic (Complete only items that apply to the graphic requested; not required for face replacement)

*For signs located in a residential zoning district, complete sections 1, 2, 3, 7, 12, 13, and 14)

1. Setback from street R.O.W. line <u>15</u> ft	8. Projecting sign distance from wall to R.O.W. line _____ ft
2. Setback from alley R.O.W. line _____ ft	9. R.O.W. Encroachment: <input type="checkbox"/> YES <input type="checkbox"/> NO
3. Setback from side property lot line _____ ft	10. Projecting sign: distance of encroachment into R/W _____ ft
4. Setback from rear property lot line _____ ft	11. Projecting sign: base of sign to R/W grade _____ ft
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6. Speed limit <u>40</u> m.p.h.	13. Linear distance of public street frontage _____ ft
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C. Area of Elevation of Building Associated with Sign & Allowable Graphic Area:

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*For signs located in residential zoning districts, only complete C5 if applicable.

1. Width 69 Ft. x Height 16 Ft. = 1104 Ft. (Area of Building Associated with Sign)
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2. $\sqrt{(\text{Square Root})}$ of **Area of Building Associated with Sign:** _____ Ft.
3. $\sqrt{(\text{33.22})}$ x Mass Factor (_____) = **Allowable Graphic Area** (_____ Ft.)
NOTE: Use appropriate Mass Factor from C.C. 3377.05A-C; 3377.06A-C; 3377.07A-C; or, 3377.24(B)
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us Zoning - City of Columbus, Ohio x +

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hope you like the new Columbus.gov!

you explore our fresh design and features, you can still access the old website for reference.
[View the old website](#)

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THE CITY OF
COLUMBUS

Services Community **Business & Development** Government 311

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Search

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Zoning

The delineation of districts and the establishment of regulations governing the use, placement, spacing, and size of land and buildings. Zoning provides guidelines for setbacks, height of structures, lot sizes, lot coverage, parking and other requirements. Zoning also regulates the types of land uses permitted on a property.

The purpose of Zoning is to:

- Protect health, safety and welfare of the public
- Ensure the orderly, manageable, and predictable growth of the city
- Assist with the implementation of community planning goals
- Separate conflicting land uses
- Regulate land uses to achieve and maximize public benefits

General Zoning Information +

Zoning Clearance +

Zoning Variances and Rezoning +

Zoning Terms & FAQ +

Zoning Confirmation Letters +

Contact

Zoning Inquiries

(614) 645-8837
zoninginfo@columbus.gov

Rezoning and Variances

(Zoning Public Hearings)
(614) 645-4522

Section Managers

Chief Zoning Official
[Shannon Ping](#)

Commercial Zoning Clearance
[Nick Bezanon, Manager](#)

Residential Zoning Clearance
[Christine Palmer, Manager](#)

Public Hearings - BZA and Graphics
[Jamie Freise, Manager](#)

Public Hearings - Rezoning and
Council Variances
[Tim Dietrich, Manager](#)

Related Links

[Zoning Code](#)
[Legistar](#)
[Online Zoning Map](#)
[BZA Fee Schedule](#)
[Franklin County Auditor](#)

Table of Elements CC 3377.05

3377.05

3377.05 C.

Ground Signs

Heavy Commercial - Industrial Table of
Elements/Zoning Districts: C-3, C-4, C-5
and M

Now includes CAC and RAC Too

Setback: Distance From Right-of-Way (in feet)	Character of the Road Situation From Where Sign is Seen:	Mass Factor, Height
In r.o.w.	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	1.5, 20; Ltd. by 3377.07 & 3377.19 2.0, 20; Ltd. by 3377.07 & 3377.19 3.0, 20; Ltd. by 3377.07 & 3377.19 3.0, 20; Ltd. by 3377.07 & 3377.19 Prohibited
0 - 15 feet (0 = r.o.w. line)	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	2.0, 20; Ltd. by 3377.07 & 3377.19 3.0, 20; Ltd. by 3377.07 & 3377.19 4.0, 20; Ltd. by 3377.07 & 3377.19 4.0, 20; Ltd. by 3377.07 & 3377.19 3.0, 20; Ltd. by 3377.07 & 3377.19
Over 15 - 25 feet	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	2.0, 20 3.0, 20 4.0, 20 4.0, 20 4.0, 20
Over 25 - 50 feet	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	2.0, 20 3.0, 20 4.0, 25 5.0, 25 5.0, 30
Over 50 - 75 feet	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	4.0, 30 5.0, 30 6.0, 35 7.0, 35 7.0, 35
Over 75 - 100 feet	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	5.0, 35 6.0, 35 7.0, 35 8.0, 35 8.0, 35
Over 100 feet	Two lane, 35 m.p.h. or less Two lane, over 35 m.p.h. Multi-lane, 35 m.p.h. or less Multi-lane, over 35 m.p.h. Freeway, over 50 m.p.h.	6.0, 35 7.0, 35 8.0, 35 8.0, 35 8.0, 35

(Ord. 3398-98 § 5.)

Installation Form Page 2

A. Zoning Information & Graphics Related Actions:

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VERSION: DEC 15, 2023 (CURRENT)

projecting signs.

3377.19 - Projecting signs requiring graphics plan approval.

3377.20 - Permanent on-premises wall and window signs.

3377.21 - Awning, canopy and under-canopy signs.

3377.22 - Wall signs and building recesses.

3377.23 - Permanent and removable window signs.

3377.24 - Wall signs for individual uses. modified

3377.25 - Wall signs requiring

3377.24 - Wall signs for individual uses.

modified

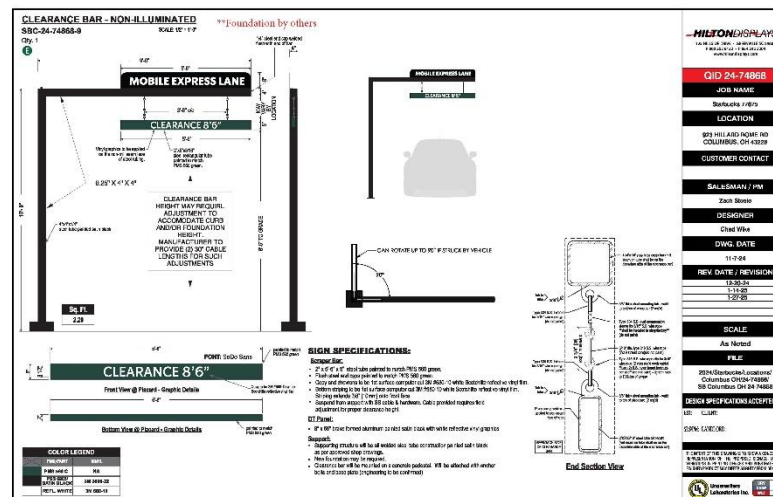
- A. An individual use or activity on a building facade facing an abutting street, may display one wall sign, comprised of one or more elements, and/or permanent window signs on that facade in accordance with the Tables of Elements.
- B. An individual use or activity which has a public entrance on a building face that is not oriented to a street abutting the lot, may display wall signs and/or permanent window signs on that facade in accordance with following setbacks and mass factors:

EXPAND

Setback	Mass Factor
0—100 Feet	1
101—300 Feet	2
301—500 Feet	3
over 500 Feet	4

Things to be Aware Of

- Face replacements with a graphics area greater than 10 square feet or illuminated require installation permits
- A face replacement is sliding out the old face from the existing frame and sliding in a new face
- Signage might also be regulated by a Limitation Text, CPD Text Graphics Plan or Overlay. Urban Commercial Overlay (UCO CCC 3372.606, 3372.706 or 3372.806)
- Ground signs with faces on each side that are perpendicular to roads require just one permit
- Signs 10 square feet or less that are not illuminated do not require permits, however the square footage from them does count against the total permitted
- Clearance bars with non illuminated graphics less than 10 square feet do not require a graphics permit but may require a building permit



- Awnings without graphics do not require permits
- ADA signage, hazardous material signs do not require graphics permits

Things to be Aware Of Continued

- Wall signs that face a public street are no longer required to have an entrance for a sign more than 16 square feet

New Title 34 Graphics

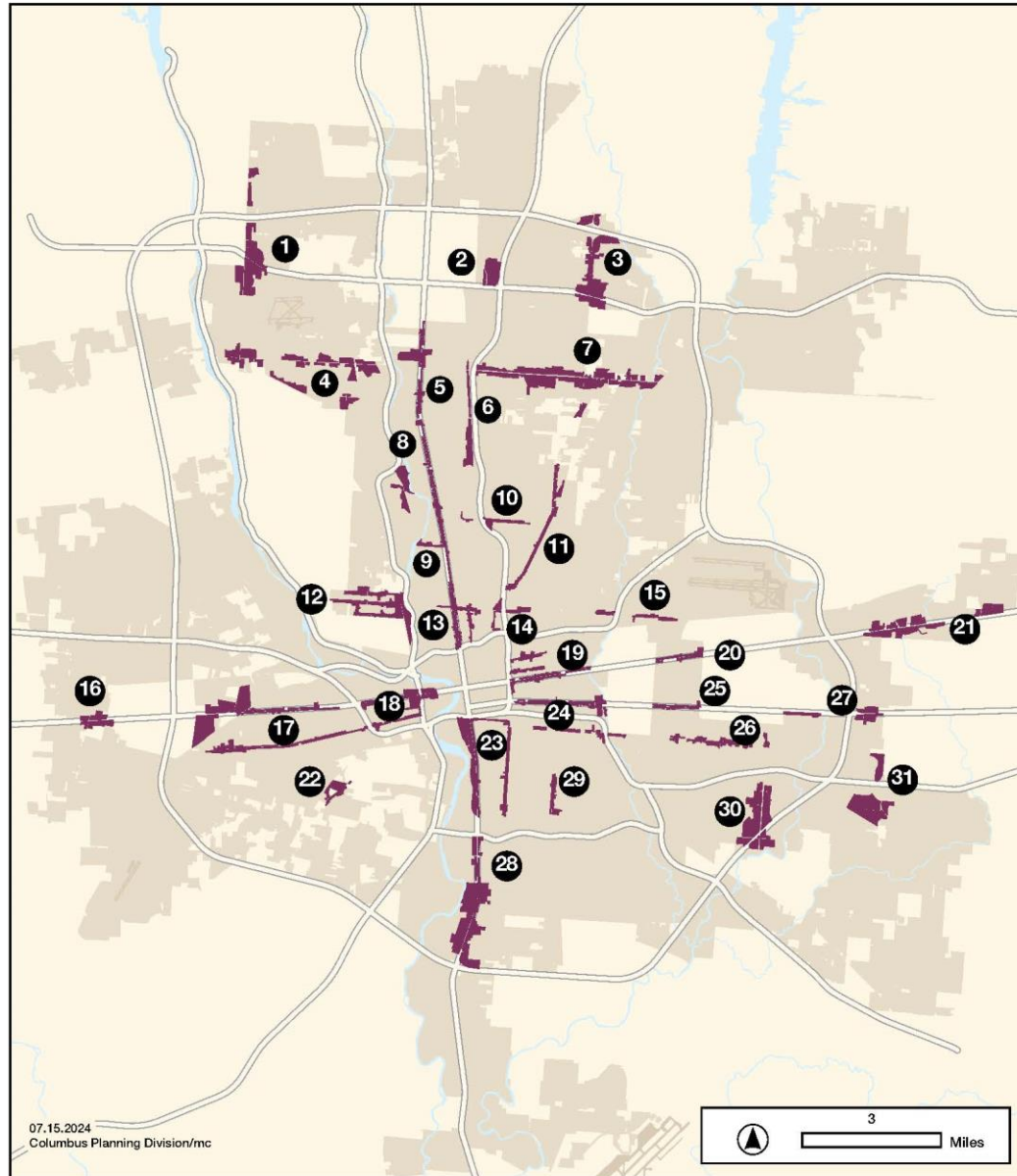


THE CITY OF
COLUMBUS
ANDREW J. GINTHER, MAYOR

DEPARTMENT OF BUILDING
AND ZONING SERVICES

Exhibit A:

Mixed Use Zoning Districts Map Series



Title 34 - New Zoning Districts

- UGN-1, UGN-2, UCT, UCR & UCR-R use same table of elements as:
 - P-1, P-2, C-1, M-1, M-2, CPD, DD, EQ
- CAC & RAC use same table of elements as
 - C-3, C-4, C-5, M
- Where new Title 34 Zoning Districts have been adopted, older overlays such as UCO, CCO and RCO have been repealed

Title 34 Graphics

- In addition to signs prohibited in Chapter 3375 (General Provisions), the following types of signs are not allowed: off-premises signs, billboards, signs with flashing lights or bare bulbs, rotating signs, pole signs, automatic changeable copy signs, bench signs, roof signs
- Ground Signs: sign base must be integral to the overall sign design and complement the design of the building
- Ground sign minimum setback: must be equal to the district's minimum building setback standard or 15' whichever is less
- Required vision clearance must be maintained
- Ground sign height UGN-1, UGN-2, UCT, UCR: not exceed 6' above grade
- Ground sign height CAC, RAC: not exceed 12' above grade
- When indirectly lighting a ground sign, the light source must be screened from motorist view

Title 34 Graphics

Menu boards are only allowed as an accessory to a pickup unit, subject to the following standards:

- Each order point: aggregate area of up to 30sq' for menu boards
- Menu boards must not be located between the building and a street right-of-way
- Menu boards must not be located within 50' of a Residential District
- Freestanding menu boards must not exceed a height of 6'
- Menu boards are not subject to restrictions regarding automatic changeable copy
 - However, images and messages displayed must be static and the transition from one static display to another must be instantaneous without any transition effects (e.g. wipes, fades, etc.)

Residential Graphics

- Residentially Zoned Districts Have a Separate and Completely Different Graphics Code
- What uses can you find in Residential Zoning Districts?
 - Multifamily
 - Libraries
 - Schools
 - Churches
 - Subdivisions
 - Restaurants

Residential Graphics

Subdivisions:

- [3376.07](#) - Ground signs at entrances to subdivisions

Apt Complexes:

- [3376.04](#) Residential Complex Identification Signs
- [3376.05](#) Residential Complex Entrance Feature Signs
- [3376.06](#) Residential Complex Instructional Signs

FOR OTHER SIGNS IN RESIDENTIAL DISTRICT:

- [3376.09](#) Permanent Signs for Other Uses in Residential Districts

Completing the Installation Form – Residentially Zoned Property

A. Zoning Information & Graphics Related Actions:

1. Zoning District _____ (e.g. C-4, L-C-4, CPD)
2. Case #: Z _____; Z _____; Z _____ (Include amendments); Other: _____
3. Overlay: ☐ UCO (Urban Commercial) ☐ CCO (Community Commercial) ☐ RCO (Regional Commercial) ☐ Noe-Bixby ☐ University
4. Graphics Commission Action(s): _____

B. Calculation Data for Graphic (Complete only items that apply to the graphic requested; not required for face replacement.

*For signs located in a residential zoning district, complete sections 1, 2, 3, 7, 12, 13, and 14)

1. Setback from street R.O.W. line _____ ft	8. Projecting sign distance from wall to R.O.W. line _____ ft
2. Setback from alley R.O.W. line _____ ft	9. R.O.W. Encroachment: <input type="checkbox"/> YES <input type="checkbox"/> NO
3. Setback from side property lot line _____ ft	10. Projecting sign: distance of encroachment into R/W _____ ft
4. Setback from rear property lot line _____ ft	11. Projecting sign: base of sign to R/W grade _____ ft
5. Number of through traffic lanes (exclude turn lanes) _____	12. Number of multi family dwelling units on same parcel _____
6. Speed limit _____ m.p.h.	13. Linear distance of public street frontage _____ ft
7. Height from grade to top of ground sign _____ ft	14. Residential Wall Sign: Height from grade to top of sign _____ ft

C. Area of Elevation of Building Associated with Sign & Allowable Graphic Area:

NOTE: Items C5, C6, C7, C8, and C9 must be completed for a new graphic. For face replacements, complete only C5 and C6.

*For signs located in residential zoning districts, only complete C5 if applicable.

1. Width _____ Ft. x Height _____ Ft. = _____ Ft. (Area of Building Associated with Sign)
NOTE: Provide all dimensions necessary to document Area of Building Associated w/Sign for complex building elevations.
2. $\sqrt{(\text{Square Root})}$ of Area of Building Associated with Sign: _____ Ft.
3. $\sqrt{(\text{Square Root})}$ x Mass Factor (_____) = Allowable Graphic Area (_____ Ft.)
NOTE: Use appropriate Mass Factor from C.C. 3377.05A-C; 3377.06A-C; 3377.07A-C; or, 3377.24(B)
4. Allowable Graphic Area calculation without a Mass Factor: list code section & provide calculation:
Zoning Code Section: C.C. _____ Calculation: _____ = Allowable Graphic Area (_____ Sq. Ft.)
5. Existing Graphic Area (Complete for Face Replacement Only) = _____ Sq. Ft.
6. Total Graphic Area for Building Elevation = _____ Sq. Ft.
(Include all existing signs of same type for same elevation)

D. Signs in Residential Zoning Districts: (In addition to the information required above)

Number of Existing Signs on the Property: Wall _____ Ground _____ Window _____
Zoning Code Section for Current Sign Proposal: _____

Ground Sign Specifications: Contractors who are registered with COSA may indicate applicable engineering reference from the COSA Structural Standards specifications. Registration # _____
Otherwise, submit working drawings certified by an Architect or Engineer licensed by the State of Ohio.

Wall Sign Specifications: Contractors who are registered with COSA may indicate applicable engineering reference from the COSA Structural Standards specifications. Registration # _____
Otherwise, submit working drawings certified by an Architect or Engineer licensed by the State of Ohio.

Residential District Examples:

- R2F, R3, R4
- AR1, AR3, AR4, ARLD



Residential Graphics FAQ

- The site has a Council Variance for the commercial use, do I still need to use the Residential Sign Code Section?
 - Yes, the underlying zoning district is still Residential
- What do you use for a parcel# for HOA/Condo parcels?
 - Use HOA as the parcel # on the permit form
- I need an address for the sign
 - You should use the zoning map (<https://gis.columbus.gov/zoning/>) to confirm the address. If an address point does not appear, contact bzs-gis@columbus.gov
- The site has 2 identical entry signs, do I need a separate permit for each?
 - Yes
- Do I need a Variance for a Projecting Sign?
 - Yes, The Residential Graphics code does not provide for projecting signs, but since they are not outright prohibited, a variance is required

Graphics Commission



THE CITY OF
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ANDREW J. GINTHER, MAYOR

DEPARTMENT OF BUILDING
AND ZONING SERVICES

Relief from Zoning Code Requirements

- Graphics Commission
 - May only vary standards found in the zoning code, not uses. Also hears appeals of code violation orders.
- Downtown Commission
- East Franklinton Review Board

Graphics Commission

- Variances to any development standard such as:
 - Size
 - Height
 - Setbacks
 - Actions related to Miscellaneous Graphics
- Graphics Plan
- Special Permit for off-premises graphics.
- Hears Appeals to Code Violation Orders.

Graphics Commission Application

DEPARTMENT OF BUILDING
AND ZONING SERVICES

111 N Front Street, Columbus, Ohio 43215
Phone: 614-645-4522 • ZoningInfo@columbus.gov • www.columbus.gov/bzs

OFFICE USE ONLY

Application Number: _____ Date Received: _____
Assigned Planner: _____ Fee: _____
Contact Information: _____
Comments: _____

TYPE(S) OF ACTION REQUESTED (Check all that apply):

☐ Variance ☐ Graphics Plan ☐ Special Permit ☐ Miscellaneous Graphic

Project Description:

LOCATION ☐ Check here if listing additional parcel numbers on a separate page

Certified Address: _____ City: _____ Zip: _____

Parcel Number(s): _____

Neighborhood Group: _____ Current Zoning: _____

APPLICANT (If different from Owner):

Applicant Name: _____ Phone Number: _____ Ext.: _____

Address: _____ City/State: _____ Zip: _____

Email Address: _____ Fax Number: _____

PROPERTY OWNER(S) ☐ Check here if listing additional property owners on a separate page

Name: _____ Phone Number: _____ Ext.: _____

Address: _____ City/State: _____ Zip: _____

Email Address: _____ Fax Number: _____

AGENT (Check one if applicable): ☐ Attorney ☐ Agent ☐ Licensed Architect or Engineer

Name: _____ Phone Number: _____ Ext.: _____

Address: _____ City/State: _____ Zip: _____

Email Address: _____ Fax Number: _____

SIGNATURES

APPLICANT SIGNATURE _____

PROPERTY OWNER SIGNATURE _____

AGENT SIGNATURE _____

Graphics Commission Application

DEPARTMENT OF BUILDING
AND ZONING SERVICES

111 N Front Street, Columbus, Ohio 43215
Phone: 614-645-4522 • ZoningInfo@columbus.gov • www.columbus.gov/bzs

STATEMENT OF HARDSHIP

Any request for a Variance from this Graphics Code shall be heard and decided by the Graphics Commission as provided by the Graphics Code.

3382.03 Variance.

- A. The Graphics Commission shall have the power, upon application, to grant a Variance from one (1) or more provisions of this Graphics Code. No Variance shall be granted unless the Commission finds that a hardship exists, based upon special physical conditions which:
1. Are due to exceptional shallowness, shape, topographic conditions or other extraordinary situations peculiar to the premises itself; or
 2. Differentiate the premises from other premises in the same zoning district and the general vicinity; or
 3. Prevent a reasonable return in service, use of income compared to other conforming premises in the same district; and
 4. Where the result of granting the Variance will not be injurious to neighboring properties and will not be contrary to the public interest or to the intent and purpose of the Graphics Code.
- B. In granting a Variance, the Graphics Commission may impose such requirements and conditions regarding the location, character, and other features of the graphics as the Commission deems necessary to carry out the intent and purpose of this Graphics Code and to otherwise safeguard public safety and welfare.
- C. Nothing in this Graphics Code shall be construed as authorizing the Commission to affect changes in the Zoning Map or to add to the uses permitted in any district.

List all sections of Code to be varied and explain your reasoning as to why this request should be granted.

PLEASE NOTE: It is the applicant's responsibility to identify all variances required for the project. If any necessary variances are not included, a new application (and applicable fees) will be required.

I have read the foregoing and believe my application for relief from the requirements of the Zoning Code contains the necessary hardship, will not adversely affect surrounding property owners and will comply with the variance(s) requested as detailed below (use separate page if needed or desired):

Signature of Applicant _____ Date _____

Graphics Commission FAQ's

How long does a Graphics Commission action take?

2 months

What is the fee?

\$2,500

Can I submit my application/pay electronically? Is

Yes, this is the preferred method

Is this the final step?

No, the GC allows you to obtain zoning clearance.

GC Section

Board of Zoning Adjustment & Graphics Commission Staff

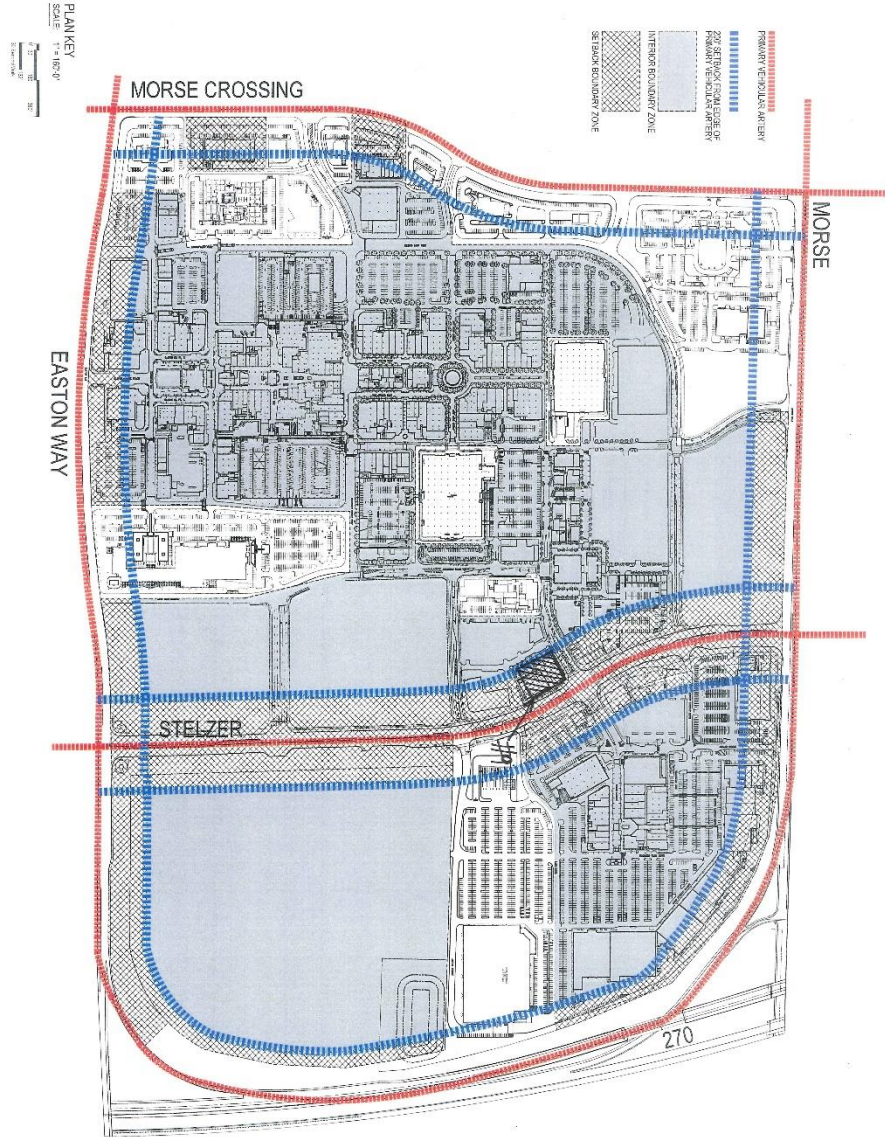
- **Jamie Freise**, Planning Manager
 - 614-645-6350
- **Adam Trimmer**, Planner II
 - 614-645-1469
- **Steven Smedley**, Planner II
 - 614-645-6130
- *If you cannot reach one Staff member, please reach out to any of the other section members.*

Graphics Plans

A graphics plan is a physical document consisting of written text which may be supplemented with visual exhibits, and which represents a binding commitment by the property owner. In addition to the application requirements of C.C. 3382.08 the owner shall provide a signed and dated graphics plan comprised of the text and any associated visual exhibits.

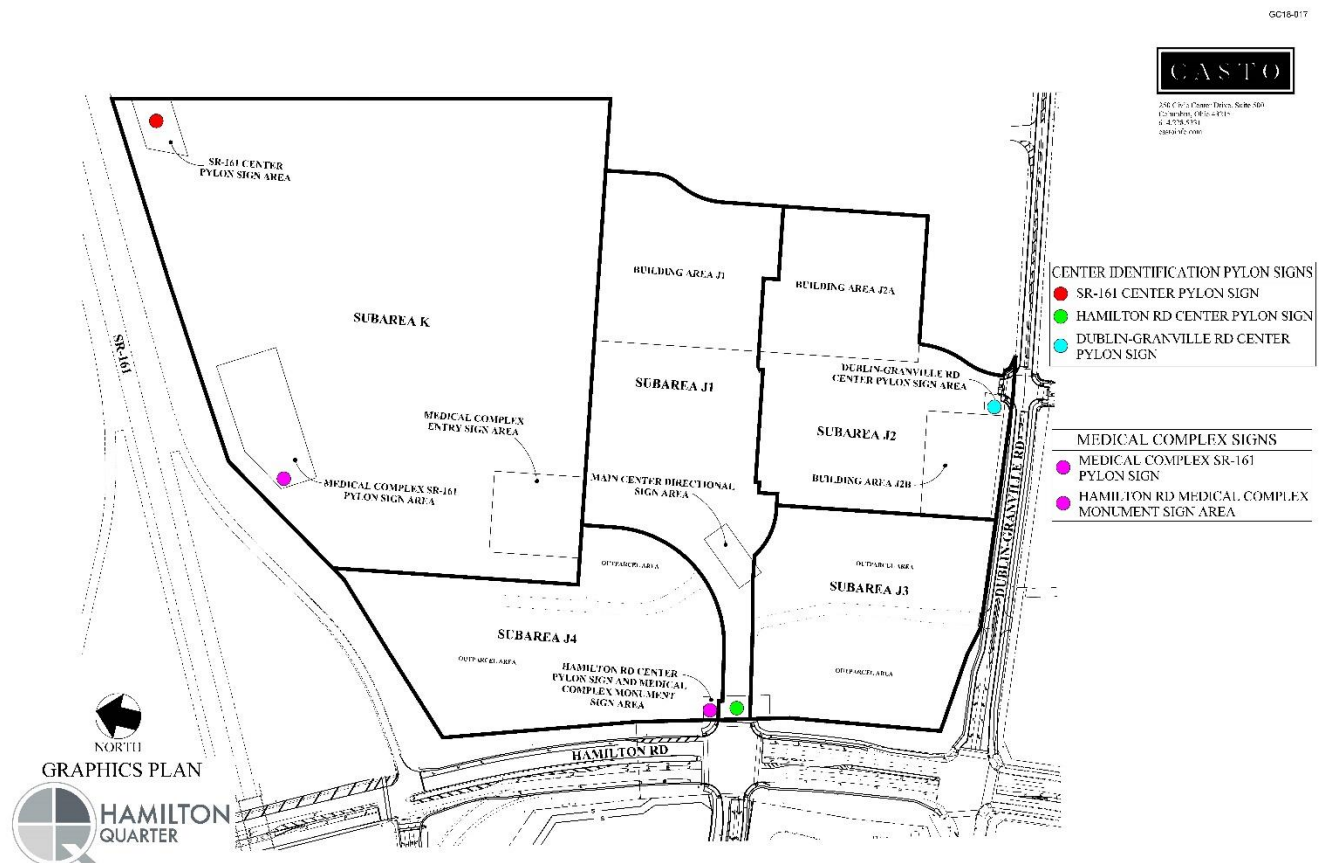


- How to Find Graphics Plans On The Zoning Map
- On the City GIS turn on the Graphics Variance layer.
- Then click on the parcel.
- You will a pop up box for the Graphics Plan.
- Click on “more info” That will pull up a report.
- Click on the “Record Info” drop down menu.
- Then click “attachments.”
- Then *(for example)* click on “GC20-002 new graphics plan.pdf”
- Your computer may ask if it is ok to open it. Choose yes.
- Then that will give you the whole Graphics Plan.
 - List of Major Graphics Plans
 - Easton
 - Hamilton Square
 - Gateway (Campus)
 - Children’s Hospital
 - Grandview Crossing



Ex 1

Map of GC21-024 Hamilton Square Graphics Plan

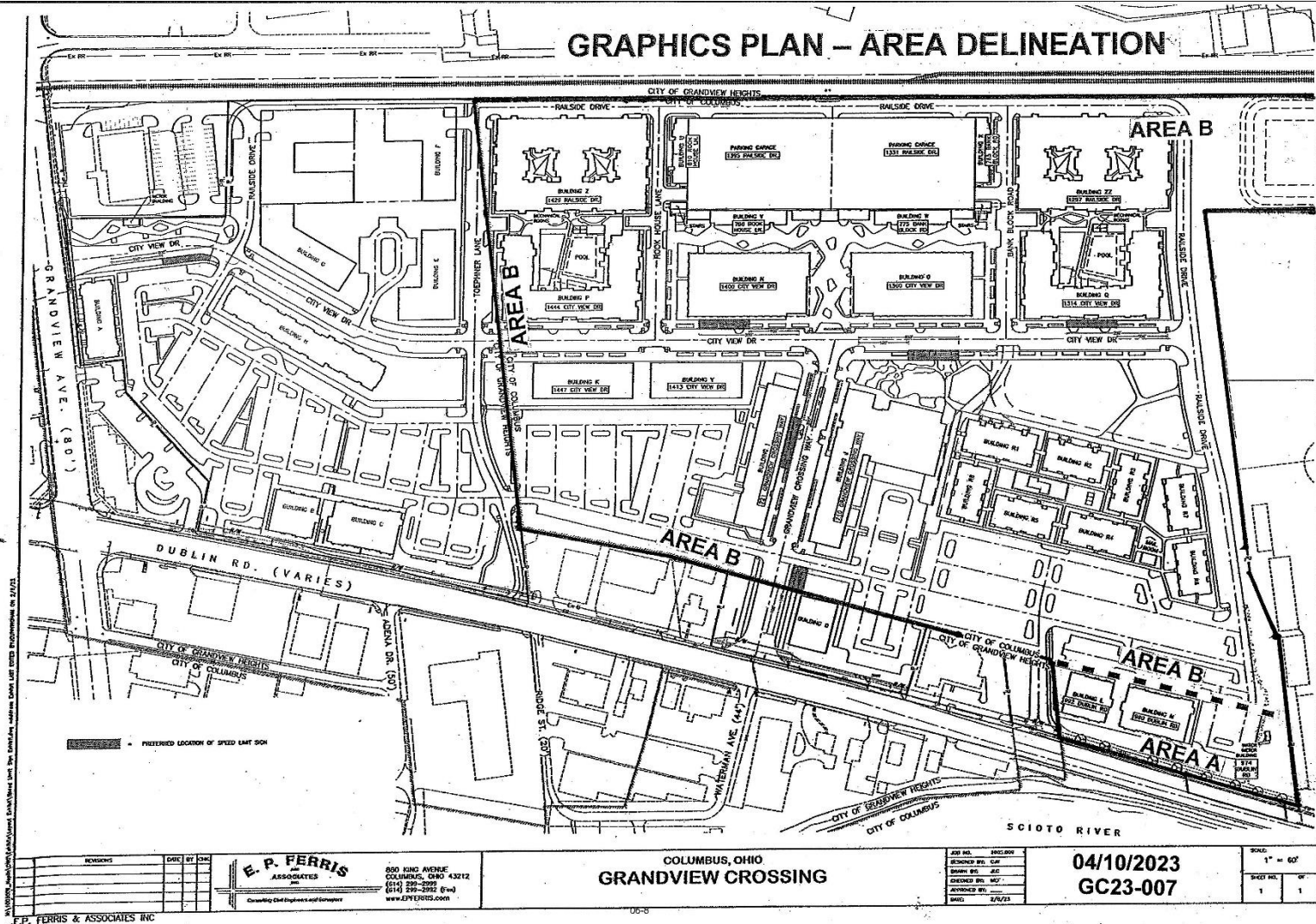


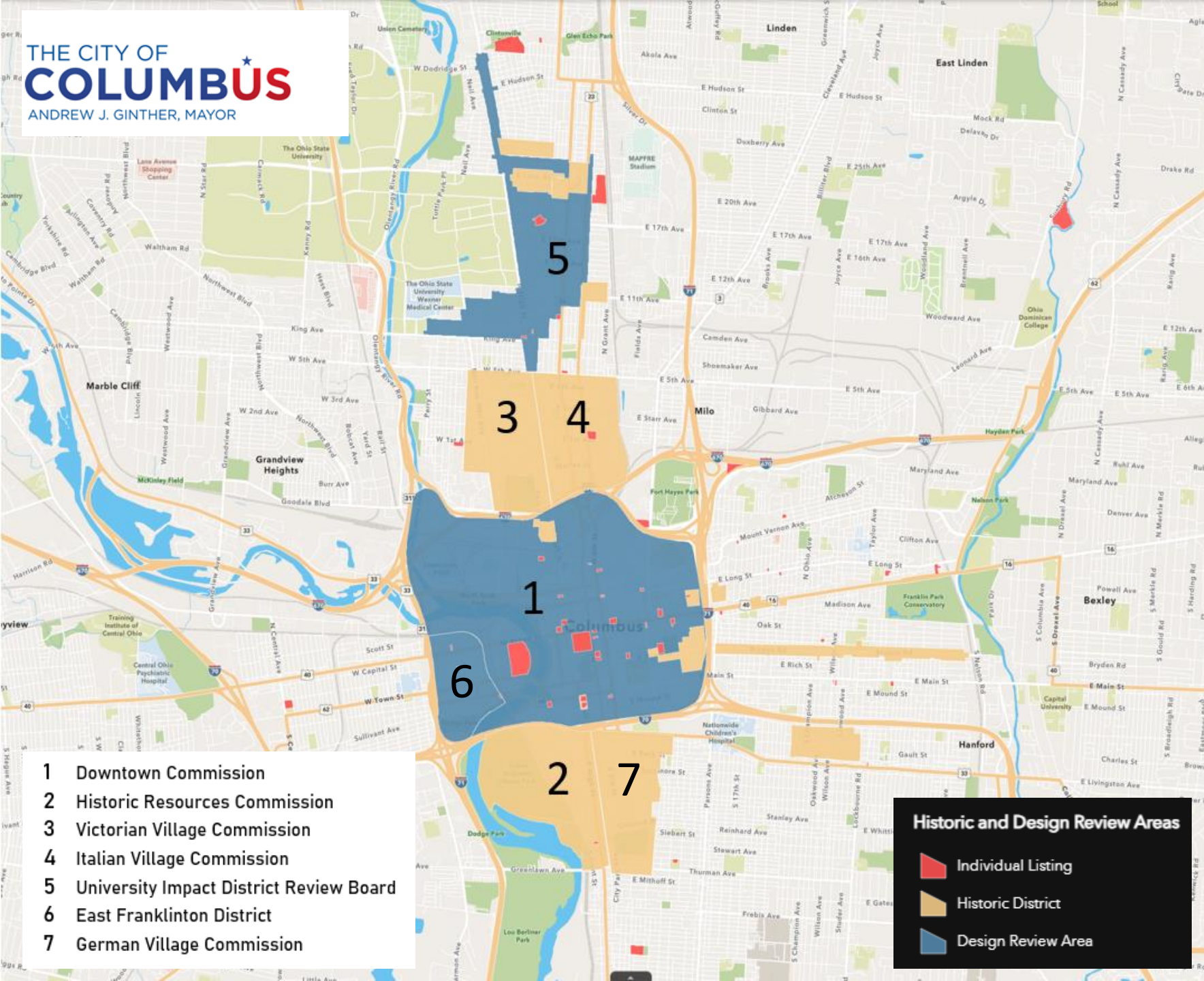
Map from Gateway Tenant Design Criteria Manual





Map from GC23-007 721 Grandview Crossing Graphics Plan





Building Section Review of Graphics



THE CITY OF
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ANDREW J. GINTHER, MAYOR

DEPARTMENT OF BUILDING
AND ZONING SERVICES

Building Section Review Requirements:

- OBC 2024 Ch 3107 -> IBC 2021 Appendix H
- Signs Exempt from (Building) Permits:
 - Painted non-illuminated signs
 - Temporary signs announcing the sale or rent of property
 - Signs erected by transportation authorities
 - Projecting signs not exceeding 2.5 sqft
 - The changing of movable parts of an approved sign that is designed for such changes, or the repainting or repositioning of display matter shall not be deemed an alteration

Building Section Review Requirements:

- General Requirements (COSA members):
 - Construction documents:
 - Dimensions (height, width, thickness) (H105.2)
 - Location (H103)
 - Construction material (H105.2)
 - Attachment details showing how the sign will be safely and securely connected to masonry, concrete, or steel by means of metal anchors, bolts, or approved expansion screws
 - For monument, pole, wall and wood-supported signs:
 - Provide COSA structural standards for associated sign type with regular sign drawings
 - Indicate up-to-date COSA registration # on application
 - For all other signs:
 - Specifications showing how the sign will be designed to sustain the wind, seismic, and working loads
 - Engineer stamped drawings are required (OBC 106.5.3)
 - <https://up.codes/viewer/ohio/ibc-2021/chapter/H/signs#H>

Building Section Review Requirements:

- General Requirements (Non-COSA members):
 - Construction documents:
 - Dimensions (height, width, thickness) (H105.2)
 - Location (H103)
 - Construction material (H105.2)
 - Attachment details showing how the sign will be safely and securely connected to masonry, concrete, or steel by means of metal anchors, bolts, or approved expansion screws
 - Specifications showing how the sign will be designed to sustain the wind, seismic, and working loads
 - Engineer stamped drawings are required (OBC 106.5.3)
 - <https://up.codes/viewer/ohio/ibc-2021/chapter/H/signs#H>

Building Section Review Requirements:

- Ground Signs (H109):
 - Combustible materials -> max height of 35 ft
 - Entirely non-combustible material -> max height of 100 ft
 - Bottom coping of every ground sign shall not be less than 3 ft above ground or street level, which can be filled with decorative trim or light wood construction
- Roof Signs (H110):
 - Constructed entirely of metal or other noncombustible material
 - Shall leave clear space of not less than 6 ft between roof level and lowest part of the sign
 - No less than 5 ft clearance between vertical supports
 - Shall not project beyond exterior wall

Building Section Review Requirements:

- Wall Signs (H111):
 - 40+ sqft shall be constructed of metal or other noncombustible
 - Attached to exterior walls of solid masonry, concrete, or stone
 - Attached by metal anchors, bolts, or expansion screws of not less than 3/8 in diameter and not less than 5 in embedment
 - Shall not extend above the top of the wall or beyond the ends of the wall unless they conform to the requirements for roof, projecting, or ground signs

Building Section Review Requirements:

- Projecting Signs (H112):
 - Constructed entirely of metal or other noncombustible material
 - Dead load of projecting signs not parallel to the building and wind load shall be supported by 3/8 diameter chains, guys, or steel rods
 - Supports shall be erected and maintained at an angle of not less than 45% with horizontal to resist dead load and 45% with the face of the sign to resist wind load
 - Signs with 30+ sqft in one facial area shall be provided with at least two supports on each side not more than 8 ft apart
 - Supports shall be secured to a bolt or expansion screw that will develop the strength of the supporting chains, guys or steel rods, with a minimum 5/8-inch bolt or lag screw, by an expansion shield

Inspections

- Structural footer or final inspection required for new ground signs over 6 feet
 - Inspection trip included with permit
 - This will adjust to be over 7 feet in the future
- Electrical final inspection required for new installation of internally or externally illuminated graphics
 - For the time being coordinate these inspections with our electric inspection supervisors
 - electricinfo@Columbus.gov
- No other inspections on the permit required or provided
- Inspections scheduled through our Citizen Access Portal (Columbus.gov/bzs) or automated phone system (614-645-8235)

Questions?

Thank You!



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