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PRICING SET - MARCH 4, 2014

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LAND-GRANT BREWING COMPANY 424 WEST TOWN STREET COLUMBUS OHIO 43215

CLIENT:



605 NORTH HIGH STREET #159
 COLUMBUS OHIO 43212
 614.398.1622

ARCHITECT:



174 THURMAN AVENUE
 COLUMBUS OHIO 43206
 614.835.5124

CIVIL ENGINEERING
 CONSULTANT:



5500 NEW ALBANY ROAD
 COLUMBUS OHIO 43054
 614.775.4500

STRUCTURAL ENGINEERING
 CONSULTANT:



1166 DUBLIN ROAD - SUITE 200
 COLUMBUS OHIO 43215-1038
 614.481.9800

MEP
 CONSULTANT:



143 EAST MAIN STREET
 SUITE 201
 COLUMBUS OHIO 43215
 614.225.1580

GENERAL CONTRACTOR:



2323 WEST FIFTH AVENUE
 SUITE 215
 COLUMBUS OHIO 43204
 614.949.4712

GENERAL NOTES

The City of Columbus Construction and Material Specifications (CMSC), dated 2012, including all supplements thereto, shall govern this work except as such specifications are modified by indicated notes or details.

Any modifications to the specifications or work as shown on the drawings, must have prior written approval by the Administrator, Division of Sewerage and Drainage.

The sewers shown on this plan, outside the Right-of-Way, shall be constructed as a private storm system. Therefore, the City will not assume maintenance thereof after completion. Standby inspection by the Division of Design and Construction is mandatory during construction. The Developer/Owner shall, prior to starting any construction operation, deposit with the City the total estimated cost for inspection and, where required, a re-paving guarantee. Storm sewer within Right-of-Way shall be public.

The Contractor shall notify the Division of Design and Construction at (614) 645-0433 and the Division of Sewerage and Drainage at (614) 645-7102, at least 24 hours prior to construction.

The ponding or detention areas as shown on this plan are part of the storm sewer facilities.

The Developer/Owner will assume responsibility to maintain the ponding or detention areas in a way as not to reduce the capacity of the water storage area. If the Developer/Owner will not maintain the ponding or detention areas, the plan becomes void and the City will plug the sewer at the outlet.

The Contractor shall include for payment under Item 201, Clearing and Grubbing, cost for removal and disposal of all trees, brush, and stumps within the scope of proposed storm sewers.

Cost of compacted backfill shall be included in unit bid price for Item 901.

All areas within the public right-of-way that are disturbed by the project shall be restored to original or better condition, per Item 659 (Seeding and Mulching) or the applicable specifications.

All plastic sewer lines shall be deflection tested after installation in conformance with the requirements of Item 901 of the City of Columbus Construction and Material Specifications, current edition.

All concrete pipe and storm sewer structures will be stamped or have such identification noting that said pipe and storm sewer structures have been inspected by the City of Columbus and meets their specifications. Pipe and structures without proper identification will not be permitted for installation.

Pipe material may be smooth-lined corrugated polyethylene pipe. Contractor to install this pipe in accordance with the manufacturer's recommendations, especially with respect to cover.

All roof drains for this site shall be constructed as designated on the architectural plans.

The Contractor shall carefully preserve bench marks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by an Ohio Professional Surveyor as approved by the City Engineer.

TRAFFIC

All temporary traffic control devices shall be furnished, erected, maintained, and removed by the Contractor in accordance with the Ohio Manual of Uniform Traffic Control Devices, copies of which are available from the Ohio Department of Transportation, Bureau of Traffic, 1980 W. Broad Street, Columbus, Ohio 43223.

All permanent traffic controls not in conflict with the temporary traffic controls shall be maintained throughout this project by the CONTRACTOR. Permanent traffic controls may be temporarily relocated, as approved by the ENGINEER. The CONTRACTOR shall assume all liability for missing, damaged and improperly placed signs.

Any work done by the Division of Planning and Operations and Franklin County Engineers, including installation, relocation, removal and/or replacement of temporary traffic control devices as a result of work done by the CONTRACTOR or as a result of NEGLIGENCE of the CONTRACTOR shall be at the expense of the CONTRACTOR.

The CONTRACTOR shall be responsible for the reinstallation and/or replacement of all permanent traffic control devices damaged or removed during the construction. Permanent traffic control no longer in conflict with temporary traffic control shall be replaced immediately.

Steady-burning, Type "C" lights shall be required on all barricades, drums, and other similar traffic control devices used at night.

All traffic lanes shall be fully open to traffic on adjacent access drives at all times.

Ingress and egress shall be maintained at all times to public and private property. Payment for all traffic maintenance items shall be included within the price bid for the storm sewer improvement.

EXISTING UTILITIES

The identity and location of the existing underground utility facilities known to be located in the construction area have been shown on the plans as accurately as provided by the Owner of the underground utility. The City of Columbus and/or Engineer assumes no responsibility as to the accuracy of locations or depths of the underground facilities shown on the plans.

Investigation, location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor. The cost of this work shall be included in the price bid for the various items. The Contractor shall cause notice to be given to the Ohio Utilities Protection Service at (800) 362-2764 and to the Owners of underground utility facilities shown on the plans who are not members of a registered underground protection service, in accordance with Section 153.64 of the Revised Code.

The above mentioned notice shall be given at least 48 hours prior to start of construction.

The Contractor is responsible for coordinating the relocation and/or protection of any utilities as required by the plan with the owner of the affected utility.

Utility poles within the influence of the utility operations shall be reinforced by the utility company prior to these construction activities. Notification of the utility company prior to construction shall be the responsibility of the Contractor.

Where potential grade conflicts might occur with existing utilities and at locations noted thus, EXPOSE, the Contractor will be required to uncover such utilities sufficiently in advance of laying pipe or duct and provide the Engineer the location and elevation of said utility so the Engineer can determine if any adjustments are necessary.

The notification of affected utility owners in advance of construction and exact location and protection of utilities are the responsibility of the Contractor. If damage is caused, the Contractor shall be responsible for the repair of the same and for any resulting contingent damage.

SAFETY REQUIREMENTS

The Contractor and Sub-contractor shall be solely responsible for complying with all federal, state, and local safety requirements, together with exercising precautions at all times for the protection of persons (including employees) and property. It is also the sole responsibility of Contractor and Sub-contractor to initiate, maintain, and supervise all safety requirements, precautions, and programs in connection with the work.

FEES

The appropriate fees for the following shall be provided in accordance with the Construction Documents.
- Standby inspection fee for the Storm Sewer improvements.

WARNING

Not all of the City of Columbus Divisions are members of the Ohio Utilities Protection Service. Before you excavate, fax these City of Columbus Utility Divisions two (2) days prior to starting work with your marking request:

Division Name	Fax Number	Phone Number
Division of Planning and Operations	(614) 645-5967	(614) 645-7393
Communications	(614) 645-6588	(614) 645-7344 ext.125
Telecommunications	(614) 645-6627	(614) 645-1501

Two Working Days Before You Dig, also Call (800) 362-2764 for the Ohio Utilities Protection Service.

PERMITS

The Contractor is to obtain all necessary permits. An original permit with red signatures shall be kept onsite at all times.

When occupying or excavating within public right-of-way limits, the Contractor shall obtain an excavation permit from the Division of Planning and Operations permit office by calling 645-3039 between the hours of 8:00 a.m. and 4:00 p.m.

Monday through Friday.

BASIS OF HORIZONTAL CONTROL

The coordinates shown on this plan are based on the Ohio State Plane Coordinate System, South Zone, NAD 83 (1986). Said coordinates originated from a field traverse which tied (referenced) to said coordinate system by GPS observations of Franklin County Engineering Department monuments FRANK73, and FRANK174.

SITE VISIT

The Contractor shall perform field reconnaissance to become acquainted with the existing site conditions and the potential effects upon the work scope. Any performance of additional site subsurface investigations (test holes) shall be coordinated in advance with the Owner as warranted. Excavated material shall be replaced in a controlled manner to minimize impact on field earthwork operations.

RIGHTS-OF-WAY

In addition to direct requirements of the contract specifications, the Contractor shall observe and conform to the specific requirements of all rights-of-way including easements, court entries, rights-of-entry or action filed in court in accordance with the code of applicable governing agency. The cost of the operations necessary to fulfill such requirements shall be included in the price bid for the storm sewer improvement.

CONSTRUCTION LAYOUT

Construction layout for the referenced plan improvements shall be provided in accordance with the contract specifications.

All bedding shall be in accordance with Standard Drawing AA-S151 for rigid pipe sewer and in accordance with Standard Drawing AA-S149 for flexible pipe sewer.

The flow in all sewers, drains, field tiles and watercourses encountered shall be maintained by the Contractor at his expense, and whenever such watercourses and drains are disturbed or destroyed during the prosecution of the work, they shall be restored by the Contractor at his own cost and expense to a condition satisfactory to the Owner.

All drain tile and storm sewers damaged, disturbed, or removed as a result of the Contractor's operations shall be replaced with the same quality pipe or better, maintaining the same gradient as existing. The drain tile and/or storm sewer shall be connected to the curb subdrain, storm sewer system or provided with an outlet into the roadway ditch as applicable. Replaced drain tile/storm sewer shall be laid on compacted bedding equal in density to surrounding stratum. Replacement shall be done at the time of the backfill operation. Cost of this work to be included in the price bid for the storm sewer improvements.

All existing inverts along with the proposed top of casting elevations shall be verified by the Contractor prior to construction of the sewer.

It is the Contractor's responsibility to schedule all needed inspections with the applicable agencies.

The Contractor shall ensure there is a surveyor's level and rod on the project for use in performing grade checks whenever sewer lines structures or pipe are being installed. The Contractor shall make this equipment available for use and assist the City Inspector in performing grade checks when requested by the inspector. The inspector will make all reasonable attempts to confine requests for assistance in performing grade checks to times convenient to the Contractor.

These checks will be performed to ensure the following:

1. Proper placement of each structure.
2. Proper installation of initial runs of pipe from a structure.
3. Grade, after an overnight or longer shutdown.
4. Grade, at any other time the inspector has reason to question grade of installation.

Grade checks performed by the City Inspector in no way relieves the Contractor of the ultimate responsibility to ensure construction to the plan grade.

UTILITY TRENCH BACKFILL SPECIFICATIONS

Backfill of Utility Trenches shall conform to the specifications as delineated on the storm sewer profiles.

STORM SEWER

Pipe specification for the plan improvements may be in accordance with the following (except as designated within the profiles) or as listed on the City of Columbus Approved Sewer Pipe Consignment List, latest edition.

Reinforced concrete pipe ASTM C-76 (CMSC 706.02). Concrete classification shall be in conformance with the following unless otherwise referenced by the profiles.

- 12"-15" diameter pipe Class IV
- 18"-24" diameter pipe Class III
- 30"-48" diameter pipe Class III
- 60"-72" diameter pipe Class III

PVC sewer pipe ASTM D3034 with joints as per ASTM S3212. PVC sewer pipe placements shall be limited to sewers thru 15" diameter.

Smooth-lined corrugated polyethylene pipe (CMSC Item 720.12) for sewers up to and including 60" diameter.

SOILS REPORT

A soils report was not available for this project.

ROCK EXCAVATION

This work shall be defined in accordance with CMSC Item 903.01.

SITE CLEARING

Clearing & grubbing may be required as a part of this Contract Improvement work.

TEMPORARY SOIL EROSION AND SEDIMENT CONTROL

Erosion and Sediment Control measures are required as a part of this project. The Erosion and Sedimentation Control reflects a schematic diagram of the intended measures for compliance with the required standards. General practice and/or site field conditions may warrant variation in the placement or use of the specified controls.

The Owner shall be solely responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance and inspection in compliance with the NPDES General Permit for Stormwater Discharges Associated with Construction Activity.

Land-disturbing activities must comply with all provisions of the Division of Sewerage and Drainage EROSION AND SEDIMENT CONTROL REGULATION. All land-disturbing activities shall be subject to inspection and site investigation by the City of Columbus and/or the Ohio EPA. Failure to comply with these regulations is subject to legal enforcement action.

It is the responsibility of the site owner to notify the City of Columbus 48-hours prior to commencement of initial site land disturbance on any site of two or more acres. This includes site clearing, grubbing and any earth moving. Primary erosion and sediment control practices are mandated by regulation to be in place from the beginning of the construction activity. Please contact Stormwater Management Division by phone @ 645-6700 or fax @ 645-1840. Details of this requirement may be found in the EROSION AND SEDIMENT POLLUTION CONTROL REGULATION (adopted June 1, 1994). Failure to comply may result in enforcement action as detailed in the Columbus City Codes Section 1145.80.

Weekly street cleaning is required through the duration of this construction project. This includes sweeping, power cleaning and manual (if necessary) removal of dirt or mud in the street gutters.

DUST CONTROL

The Contractor shall be responsible for providing dust control measures in accordance with CMSC Item 616. Dust control operations shall be performed on a periodic basis and/or as directed by the Owner or Engineer to alleviate or prevent the dust nuisance originating within the project work limits. Calcium chloride on areas to be seeded and mulched will not be permitted. The cost for all dust control measures shall be included in the price bid for the storm sewer improvements.

DEWATERING

The Contractor is responsible to provide all dewatering operations as required to accomplish the proposed construction operations.

Installation of any well, well point, pit or other device used for the purpose of removing groundwater from an aquifer shall be in accordance with the applicable requirements of the Ohio Department of Natural Resources.

The Contractor shall be responsible to place and maintain the necessary sediment control measures to filter the dewatering discharge. Cost for the above shall be included in the bid price for the storm sewer improvements.

The direct or indirect discharge or pumping of unfiltered sediment-laden water into the storm drainage system or watercourse is illegal and prohibited.

RESTORATION AND CLEANUP

Inconvenience to the adjacent property owners and to the traveling public shall be kept to an absolute minimum. All work is to continue on a uniform basis and on schedule, particularly the restoration and clean up of disturbed areas after construction.

All fences, signs, drainage structures, valves, landscaping, etc. removed, disturbed or damaged during work within PUBLIC RIGHT-OF-WAYS, EASEMENT AREAS and/or under the project improvements shall be restored to their original condition by the Contractor unless otherwise specified. Payment for same shall be included in the price bid for the storm sewer improvement.

CONVENIENCE FACILITIES

The Contractor shall furnish and maintain sanitary convenience facilities for the workmen and inspectors for the duration of the work. Cost shall be included in the price bid for the storm sewer and grading improvements.

NON-RUBBER TIRED VEHICLES

Non-rubber tired vehicles shall not be moved on public streets, existing private roadways or parking lots. No exceptions shall be granted.

STORAGE OF EQUIPMENT AND MATERIALS

No materials or equipment shall be stored within the right-of-way or within one hundred (100) feet of any intersecting street or driveway. Compliance with these requirements along with additional provisions of the contract specifications shall not in any way relieve the Contractor of his legal responsibilities or liabilities for the safety of the public. The Contractor shall indicate his intent with regard to storage of material at the pre-construction meeting.

EARTHWORK-GENERAL

Determination of site earthwork excavation and embankment quantities shall be in accordance with the following criteria:

Specifications for General Site Earthwork operations (preparation of pavement subgrades, etc.) along with requirement standards (compaction, proofrolling, etc.) shall be in accordance with the CMSC Item 203 and 204.

All earthwork operations shall be observed and tested by the Site Soils Engineer employed and paid for by the Owner. Additionally, all final grades shall be field checked by an Agent of the Owner upon completion of Contractor's operations to determine if the site has been constructed to the grades indicated.

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EASEMENT REFERENCE				REVISIONS		
CITY NO.	COUNTY RECORDER		GRANTOR	NO.	DESCRIPTION	APPROVAL DATE
	VOL.	PAGE				

PLAN PREPARED BY:



Evans, Mackworth, Hambleton & Blinn, Inc.
Engineers • Surveyors • Planners • Scientists
3500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4500 Toll Free: 888.775.3448
embt.com

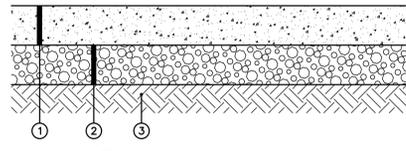
BID SET

NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
March 3, 2014

PROJECT TITLE: STORM SEWER IMPROVEMENT PLAN FOR LAND-GRANT BREWING CO. 424 W. TOWN STREET GENERAL NOTES & DETAILS			
DIVISION USE ONLY		OWNER	
CONTRACTOR			
INSPECTOR			
AGREEMENT		COMPLETED	
RPD	CKD	CIB	CONDR.
INDEX DETAIL		RECORD FILE	

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC UTILITIES DIVISION OF SEWERAGE AND DRAINAGE DIVISION USE ONLY	
SCALE: As Noted	SHEET 2 / 7
CONTRACT DRAWING NO. CC-00000	RECORD PLAN NO.



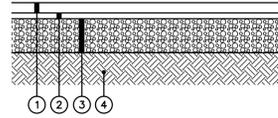
- ① Item 452, 8" Plain Portland Cement Concrete Pavement
- ② Item 304, 8" Crushed Aggregate Base
- ③ Subgrade Compaction, Ref. Soils Report

Note:
Concrete Paving, CMSC Item 452 shall Conform to the Following Specifications:

1. 4000 psi Compressive Strength, 600 psi Flexural Strength.
2. 5-7% Entrained Air with Approved Water-reducing and Retarding Admixtures.
3. Construction Joints shall be Specified by Contractor as a part of the Contract Bid.
4. Concrete Paving shall have a Light Broom Finish.
5. Curing Compound shall be Applied as per CMSC Item 451.10.

DUMPSTER PAD PAVEMENT SECTION

Not To Scale



TYPICAL SECTION

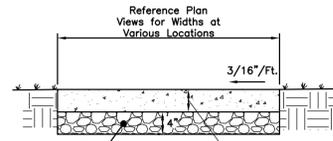
- ① Item 448, 2 1/2" Intermediate Course
- ② Item 448, 1 1/2" Surface Course
- ③ Item 304, 8" Crushed Aggregate Base
- ④ Item 203, Subgrade Compaction

Note:

All Pavement Materials shall Conform to the City of Columbus Construction and Material Specifications Together with the State of Ohio, Department of Transportation Construction and Material Specifications.

PAVEMENT SECTION

Not To Scale



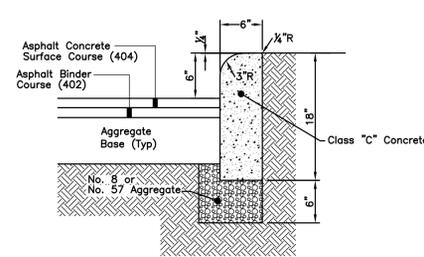
Item 304, Crushed Aggregate Base Cost to be Included in the Price Bid for CMSC Item 608, Sidewalk, Sq. Ft.

4" Concrete Walk, Item 608 (Class "C" Concrete)

Sidewalk Joints (Price shall be included w/Item 608) Shall be in Accordance With CMSC Item 608.03 Unless Otherwise Detailed as a part of the Architectural Plans.

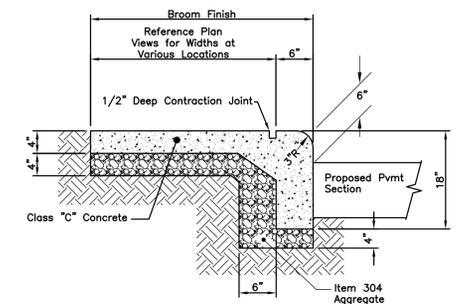
TYPICAL SIDEWALK SECTION

Not To Scale



STRAIGHT 18" CONCRETE CURB

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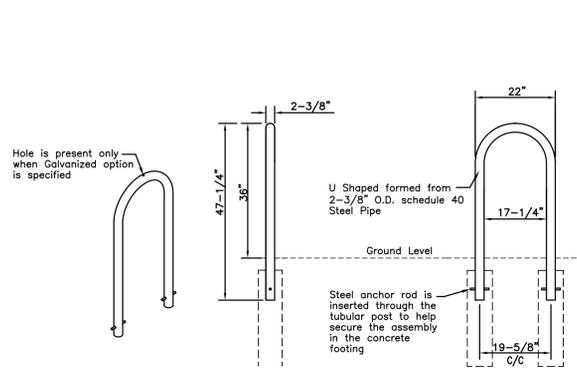


Note:

Sidewalk Joints shall be in Accordance with CMSC Item 608.03 Unless Otherwise Detailed as a Part of the Building or Landscape Architect Plans.

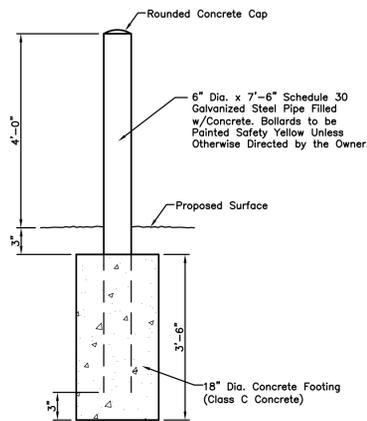
STANDARD COMBINED CURB AND WALK

Not To Scale



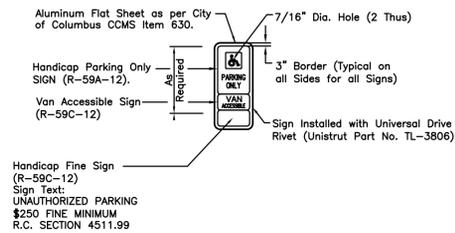
BIKE RACK DETAIL

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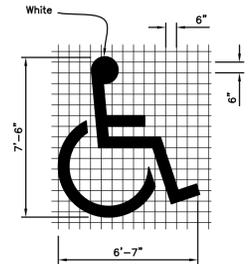
PROTECTIVE BOLLARD DETAIL

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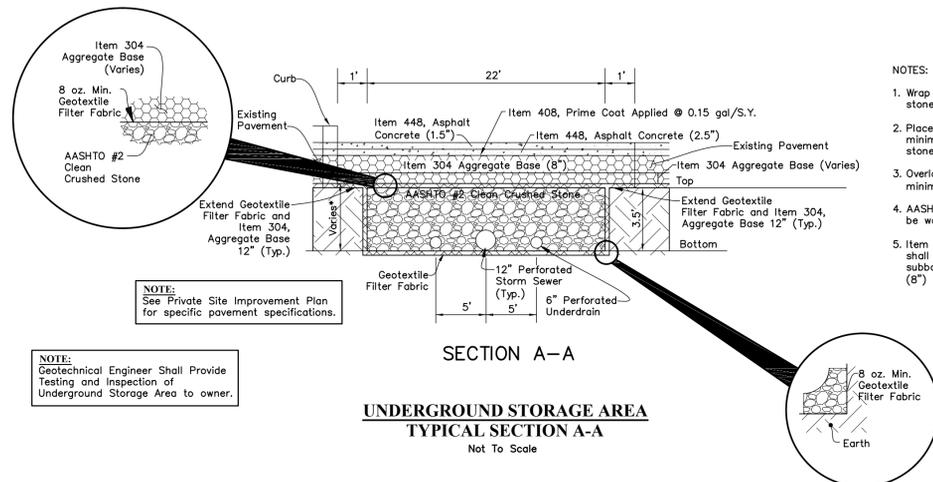
TYPICAL HANDICAP SIGN DETAIL

Not To Scale



PAINTED HANDICAP SYMBOL

Not To Scale

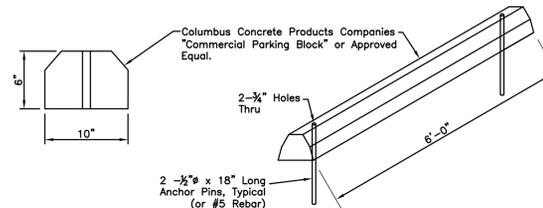


UNDERGROUND STORAGE AREA TYPICAL SECTION A-A

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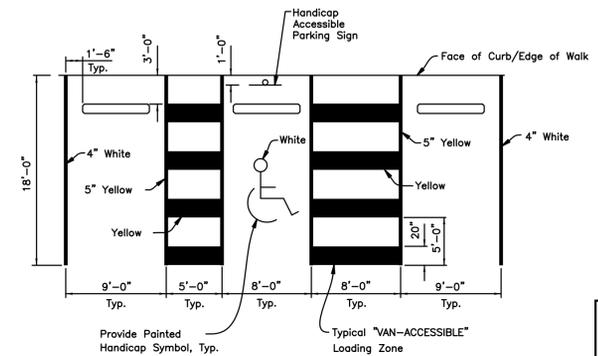
NOTES:

1. Wrap excess geotextile fabric around stone envelope.
2. Place #2 Crushed Stone on 12" lifts, minimize construction traffic over stone. No vibratory compaction.
3. Overlap ends of geotextile wrap a minimum of 16".
4. AASHTO #2 Clean Crushed Stone shall be washed with no fines.
5. Item 304, Aggregate Base (Varies) shall extend vertically to pavement subbase, Item 304, Aggregate Base (8")



STANDARD PARKING BLOCK DETAIL

Not To Scale



TYPICAL HANDICAP PARKING SPACE

Not To Scale

BID SET
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
March 3, 2014

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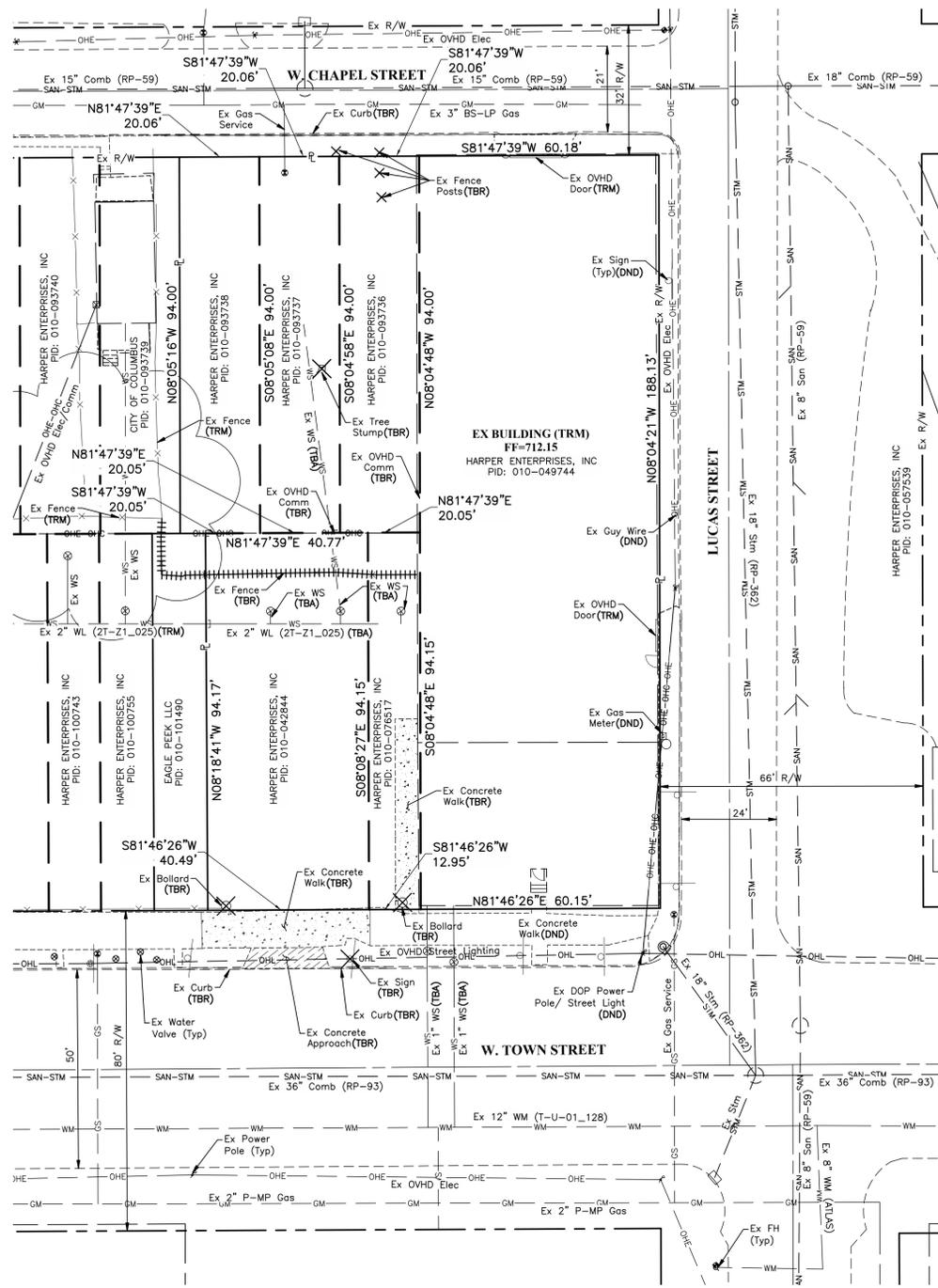
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EASEMENT REFERENCE				REVISIONS		PLAN PREPARED BY:
CITY NO.	COUNTY RECORDER VOL.	PAGE	GRANTOR	NO.	DESCRIPTION	

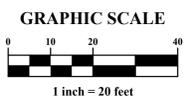


Evans, Michewitz, Hambleton & Blain, Inc.
Engineers - Surveyors - Planners - Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4300 Toll Free: 888.775.3643
emht.com

PROJECT TITLE: STORM SEWER IMPROVEMENT PLAN FOR LAND-GRANT BREWING CO. 424 W. TOWN STREET SITE DETAILS		CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC UTILITIES DIVISION OF SEWERAGE AND DRAINAGE DIVISION USE ONLY	
DIVISION USE ONLY		OWNER	
		CONTRACTOR	
		INSPECTOR	
AGREEMENT	COMPLETED	SCALE: As Noted	
RPD	CKD	SHEET 3 / 7	
CIB	CON.DR.	CONTRACT DRAWING NO. CC-00000	
INDEX DETAIL	RECORD FILE	RECORD PLAN NO.	

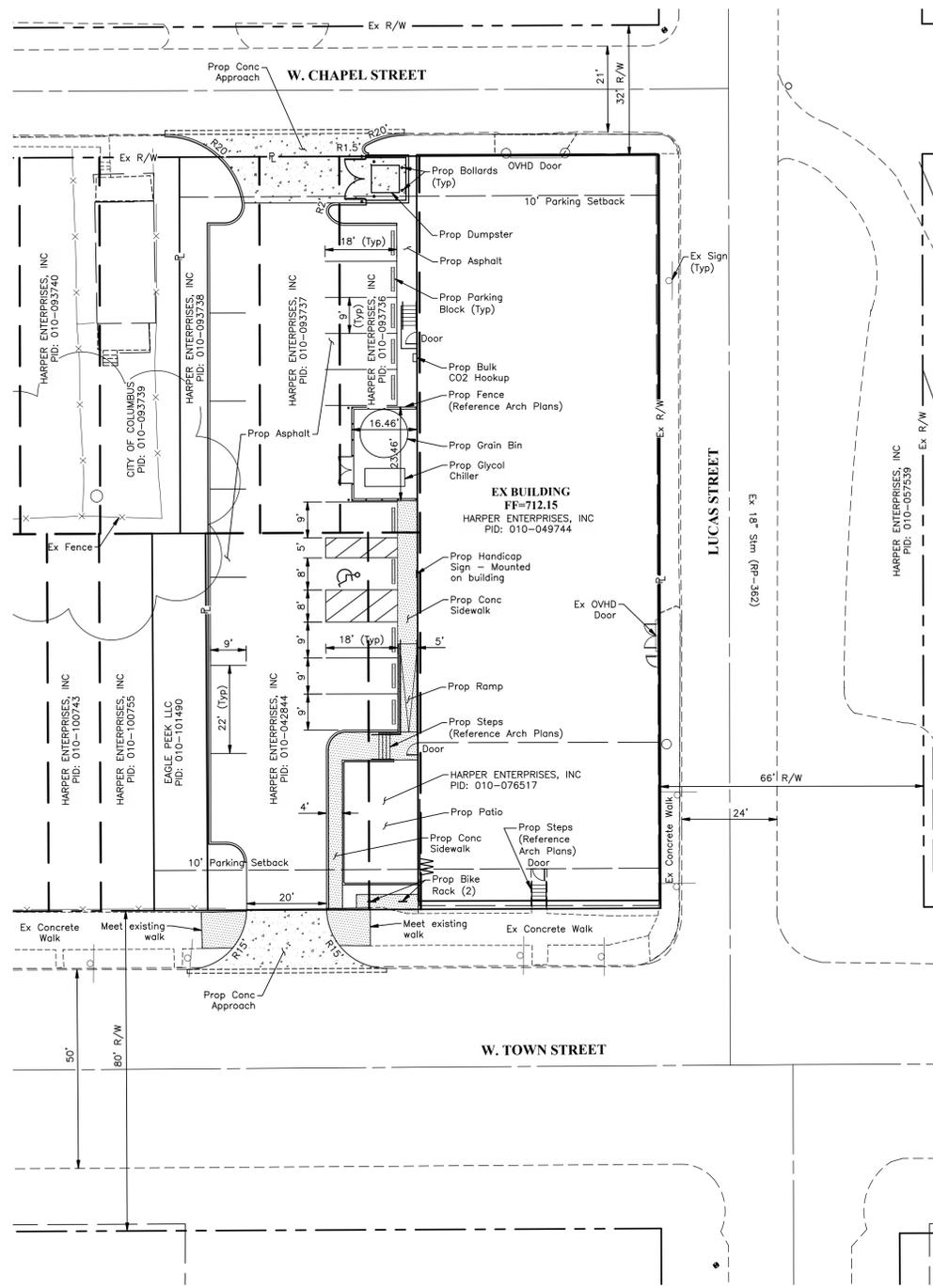


DEMOLITION PLAN
Scale: 1" = 20'

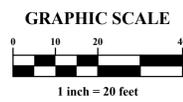


LEGEND

- WM Existing Watermain
- WS Existing Water Service
- STM Existing Storm Sewer
- SAN-STM Existing Combined Sewer
- OHL Existing DOP OVHD Street Lighting
- UGL Existing DOP UNGD Street Lighting
- GM Existing UNGD Gas Main
- OHE Existing OVHD Electric
- OHE-OHC Existing OVHD Electric & Communication
- Existing Curb - To Be Removed
- Existing Concrete Walk - To Be Removed
- Existing Concrete Pavement - To Be Removed
- Existing Fence - To Be Removed
- Existing Sign - To Be Removed
- Existing Bollard - To Be Removed
- Existing Post - To Be Removed
- Existing Tree Stump - To Be Removed
- (TBR) To Be Removed
- (TBA) To Be Abandoned
- (TRM) To Remain
- (DND) Do Not Disturb



SITE DIMENSION PLAN
Scale: 1" = 20'



LEGEND

- Proposed Parking Block
- Proposed Concrete Walk
- Proposed Concrete Pavement

NOTE:
All radii are 5', unless otherwise noted.

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EASEMENT REFERENCE				REVISIONS		PLAN PREPARED BY:
CITY NO.	COUNTY RECORDER	PAGE	GRANTOR	NO.	DESCRIPTION	APPROVAL DATE


 Evans, Mechwart, Hamblin & Titon, Inc.
 Engineers • Surveyors • Planners • Scientists
 5500 New Albany Road, Columbus OH 43254
 Phone: 614.772.4200 Fax: 614.772.3648
 emht.com

BID SET
 NOT TO BE USED FOR
 CONSTRUCTION

PLAN SET DATE
 March 3, 2014

PROJECT TITLE: STORM SEWER IMPROVEMENT PLAN FOR LAND-GRANT BREWING CO. 424 W. TOWN STREET DEMOLITION PLAN & SITE DIMENSION PLAN			
DIVISION USE ONLY		OWNER	
		CONTRACTOR	
		INSPECTOR	
AGREEMENT		COMPLETED	
RPD	CKD	CID	CONDR.
INDEX	DETAIL	RECORD	FILE

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC UTILITIES DIVISION OF SEWERAGE AND DRAINAGE DIVISION USE ONLY	
SCALE: 1" = 20'	SHEET 4 / 7
CONTRACT DRAWING NO. CC-0000	RECORD PLAN NO.

WATER SERVICE NOTES

No water service construction before or after meter shall begin prior to water service permit being issued and fee payment to the Columbus Division of Power and Water.

Contractor installing 2" water service and 2" tap shall have current City of Columbus Water Service License per COC 1103.02 and 1103.00.

There shall be a minimum ten foot separation between water taps, water services, private water systems and any sanitary and/or storm sewer systems per the Ten States Standards 8.8.2 and 8.8.3.

The City of Columbus "C.M.S.C." 2012 Edition shall govern all water service work up to and including the meter and meter setting.

All 2" thru 12" water service pipe shall be ductile iron from watermain thru meter setting including meter bypass.

2" water service material from curb stop through meter shall be K soft copper or a DOPW approved material, but not mixed.

2" water service material from 6" water main through curb stop shall be K soft copper only.

Domestic meter settings shall be per Columbus Division of Power and Water Standard Detail Drawings L-6317 A, B, C & E dated 4/01/01 respectively.

Backflow prevention assembly to be installed where needed per Columbus Division of Power and Water Standard Detail Drawing L-9002 A & B dated 4/01/01. Contractor shall call (614) 645-6674 with backflow prevention questions.

2" water service shall be flushed by the site utility Contractor prior to meter installation & reconnection. Any meter damage caused by not flushing shall be paid by the site utility Contractor.

Site utility Contractor shall call 614-645-7330 for inspection of 2" water service thru the meter.

The Contractor shall be responsible for the horizontal and vertical deflections and/or bends of the water lines or services in accordance with the manufacturer's specifications.

Waterlines shall be deflected as required to provide a minimum 1'-6" vertical clearance from storm sewer and sanitary sewer lines. A 10'-0" horizontal clearance between storm sewer and sanitary sewer lines should be provided.

All waterlines shall be laid with a minimum of 4' of cover from the finished grade to the top of water main.

An extension stem shall be furnished for all valves with the top of its operating nut more than 36" below finished grade. The top of the operating nut shall be brought to within 24" of finished grade.

All proposed fire hydrants shall be set 2' from the existing/proposed back of curb.

All waterlines/services under pavement or sidewalk shall be backfilled with compacted granular material as per Item 912. Water services not within pavement or sidewalk limits may be backfilled with suitable soil compacted in accordance with Item 911.

All trenches shall be backfilled or securely plated during non-working hours.

All water mains shall be tested under a minimum hydrostatic test of 150 psi and in accordance with AWWA C900. No pressure test shall be performed if the temperature is below freezing.

BID NOTES

The existing sanitary tap is being investigated with the City of Columbus Permit Office. It is assumed the tap connects to the existing sanitary sewer in Lucas Street to the east. Further coordination is to occur with the City and the MEP regarding placement of the proposed grease trap and how it will connect to the building plumbing and ultimately outlet to the mainline sewer. A new tap and permit may be required.

Existing water service taps shown from City Atlas/Records. Existing taps within the footprint of the proposed parcel(s) will need to be located and abandoned per Division of Water standards. The portion of the existing 2" service line on the proposed parcel(s) coming from the west is to be cut and capped at the property line and abandoned east of the cap. The taps connecting to the 12" WM in Towns Street are also to be abandoned.

An underground stone detention storage system will be utilized on the project. The footprint and depth shown is approximate and will be finalized as part of the Division of Sewers and Drains review and approval. Storm sewer facilities outside of the right-of-way will be considered private and facilities within the right-of-way will be considered public.

The existing gas service which is within the northern driveway is assumed to have serviced an existing hose which once stood in this location. Contractor shall assume that coordination with Columbia Gas will be required to confirm the service presence, shut-off and removal/abandonment.

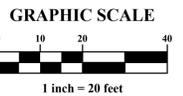
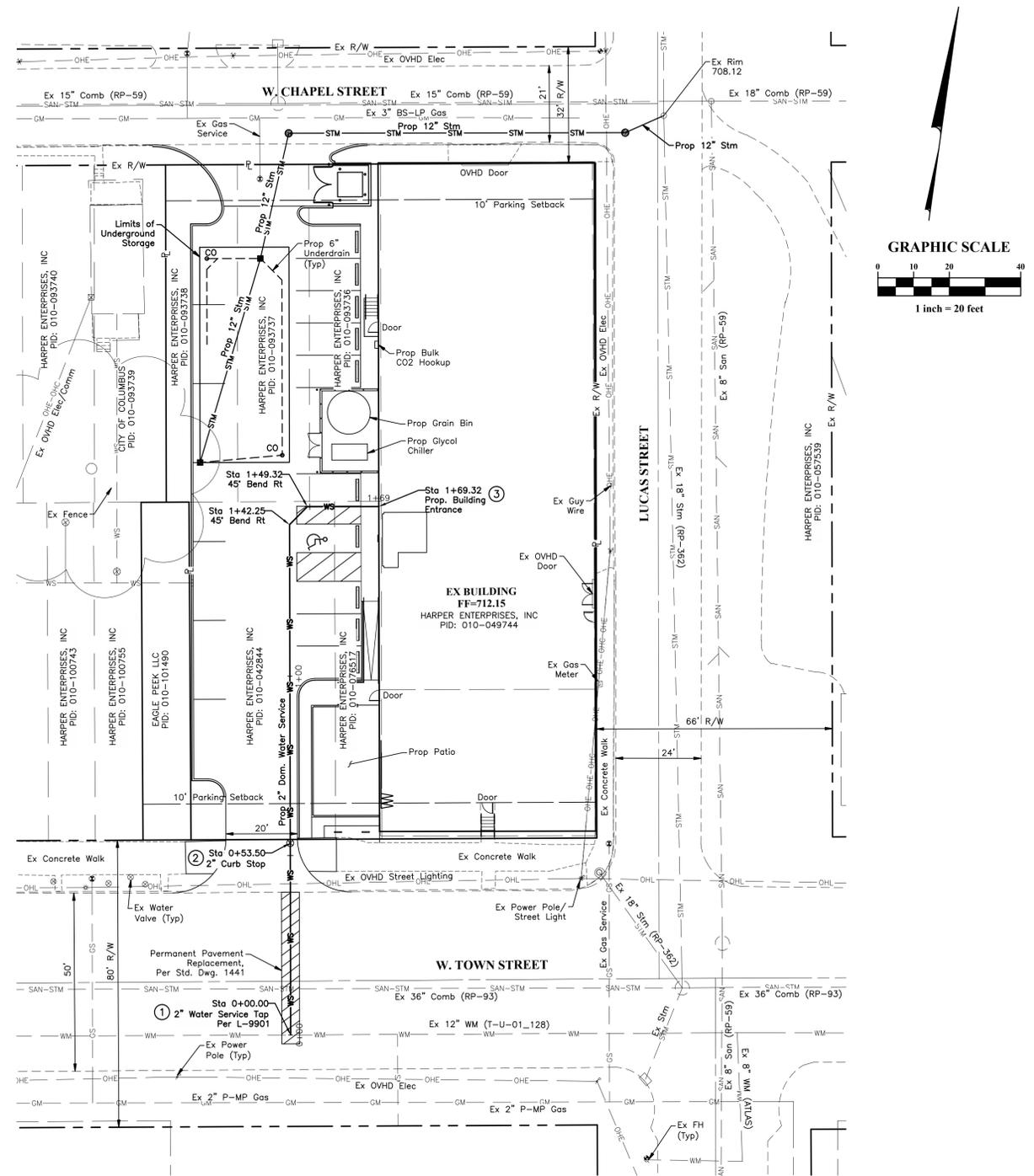
An existing overhead communications line currently runs from the west and connects to the building. It is assumed this line will need to be removed and ultimately replaced. Details and coordination with MEP to be finalized with final plans.

LEGEND

- WM Existing Watermain
- WS Existing Water Service
- STM Existing Storm Sewer
- SAN-STM Existing Combined Sewer
- OHL Existing DOP OVHD Street Lighting
- UGL Existing DOP UNGD Street Lighting
- GM Existing UNGD Gas Main
- OHE Existing OVHD Electric
- OHE-OHC Existing OVHD Electric & Communication
- FPM Proposed Fire Protection Main
- DWS Proposed Domestic Water Service
- STM Proposed Storm Sewer

Proposed GPS Coordinates - Water Service

Ref (#)	Item	Northing	Easting
①	2" Water Service Tap	713354.2672	1825077.0148
②	2" Curb Stop	713407.2357	1825069.4909
③	Proposed Building Entrance	713503.5689	1825081.0582



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PM - 000

EASEMENT REFERENCE			REVISIONS			
CITY NO.	COUNTY RECORDER VOL.	PAGE	GRANTOR	NO.	DESCRIPTION	APPROVAL/DATE

PLAN PREPARED BY:

BID SET
.....
NOT TO BE USED FOR
CONSTRUCTION

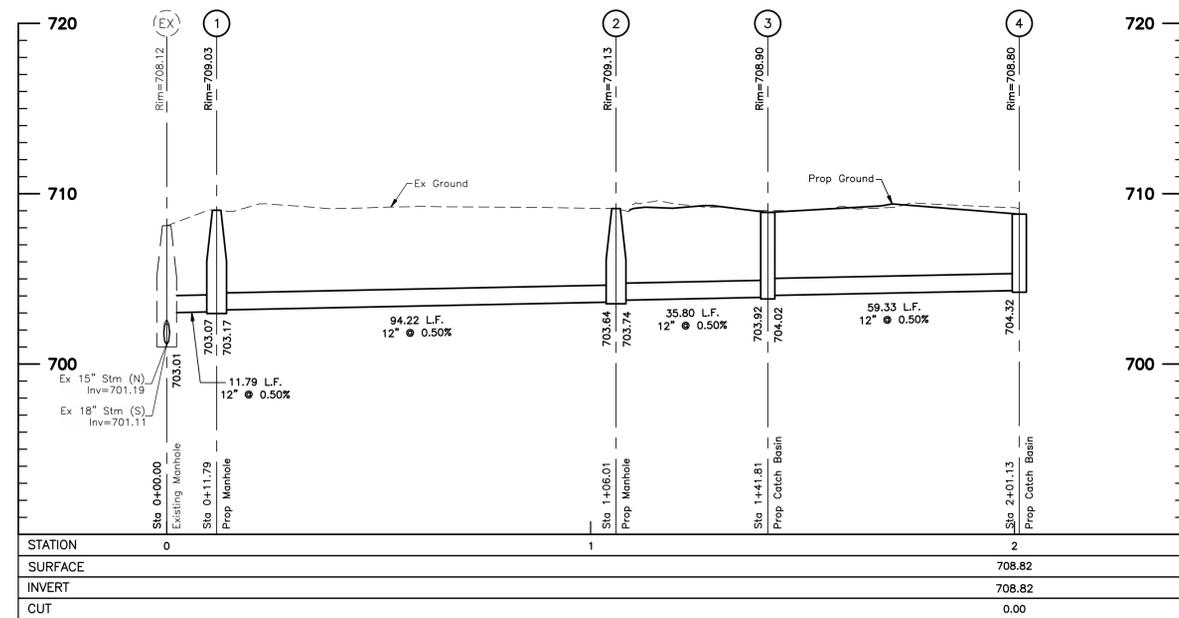
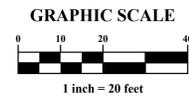
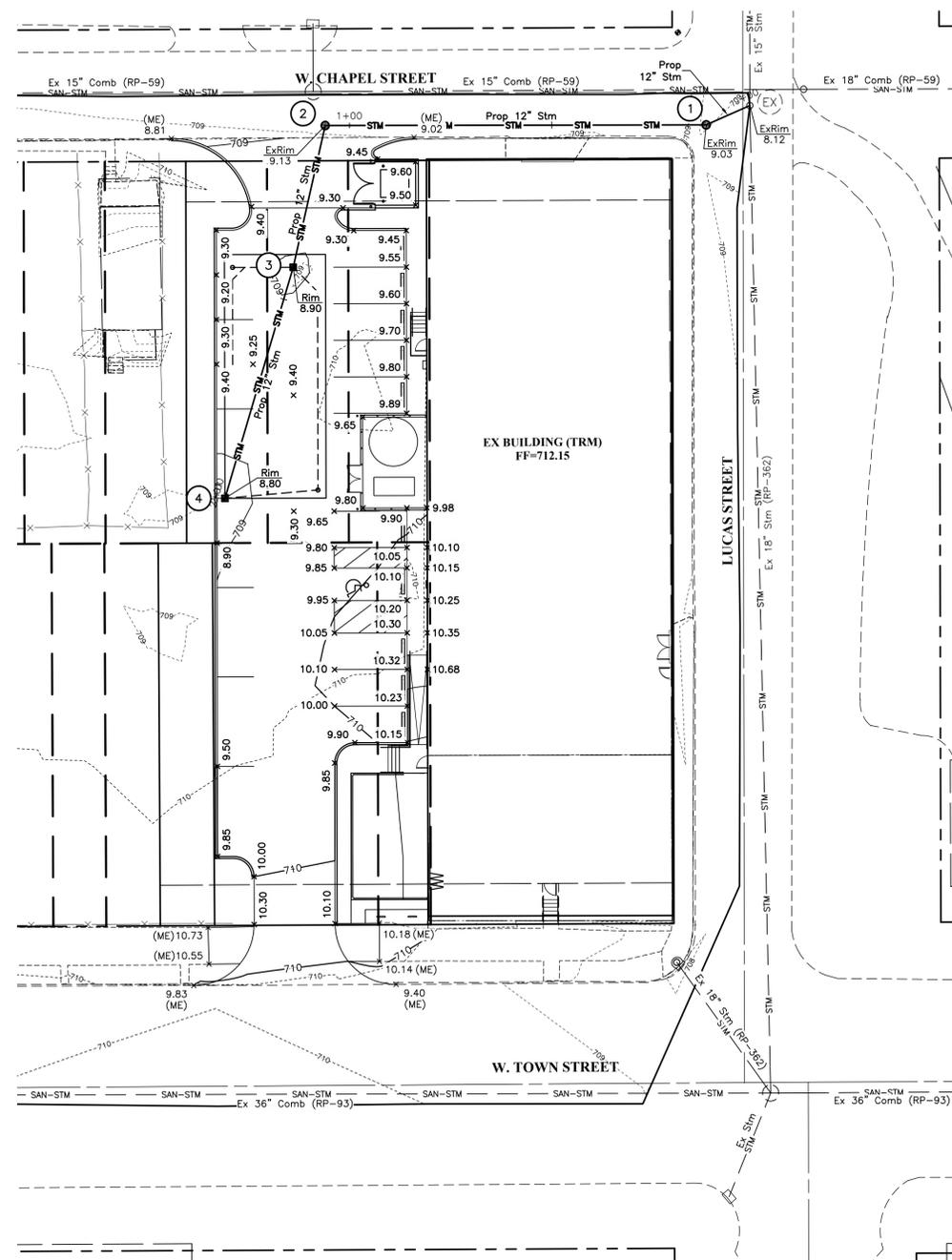
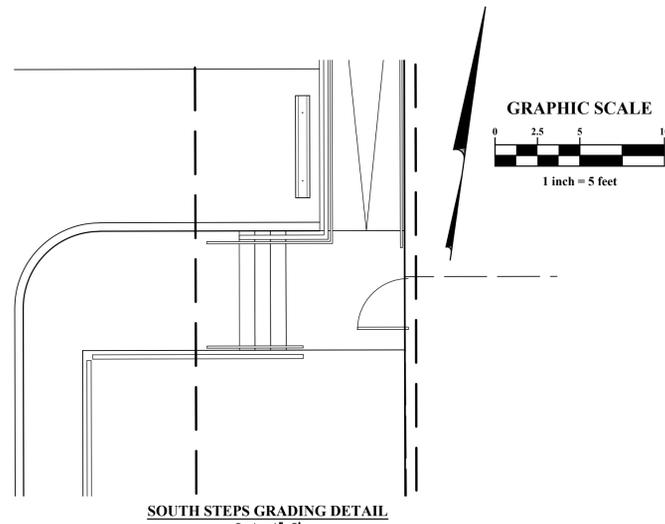
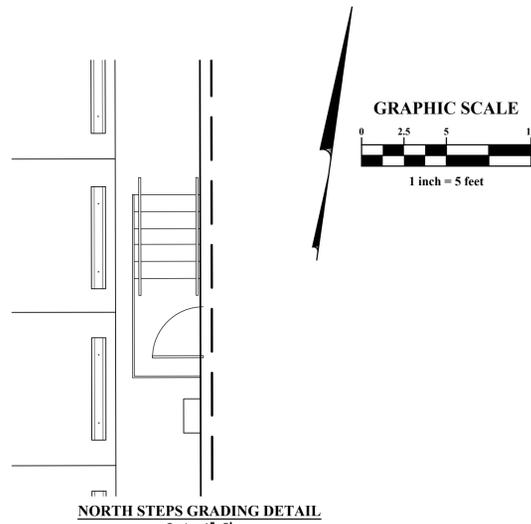
PLAN SET DATE
March 3, 2014

PROJECT TITLE: STORM SEWER IMPROVEMENT PLAN FOR LAND-GRANT BREWING CO. 424 W. TOWN STREET SITE UTILITY PLAN

DIVISION USE ONLY				OWNER			
INSPECTOR				CONTRACTOR			
AGREEMENT	COMPLETED						
RFD	CKD	CID	CONDR.				
INDEX DETAIL	RECORD FILE						

CITY OF COLUMBUS, OHIO
DEPARTMENT OF PUBLIC UTILITIES
DIVISION OF SEWERAGE AND DRAINAGE
DIVISION USE ONLY

SCALE: As Noted	SHEET 5 / 7
CONTRACT DRAWING NO. CC-00000	RECORD PLAN NO.



NOTE
To obtain elevations on NAVD 1988 Datum, add 700.00 to all spots elevations shown hereon between 0.00 and 99.99.

NOTE
Add 700 to all elevations shown to obtain final elevation.

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EASEMENT REFERENCE		
CITY NO.	COUNTY RECORDER	GRANTOR
VOL.	PAGE	

REVISIONS		
NO.	DESCRIPTION	APPROVAL/DATE

PLAN PREPARED BY:



Evans, Mechwart, Transmission & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
5500 New Albany Road, Columbus, OH 43054
Phone: 614.775.4350 • Toll Free: 888.775.3648
emht.com

BID SET
NOT TO BE USED FOR CONSTRUCTION

PLAN SET DATE
March 3, 2014

PROJECT TITLE: STORM SEWER IMPROVEMENT PLAN FOR LAND-GRANT BREWING CO. 424 W. TOWN STREET GRADING PLAN, GRADING DETAILS, & STORM SEWER PROFILE			
DIVISION USE ONLY		OWNER	
		CONTRACTOR	
		INSPECTOR	
AGREEMENT	COMPLETED		
RPD	CKD	CID	CONDR.
INDEX DETAIL	RECORD FILE		

CITY OF COLUMBUS, OHIO DEPARTMENT OF PUBLIC UTILITIES DIVISION OF SEWERAGE AND DRAINAGE DIVISION USE ONLY	
SCALE: As Noted	SHEET 6 / 7
CONTRACT DRAWING NO. CC-00000	RECORD PLAN NO.

OPNG NO.	ROOM NAME	DOOR OR RELITE		FRAME	DETAILS	HDW SET	REMARKS	REV
		SIZE	RATING					
DA-100a	DINING	3'-0"x7'-10"	-	ALUM S-1	-	-	HARDWARE BY MANF. - "D" PULL / PANIC BAR / CONCEALED CLOSER	-
DA-100b	DINING	3'-0"x7'-10"	-	ALUM S-5	-	-	HARDWARE BY MANF. - "D" PULL / PANIC BAR / CONCEALED CLOSER	-
DA-103	KITCHEN	3'-0"x7'-0"	-	-	-	-	PIVOT KITCHEN DOOR & FRAME / SST W/ PORTAL WINDOW	-
DA-105	OFFICE FOYER	3'-0"x7'-0"	120 MIN.	-	1	3/A8	4/A8	-
DA-106	TASTING	3'-0"x7'-0"	60 MIN.	-	4	5/A8 SIM.	6/A8 SIM.	-
DA-107	MENS	3'-0"x7'-0"	-	-	2	5/A8 SIM.	6/A8 SIM.	-
DA-108	WOMENS	3'-0"x7'-0"	-	-	2	5/A8 SIM.	6/A8 SIM.	-
DA-109	MECHANICAL	3'-0"x7'-0"	-	-	1	3/A8	4/A8	-
DB-100a	BREWHOUSE	EXISTING	-	-	-	-	-	-
DB-100b	BREWHOUSE	EXISTING	-	-	-	-	-	-
DB-100c	BREWHOUSE	3'-0"x7'-0"	-	PG-1	2	5/A8	6/A8	-
DB-100d	BREWHOUSE	EXISTING	-	-	-	-	-	-
DB-101	BOILER / ELECTRICAL	(2) 3'-0"x7'-0"	-	F-1	2	5/A8	6/A8	-
DB-102	LAB	3'-0"x7'-0"	-	PG-1	1	3/A8	4/A8	-
DB-103	STAFF RESTROOM	3'-0"x7'-0"	-	F-1	1	3/A8	4/A8	-
DB-104	MALT	3'-0"x7'-0"	-	F-1	2	5/A8	6/A8	-
DB-106	LOADING	EXISTING	-	-	-	-	-	-
DB-107	WORK AREA	EXISTING	-	-	-	-	-	-
DB-202	RESTROOM	EXISTING	-	-	-	-	-	-
DB-203	CLOSET	EXISTING	-	-	-	-	-	-
RB-200	OPEN OFFICE	7'-8"x4'-0"	-	-	3	7/A8	8/A8	-

- GENERAL NOTES:
- FIRE RATING IN MINUTES.
 - COORDINATE SECURITY DEVICES TO ACCOMMODATE EMERGENCY EXITING OVER RIDE.
 - KEYING DETERMINED BY TENANT AND HARDWARE PROVIDER.
 - DOORS MUST BE OPERABLE FROM INSIDE ROOM WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE IN CASE OF EMERGENCY.
 - ALL DOOR HARDWARE MUST BE ADA COMPLIANT

DOOR TYPE SCHEDULE	
ELEVATION	DESCRIPTION
	TYPE: F-1 MTRL/FIN: HMP/PNT THK: 1 3/4" GL: -- REMARKS: -
SERIES: F (FLUSH)	
ELEVATION	DESCRIPTION
	TYPE: PG-1 MTRL/FIN: HMP/PNT THK: 1 3/4" GL: SG-1 REMARKS: TEMPERED GLASS
SERIES: PG (PARTIAL GLASS)	

DOOR HARDWARE

ARCHITECT IS TO SELECT, AWARD & WORK WITH THE HARDWARE SUPPLIER TO PROVIDE AND SELECT THE FINISH HARDWARE. NOTE THAT NO ALUMINUM DOOR HARDWARE IS INCLUDED IN THE FINISH HARDWARE ALLOWANCE BUT SHOULD BE INCLUDED IN BASE BID. ALLOW \$ 6,000.00 + TAX FOR THE FINISH HARDWARE ON NEW OPENINGS & MODIFY HARDWARE ON SOME EXISTING DOORS.

EXISTING HARDWARE TO BE REMOVED WILL NEED TO BE SURVEYED, AND RECOMMENDATIONS PROVIDED FOR ITS RE-USE WHERE APPLICABLE.

ALSO NOTE THAT INSTALLATION LABOR IS NOT INCLUDED IN THE ALLOWANCE AND SHOULD BE INCLUDED IN BASE BID PRICING.

THE DOUBLE ACTING KITCHEN DOOR IS ALSO NOT INCLUDED AND SHOULD BE INCLUDED IN THE BASE BID PRICE (BY MANUFACTURER)

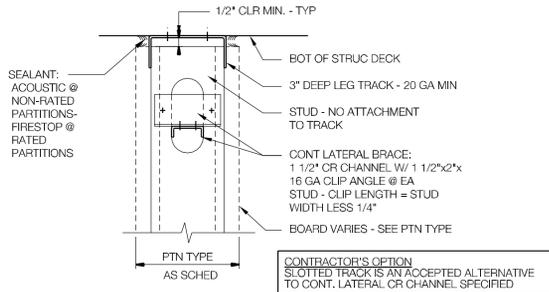
G.C. MAY PROPOSE HARDWARE SUPPLIER OF THEIR CHOICE FOR APPROVAL TO THE ARCHITECT. THE ARCHITECT'S PREFERRED HARDWARE PROVIDER / CONSULTANT IS:

TOM WHITAKER, AHC
PROBUILD
(614) 206-3666

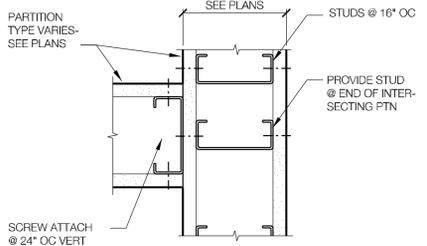
PLANTING SCHEDULE						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
⊙	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' C	FEATHER REED GRASS	#1	2' O.C.	DARK BROWN MULCH TO BE PROVIDED BELOW
⊙	38	PENNELSETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	#1	1' O.C. TRI	DARK BROWN MULCH TO BE PROVIDED BELOW

PARTITION SCHEDULE	
DESIGN:	Section View
1	
RATING: Value	4 7/8"
Fire -	
FRAME: Size Spacing	
3 5/8" 20 GA. 16"OC	
FACING: Material Thick	
GWB 5/8"	
DESIGN:	Section View
2	
RATING: Value	4 7/8"
Fire -	
FRAME: Size Spacing	
3 5/8" 20 GA. 16"OC	
FACING: Material Thick	
GWB 5/8"	
DESIGN:	Section View
3	
RATING: Value	6 1/8"
Fire 2 HOUR	
UL V450	
FRAME: Size Spacing	
3 5/8" 20 GA. 16"OC	
FACING: Material Thick	
GWB 5/8"	
DESIGN:	Section View
4	
RATING: Value	4 1/4"
Fire -	
FRAME: Size Spacing	
3 5/8" 20 GA. 16"OC	
FACING: Material Thick	
GWB 5/8"	

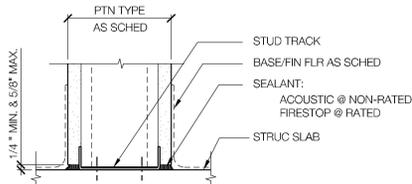
- ALL PARTITIONS ARE TYPE 2 UNLESS INDICATED OTHERWISE.
- PARTITION TYPES INDICATED ARE CONTINUOUS TO A CORNER OR AN INTERSECTING PARTITION, UNLESS INDICATED OTHERWISE. WHERE PARTITIONS OF DIFFERENT THICKNESSES MEET, MAINTAIN A FLUSH SURFACE ON THE SIDE WHERE FACES ARE STRAIGHT AND CONTINUOUS, UNLESS NOTED OTHERWISE.
- EDGES OF GYPSUM WALL BOARD (GWB) LEFT EXPOSED TO VIEW, OR ABUTTING DISSIMILAR MATERIAL IS TO BE FINISHED WITH METAL BEAD TRIM AND COMPOUND UNLESS NOTED OTHERWISE.
- PARTITION SCHEDULE IS BASED ON THE USE OF GYPSUM WALL BOARD (GWB), BUT FACING BOARD MAY VARY, DEPENDENT ON FINAL FINISH SCHEDULED FOR THAT PARTITION: USE TILE BACKER BOARD (TBB) WHERE CERAMIC TILE SCHEDULED IN "WET" AREAS; USE MOISTURE RESISTANT BOARD (MR) WHERE CERAMIC TILE SCHEDULED IN "DRY" AREAS; USE GYPSUM LATH (BLUE BOARD) WHERE VENEER PLASTER IS SCHEDULED. SEE FINISH SCHEDULE AND SPECIFICATIONS FOR PARTICULARS.
- SOUND ATTENUATION BATT (SAB) IS TO BE PLACED IN ALL PARTITIONS MARKED WITH THE LETTER 'B'.
- SINGLE 20 GA. STUD AT EACH DOOR JAMB FOR OPENINGS UP TO 4' WIDE; DOUBLE 20 GA. STUD AT EACH JAMB FOR OPENINGS OVER 4' WIDE.
- FOR ASSEMBLIES RATED 1 HOUR SEE SHEET A0.1 FOR UL DESIGN V450.
- SEE STANDARD PARTITION DETAILS 'A' THRU 'C' THIS SHEET.



A PARTITION DEFLECTION
3"=1'-0"



B PARTITION INTERSECTION
3"=1'-0"



C PARTITION BOTTOM
3"=1'-0"

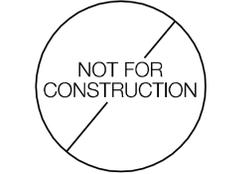
CODE INFORMATION / LIFE SAFETY NOTES	
SCOPE OF WORK: SUBSTANTIAL RENOVATION PARTIAL CHANGE OF USE (FRONT SECTION ONLY)	OCCUPANT LOAD: GROSS FLOOR AREA: 42,890 GROSS SF MINIMUM OCCUPANT LOAD (TABLE 1004.1.1) ASSEMBLY - 15 NET SF BUSINESS - 100 GROSS SF FACTORY - 200 GROSS SF KITCHEN - 200 GROSS
APPLICABLE CODES: 2011 OHIO BUILDING, MECHANICAL, AND PLUMBING CODES CBC CHAPTER 11 AND ICC A117.1-2009 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES AS MODIFIED BY CBC CHAPTER 11.	OCCUPANT LOAD BY TYPE: DINING 1,450 SF 15 SF 97 KITCHEN 825 SF 200 SF 5 FACTORY 7,837 SF 200 SF 40 BUSINESS 692 SF 100 SF 7 TOTAL 149
OCCUPANCY: 'A-2' ASSEMBLY - BAR / RESTAURANT 'F-2' FACTORY - BEVERAGE PRODUCTION 'B' BUSINESS - OFFICE (ACCESSORY TO 'F-2')	EXITING NUMBER OF EXITS - 2 MIN., TABLE 1021.1 2 EXITS PROVIDED FROM BOTH THE 'A-2' & FROM THE 'F-2' OCCUPANCY EXIT WIDTH - 44" MIN.
TYPE OF CONSTRUCTION: III-B NON-PROTECTED	WATER CLOSETS OCCUPANTS RATIO FIXTURES ASSEMBLY 146 75 2 FACTORY 40 100 1 BUSINESS 7 50 1 TOTAL 192 4 - 2 PER SEX
ALLOWABLE HEIGHT & AREA 'A-2' = 9,500 SF & 2 STORIES 'F-2' = 18,000 SF & 3 STORIES	2 PROVIDED PER SEX 2 ADDITIONAL UNISEX RESTROOMS ARE PROVIDED
ACTUAL HEIGHT & AREA 'A-2' = 3,296 SF & 1 STORY 'F-2' = 7,837 SF & 1 STORY W/ PARTIAL MEZZANINE 'B' = 692 SF (ACCESSORY TO 'F-2') TOTAL = 11,825 SF	LAVATORIES OCCUPANTS RATIO FIXTURES ASSEMBLY 146 75 2 FACTORY 40 100 1 BUSINESS 7 80 1 TOTAL 192 4 - 2 PER SEX
REQUIRED SEPERATION BETWEEN OCCUPANCIES 'A-2' TO 'F-2' (NON-SPRINKLERED) = 1 HOUR 'A-2' TO 'B' (NON-SPRINKLERED) = 2 HOUR	2 PROVIDED PER SEX 2 ADDITIONAL UNISEX RESTROOMS ARE PROVIDED
FIRE RESISTANCE EXTERIOR WALLS RATED 2 HOURS	MEANS OF EGRESS: REMOTENESS - 1/2 DIAGONAL DIM. LENGTH OF TRAVEL - 200' (TABLE 1016.1) 'A-2' OCCUPANCY - 300' (TABLE 1016.1) 'F-2' OCCUPANCY
FIRE RESISTANCE FOR OPENINGS GREATER THAN 30" UNPROTECTED/NONSPRINKLERED = NO LIMIT	DRINKING FOUNTAINS - NOT REQUIRED IN RESTAURANTS SERVING WATER - OPC 410.1
FIRE BARRIERS: EXIT ACCESS CORRIDORS - 1 HR >30 OCCUPANTS W/OUT SPRINKLER (TABLE 1018.1)	SERVICE SINK - 1 REQUIRED 1 PROVIDED
INTERIOR FINISHES INTERIOR FINISH & TRIM - SECTION 803.0	DEAD END CORRIDOR = 20'
DEAD END CORRIDOR = 20'	* INCLUDE PATIO OCCUPANT LOAD OF 43 OCCUPANTS

TENANT IMPROVEMENT



424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

PROPERTY OWNER:
HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221



PRICING SET 03.04.2014

moderarchitects
174 THURMAN AVENUE COLUMBUS OHIO 43206
WWW.MODEARC.COM 614.836.5124

PROJECT INFORMATION

PROJECT #	2013-50
DATE	12.16.2013
SCALE	1/4"=1'-0"

A0



424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

PROPERTY OWNER:

HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221

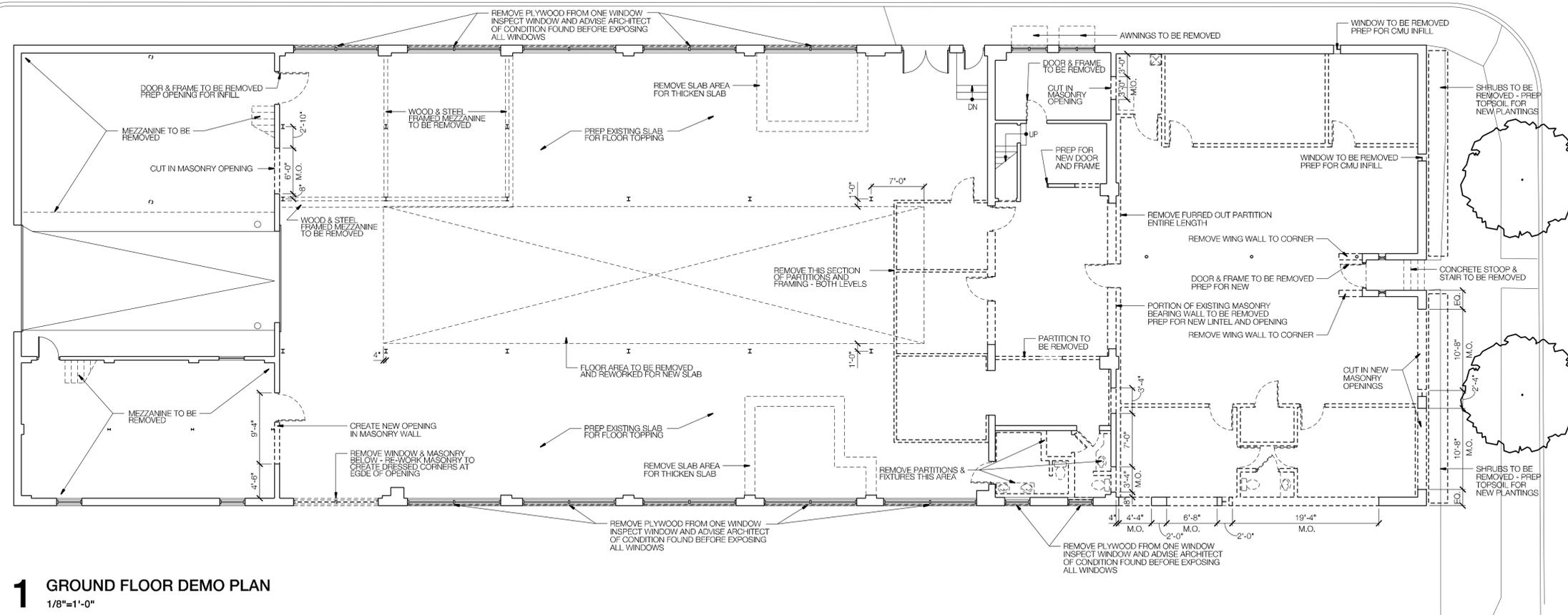
DEMO NOTES

GENERAL NOTES

- COORDINATE ALL DEMOLITION W/ G.C. PRIOR TO COMMENCING WORK
- REMOVE ALL EXISTING FLOORING
- REMOVE ALL MATERIALS DASHED ON DEMO DRAWINGS
- PREP ALL SURFACES TO RECEIVE FINISHES SPECIFIED
- PATCH OR REPAIR ALL ADJACENT SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION WORK

DEMOLITION PLAN CODED NOTES

- WALL TO BE REMOVED
- DOOR TO BE REMOVED
- CABINETRY TO BE REMOVED
- PLUMBING FIXTURE TO BE REMOVED
- FLOOR AREA TO BE REMOVED FOR NEW SLAB



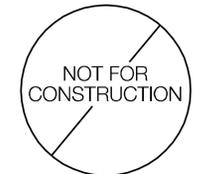
1 GROUND FLOOR DEMO PLAN
1/8"=1'-0"

PLAN NOTES

- ALL DIMENSIONS ARE TO FINISHED FACE U.N.O.
- SEE SHEET A40 FOR DOOR SCHEDULE AND FINISH SCHEDULE INFORMATION
- ALL PARTITIONS ARE TYPE 1 U.N.O.
- SAB ABOVE CEILING FOR ALL ROOMS WHOSE WALLS ARE MARKED WITH '1B'
- SEE A40 FOR FLOOR MATERIAL TRANSITIONS

LEGEND

- EXISTING WALL/PARTITION
- NEW PARTITION
- EXISTING 1 HOUR ASSEMBLY
- NEW 2 HOUR ASSEMBLY
- 8" CMU PARTITION
- FIRE EXTINGUISHER



PRICING SET 03.04.2014

moderarchitects
174 THURMAN AVENUE COLUMBUS OHIO 43206
WWW.MODEARC.COM 614.836.5124

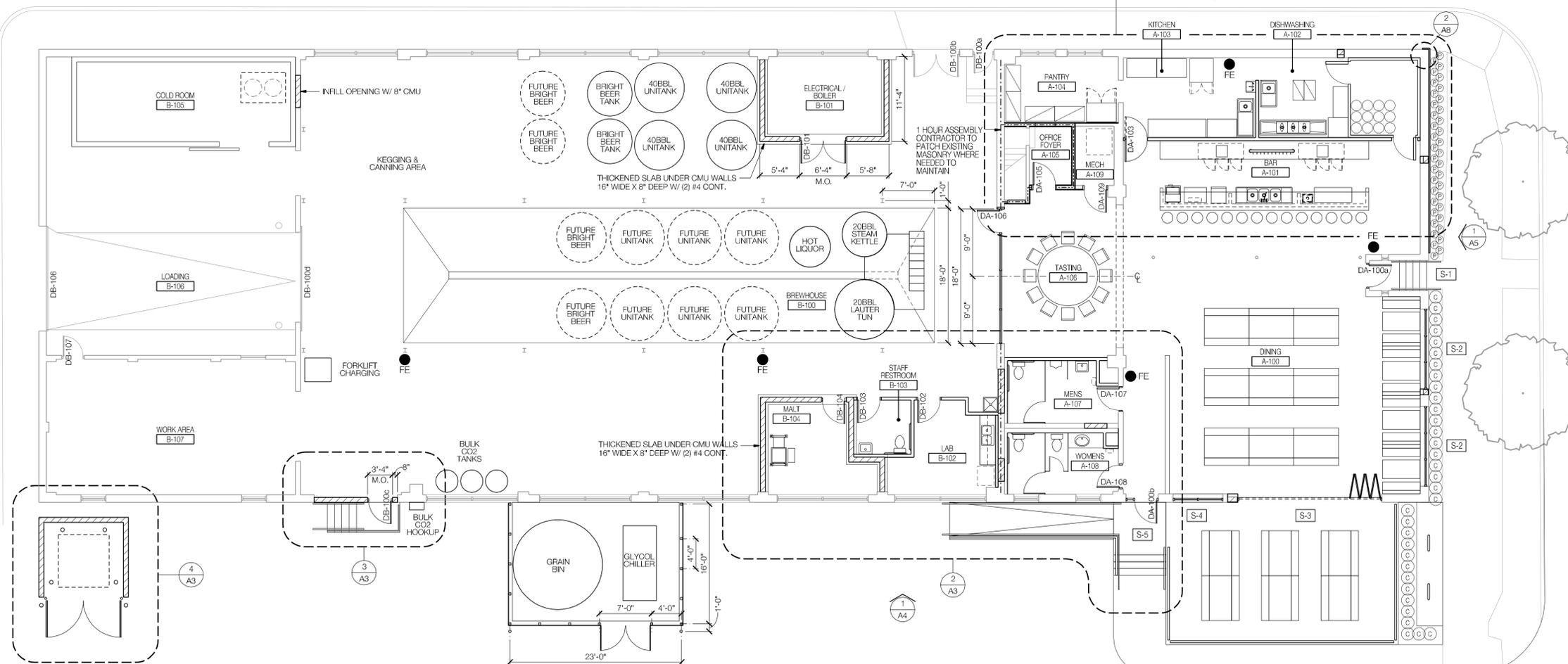
GROUND LEVEL FLOOR PLANS

PROJECT # 2013-50

DATE 12.16.2013

SCALE 1/8"=1'-0"

A1



2 GROUND FLOOR NEW WORK PLAN
1/8"=1'-0"



424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

PROPERTY OWNER:

HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221

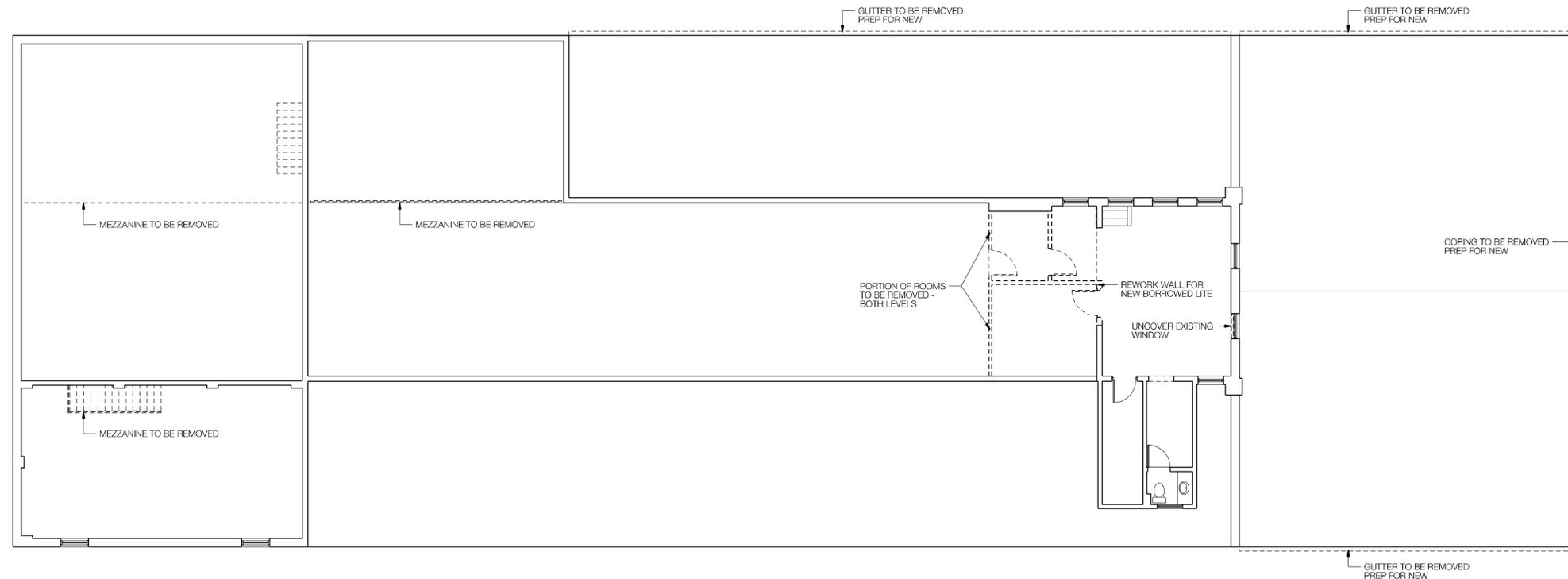
DEMO NOTES

GENERAL NOTES

1. COORDINATE ALL DEMOLITION W/ G.C. PRIOR TO COMMENCING WORK
2. REMOVE ALL EXISTING FLOORING.
3. REMOVE ALL MATERIALS DASHED ON DEMO DRAWINGS.
4. PREP ALL SURFACES TO RECEIVE FINISHES SPECIFIED.
5. PATCH OR REPAIR ALL ADJACENT SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION WORK.

DEMOLITION PLAN CODED NOTES

1. WALL TO BE REMOVED
2. DOOR TO BE REMOVED
3. CABINERY TO BE REMOVED
4. PLUMBING FIXTURE TO BE REMOVED
5. FLOOR AREA TO BE REMOVED FOR NEW SLAB



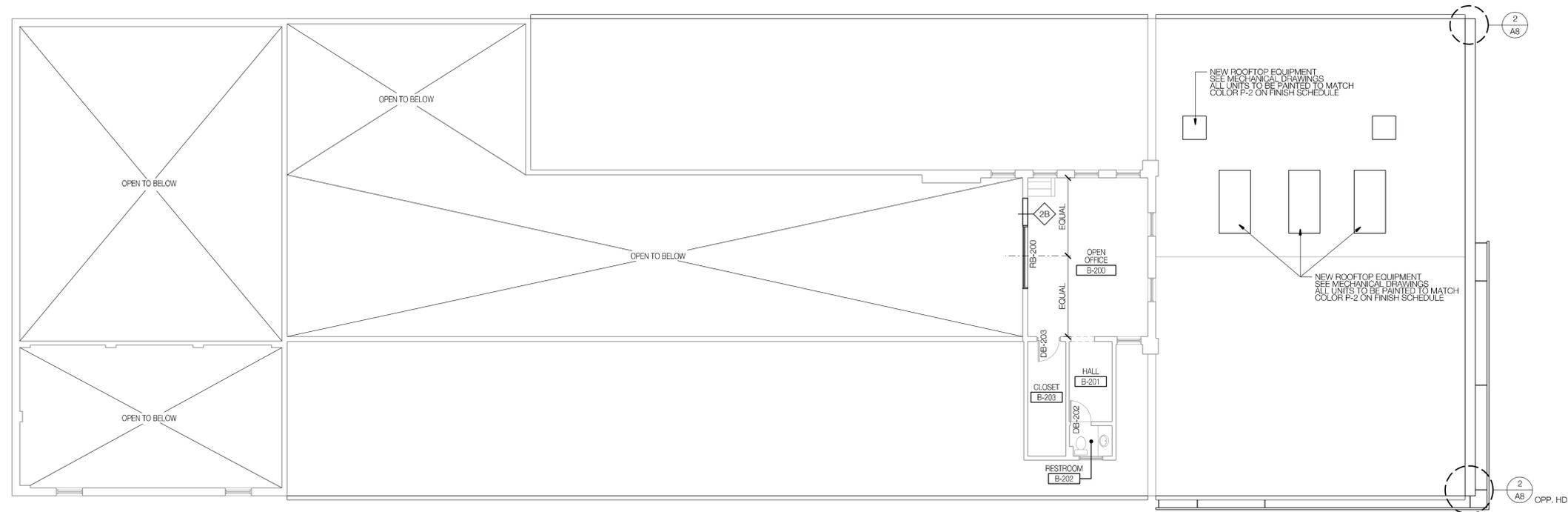
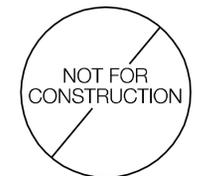
1 MEZZANINE DEMO PLAN
1/8"=1'-0"

PLAN NOTES

1. ALL DIMENSIONS ARE TO FINISHED FACE. U.N.O.
2. SEE SHEET A0 FOR DOOR SCHEDULE AND FINISH SCHEDULE INFORMATION
3. ALL PARTITIONS ARE TYPE 1 U.N.O.
4. S4B ABOVE CEILING FOR ALL ROOMS WHOSE WALLS ARE MARKED WITH '1B'.
5. SEE A0 FOR FLOOR MATERIAL TRANSITIONS

LEGEND

- EXISTING WALL/PARTITION
- NEW PARTITION
- EXISTING 1 HOUR ASSEMBLY
- NEW 2 HOUR ASSEMBLY
- 8" CMU PARTITION
- FIRE EXTINGUISHER



2 MEZZANINE NEW WORK PLAN
1/8"=1'-0"

PRICING SET 03.04.2014

moderarchitects
174 THURMAN AVENUE COLUMBUS OHIO 43206
WWW.MODEARC.COM 614.836.5124

MEZZANINE FLOOR PLANS

PROJECT # 2013-50

DATE 12.16.2013

SCALE 1/8"=1'-0"

A2

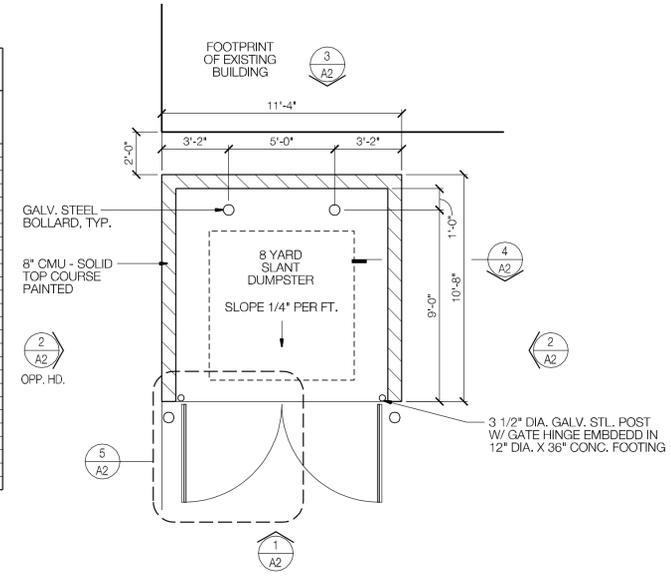


424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

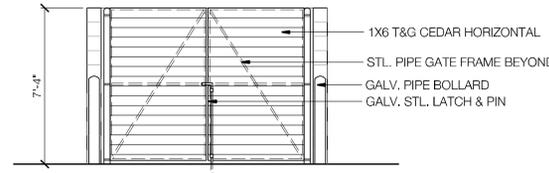
PROPERTY OWNER:
HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221

EQUIPMENT SCHEDULE

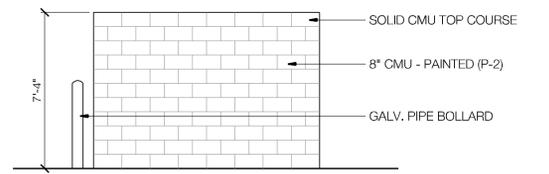
NO.	DESCRIPTION	MANUFACTURER	REV
1	STAINLESS STEEL TABLE	TBD	
2	SANDWICH UNIT	TBD	
3	CONVECTION OVEN	TBD	
4	CONVECTION OVEN	TBD	
5	STAINLESS STEEL TABLE - COLD PREP	TBD	
6	STAINLESS STEEL TABLE - PREP	TBD	
7	PREP SINK	SEE PLUMBING DWGS	
8	HAND SINK	SEE PLUMBING DWGS	
9	PREP SINK	SEE PLUMBING DWGS	
10	3 COMPARTMENT SINK SPRAY HOSE	SEE PLUMBING DWGS	
11	CORNER DISHWASHER UNIT	TBD	
12	WIRE SHELVING, 3 TIERS	TBD	
13	WALK-IN COOLER	TBD	
14	POINT OF SALE MACHINE	TBD	
15	UNDERCOUNTER MERCHANDISER	EXISTING - BY OWNER	
16	BAR TAP UNIT	CUSTOM	
17	STAINLESS STEEL TABLE	TBD	
18	HAND SINK	SEE PLUMBING DWGS	
19	3 COMPARTMENT SINK	EXISTING - BY OWNER	
20	GLASS WASHER	EXISTING - BY OWNER	
21	ICE BIN	EXISTING - BY OWNER	
22	SODA DISPENSER	TBD	
23	ICE MAKER	TBD	
24	FREEZER	TBD	



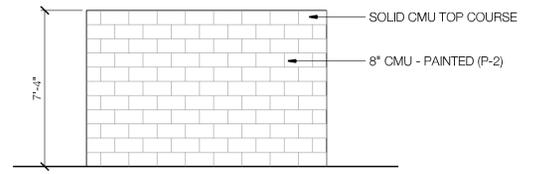
4 ENLARGED PLAN
1/4"=1'-0"



A - FRONT

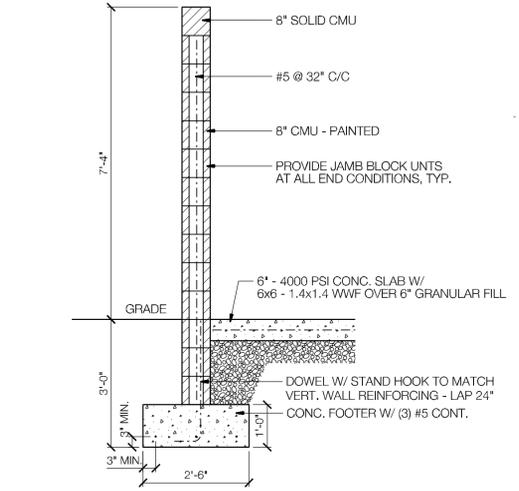


B - SIDE

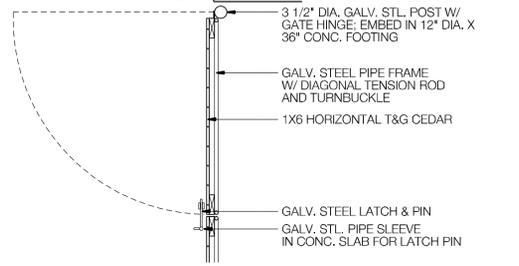


C - BACK

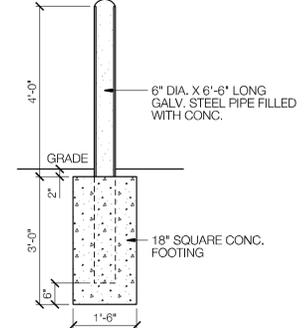
5 ELEVATIONS
1/4"=1'-0"



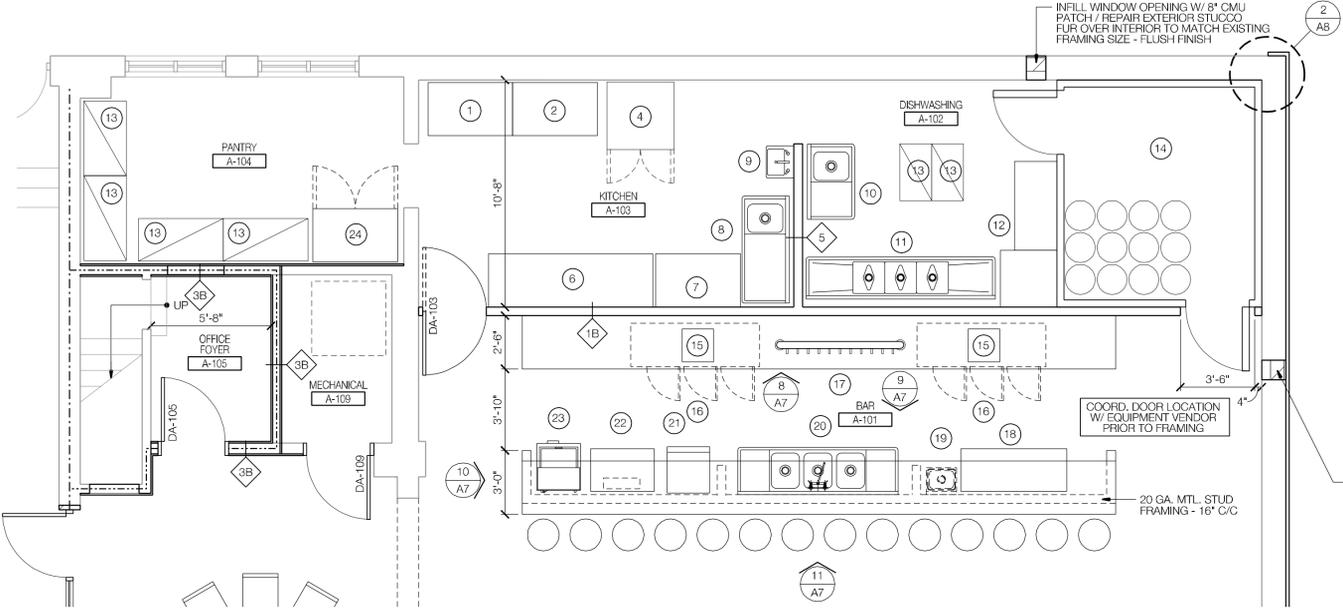
X DETAIL
1/2"=1'-0"



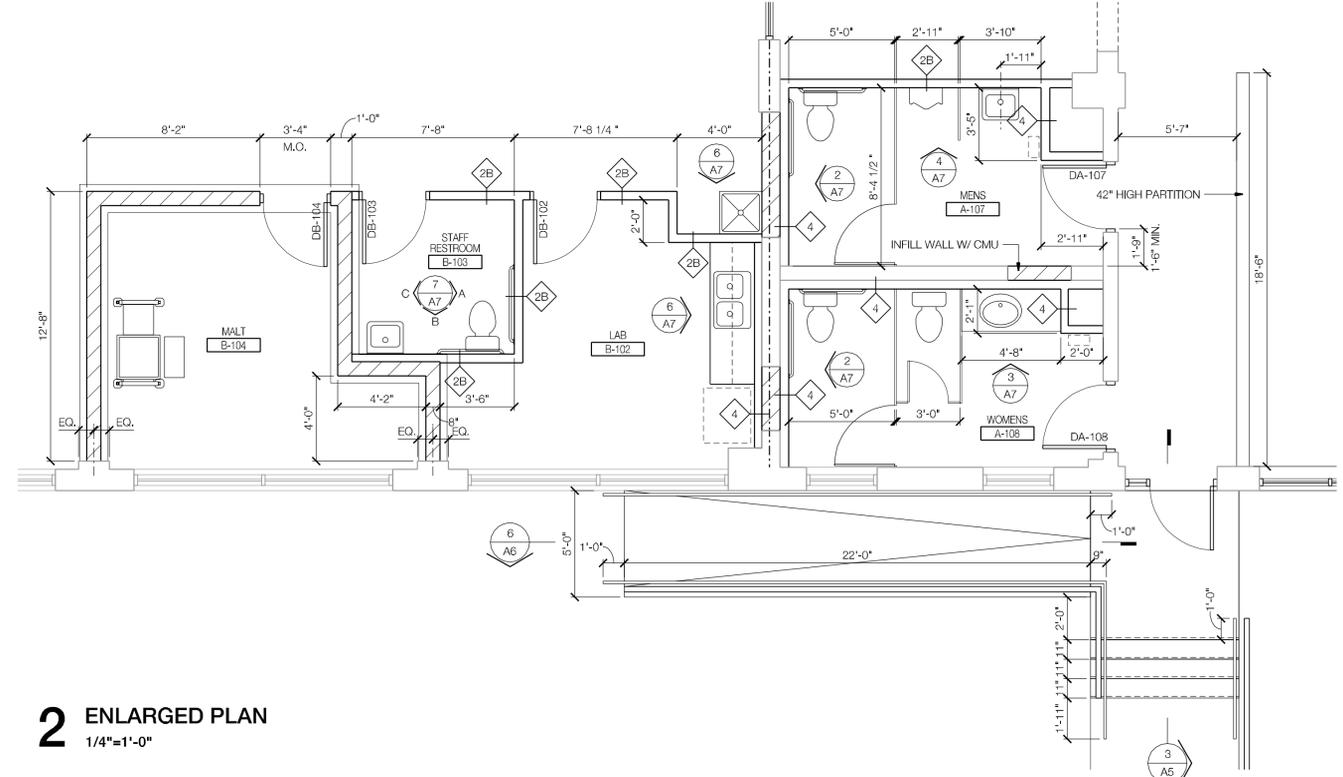
X DETAIL
1/2"=1'-0"



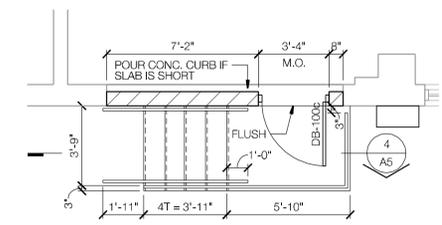
X DETAIL
1/2"=1'-0"



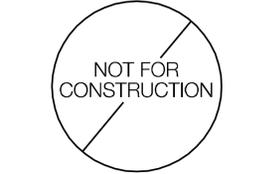
1 ENLARGED PLAN
1/4"=1'-0"



2 ENLARGED PLAN
1/4"=1'-0"



3 ENLARGED PLAN
1/4"=1'-0"



PRICING SET 03.04.2014
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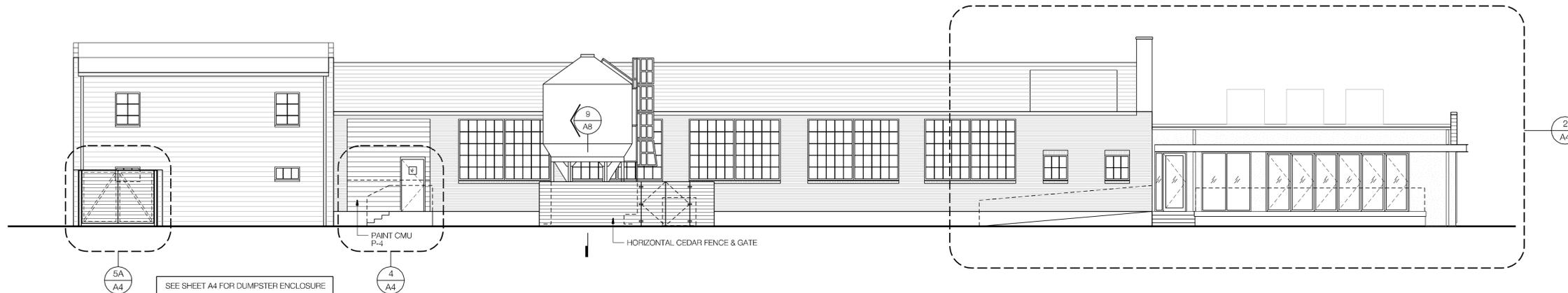
ENLARGED FLOOR PLANS

PROJECT # 2013-50
DATE 12.16.2013
SCALE 1/4"=1'-0"

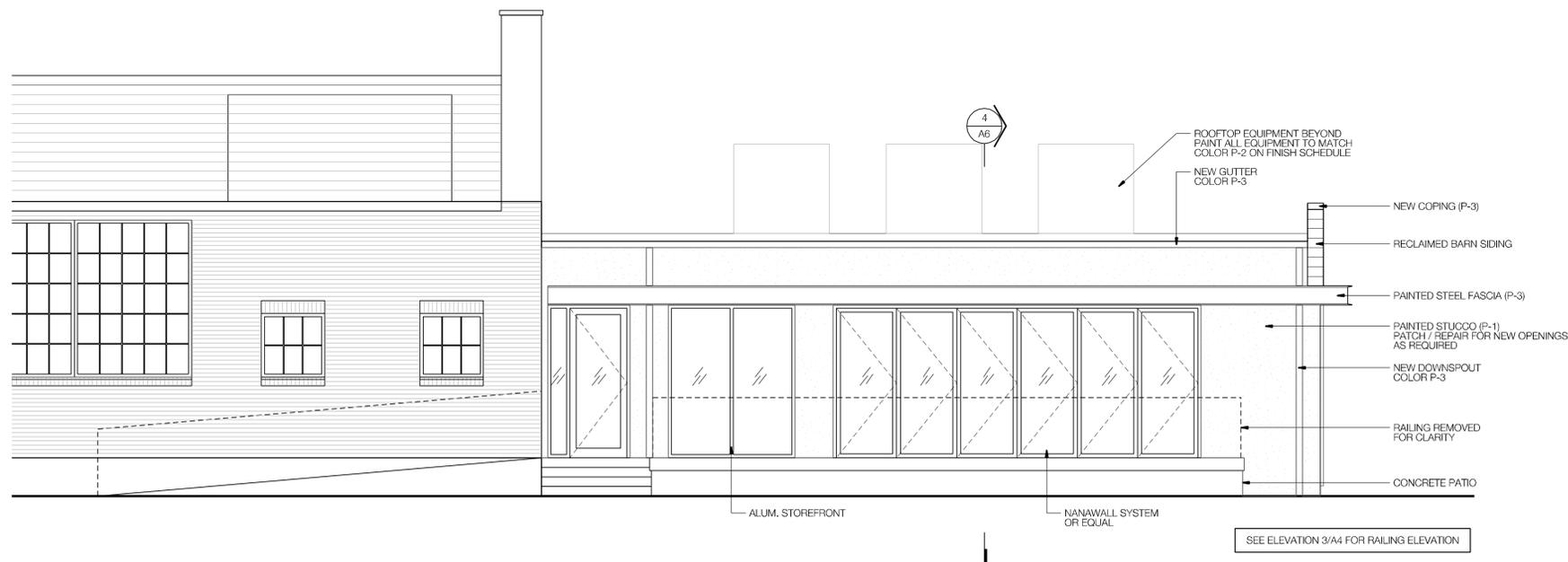


424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

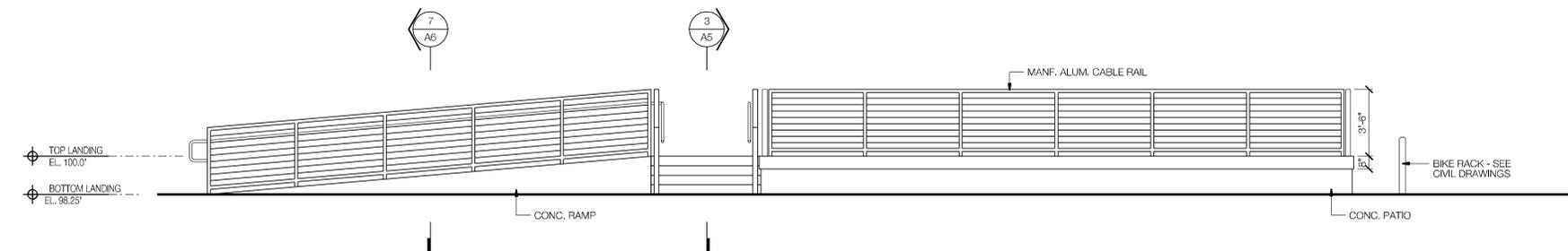
PROPERTY OWNER:
HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221



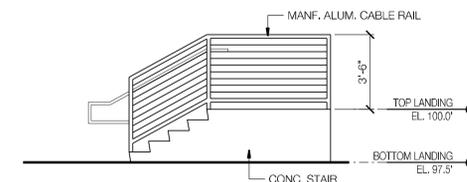
1 OVERALL WEST ELEVATION
1/8"=1'-0"



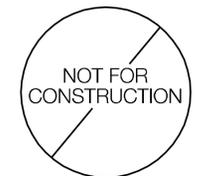
2 PARTIAL WEST ELEVATION
1/4"=1'-0"



3 PARTIAL WEST ELEVATION - RAILINGS
1/4"=1'-0"



4 PARTIAL WEST ELEVATION
1/4"=1'-0"



PRICING SET 03.04.2014

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BUILDING ELEVATIONS

PROJECT # 2013-50

DATE 12.16.2013

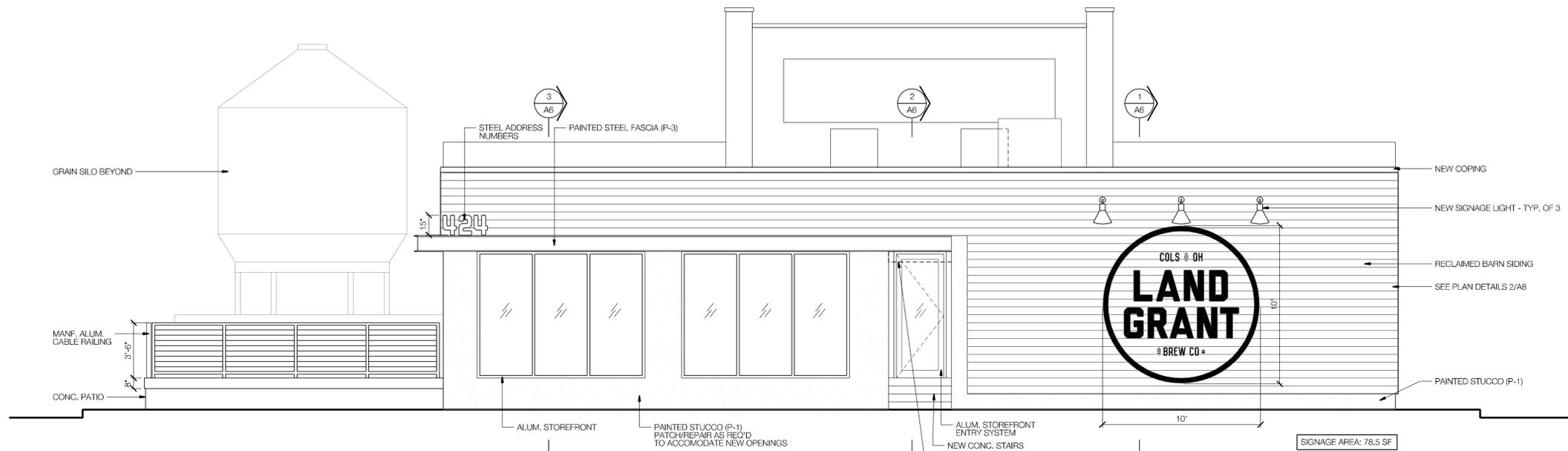
SCALE AS NOTED

A4



424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

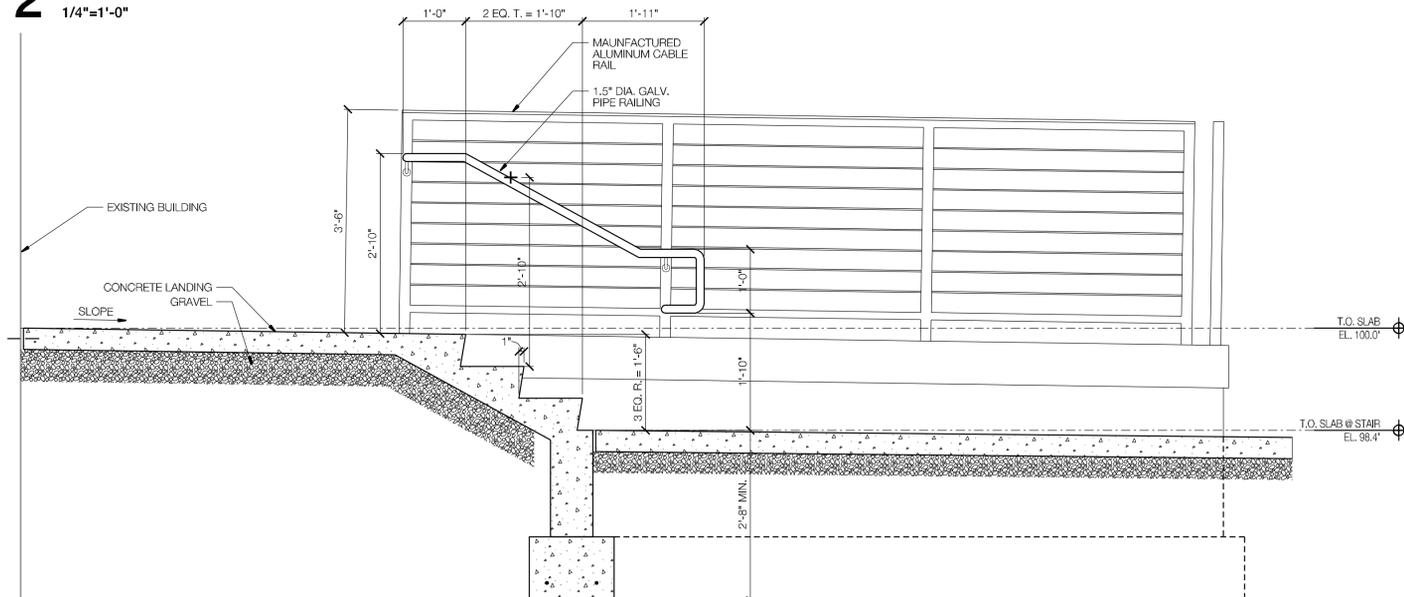
PROPERTY OWNER:
HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221



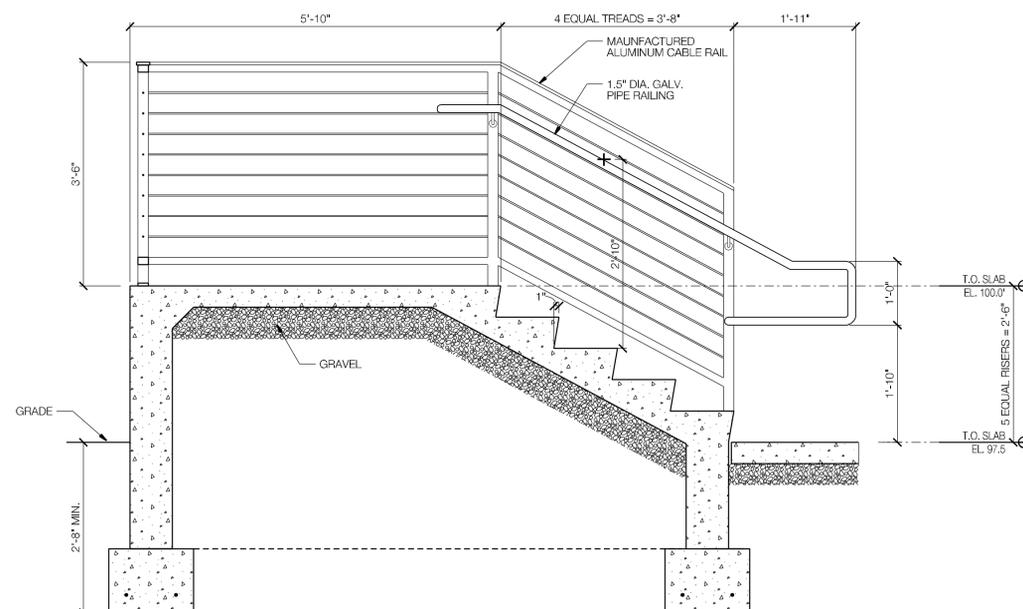
1 SOUTH ELEVATION
1/4"=1'-0"



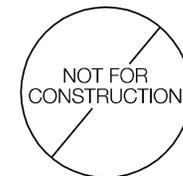
2 PARTIAL EAST ELEVATION
1/4"=1'-0"



3 SECTION
3/4"=1'-0"



4 SECTION
3/4"=1'-0"



PRICING SET 03.04.2014

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BUILDING ELEVATIONS

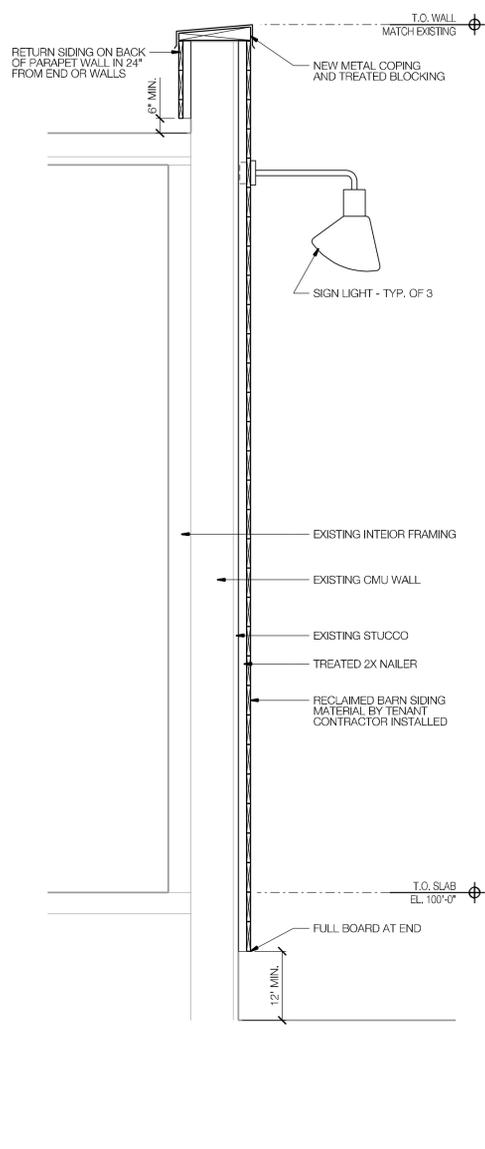
PROJECT # 2013-50
DATE 12.16.2013
SCALE 1/4"=1'-0"



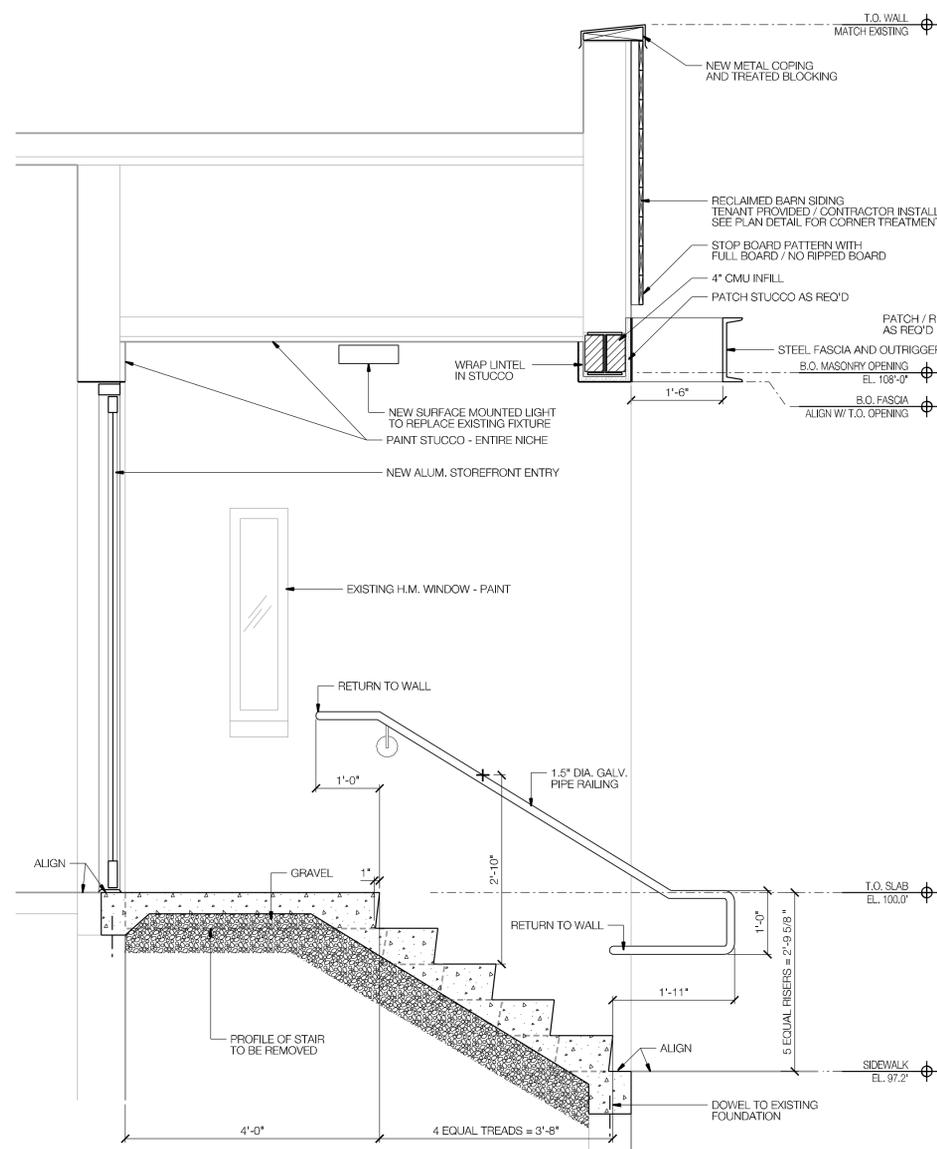
424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

PROPERTY OWNER:

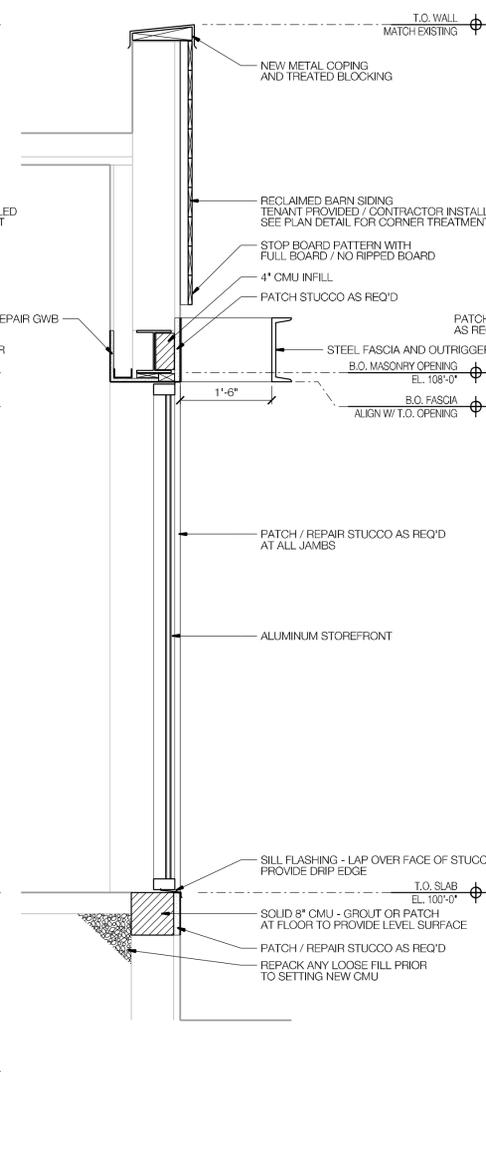
HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221



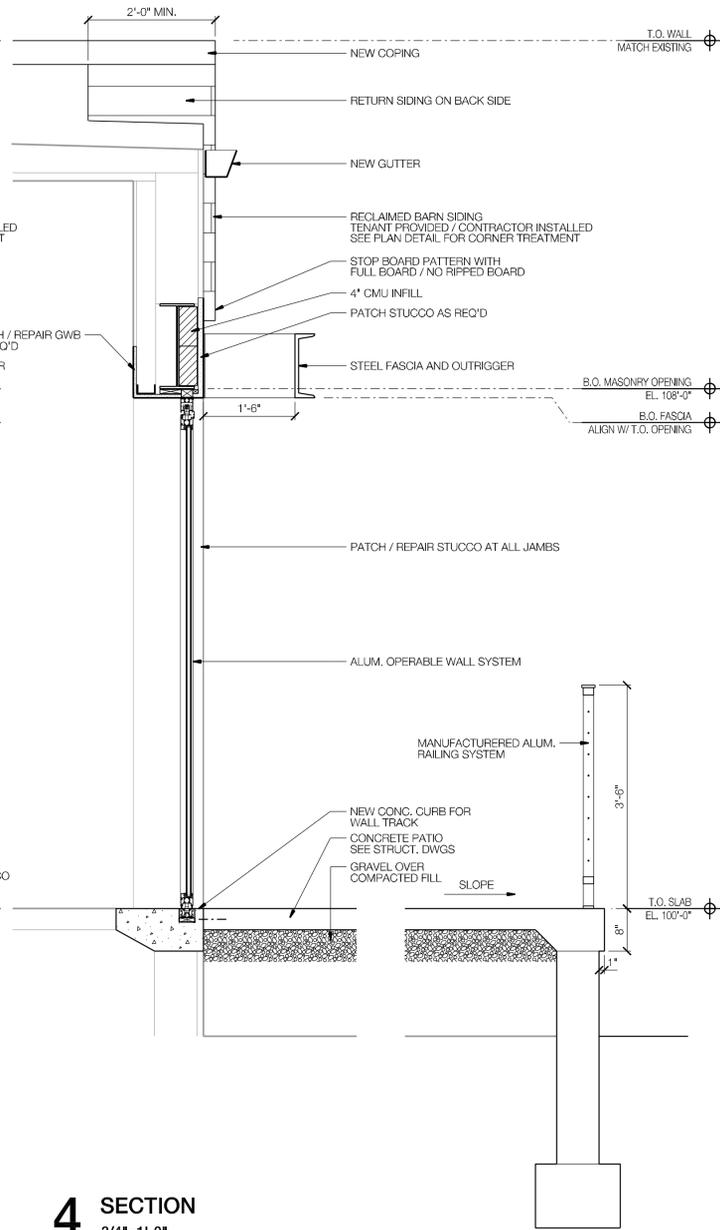
1 SECTION
3/4"=1'-0"



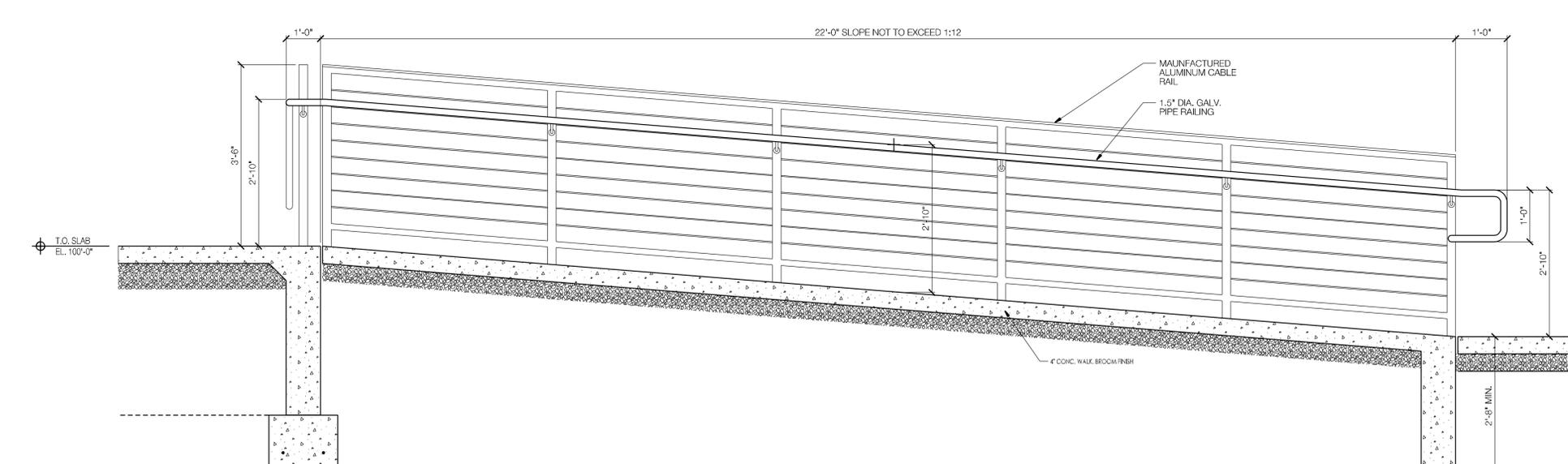
2 SECTION
3/4"=1'-0"



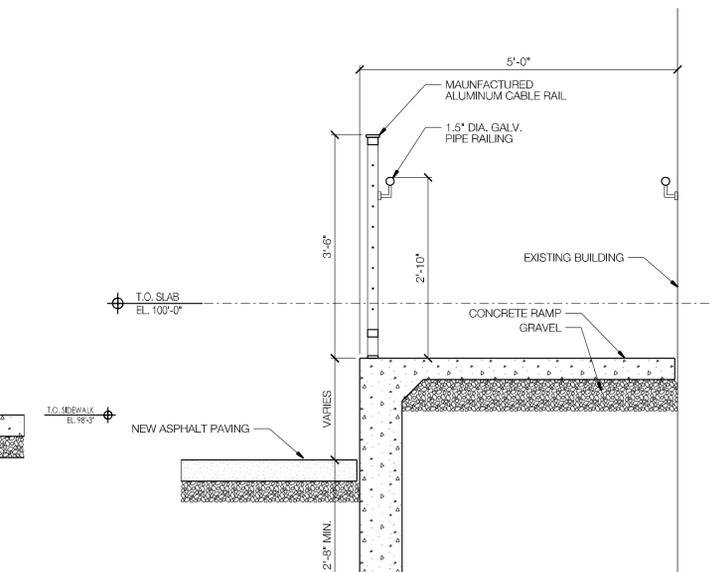
3 SECTION
3/4"=1'-0"



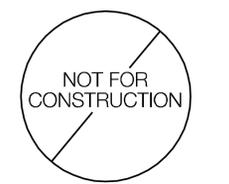
4 SECTION
3/4"=1'-0"



6 SECTION
3/4"=1'-0"



7 SECTION
3/4"=1'-0"



PRICING SET 03.04.2014

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SECTIONS

PROJECT # 2013-50

DATE 12.16.2013

SCALE AS NOTED



424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

PROPERTY OWNER:

HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
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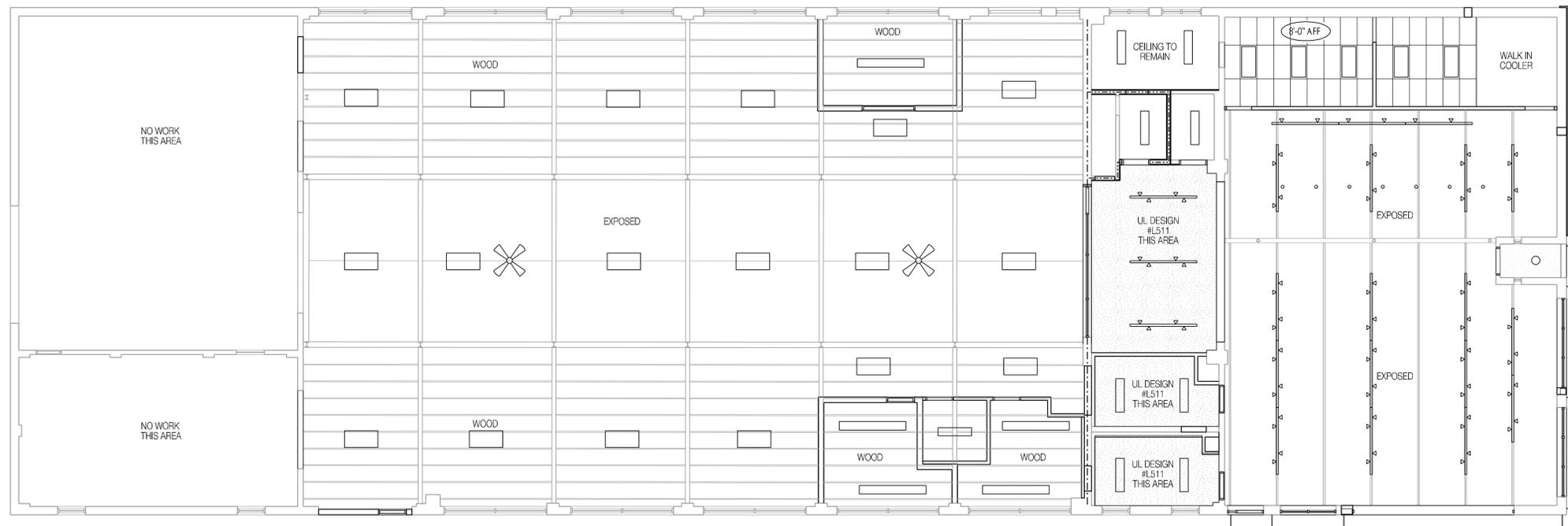
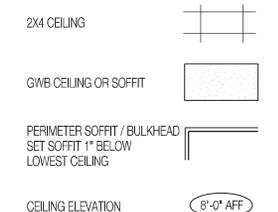
RCP DEMO NOTES

- GENERAL NOTES
- COORDINATE ALL DEMOLITION W/ ARCHITECT PRIOR TO COMMENCING WORK.
 - REMOVE ALL MATERIALS DASHED ON DEMO DRAWINGS.
 - PATCH OR REPAIR ALL ADJACENT SURFACES TO REMAIN THAT ARE DISTURBED BY DEMOLITION WORK.
 - SALVAGE ALL CEILING FIXTURES AND DEVICES THAT ARE IN GOOD WORKING ORDER AND CONDITION FOR RE-USE.

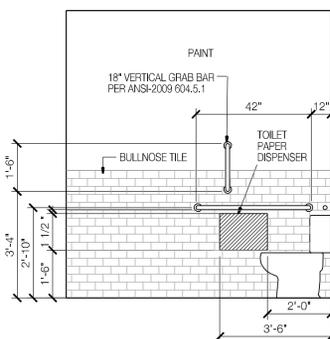
CEILING NOTES

- ALL CEILINGS ARE ATTACHED TO B.O. STRUCTURE U.N.O.
- ALIGN ALL RELATE HEADERS WITH T.O. DOOR FRAME 7'-0" AFF TO B.O. OPENING.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL CEILING DEVICES AND LIGHTS.
- CENTER CEILING GRID IN ROOM USING CONFIGURATION SHOWN.
- BALANCE SOFFIT LOCATIONS TO ACCOMMODATE CEILING PATTERNS SHOWN.

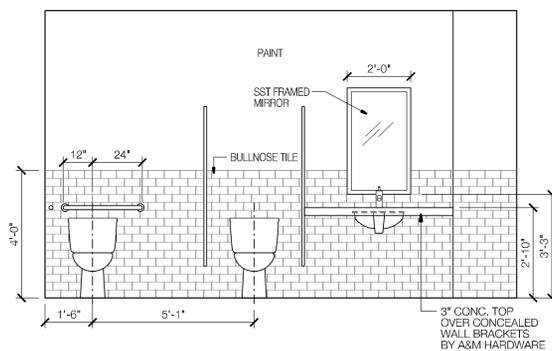
LEGEND



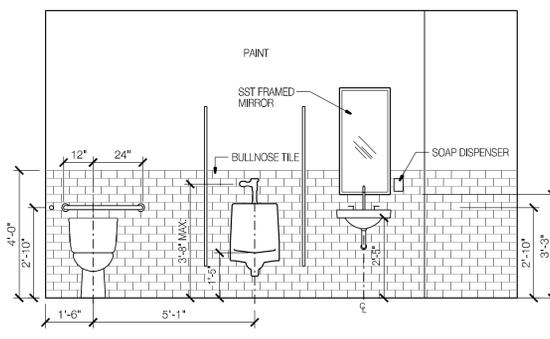
1 GROUND FLOOR REFLECTED CEILING PLAN
1/8"=1'-0"



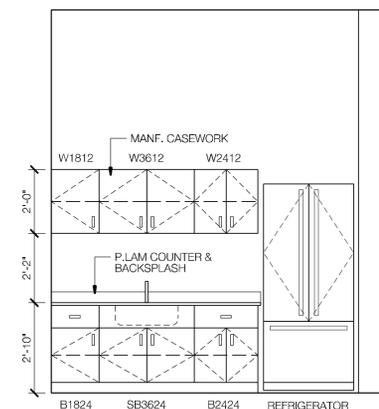
2 INTERIOR ELEVATION
3/8"=1'-0"



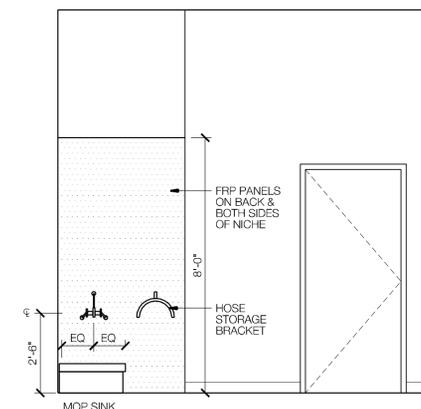
3 INTERIOR ELEVATION
3/8"=1'-0"



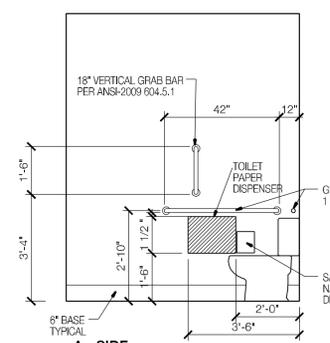
4 INTERIOR ELEVATION
3/8"=1'-0"



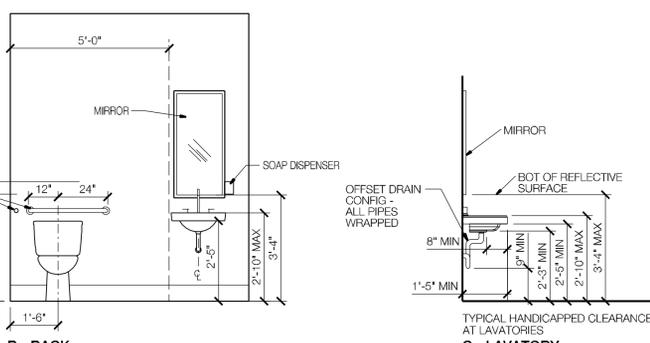
5 INTERIOR ELEVATION
3/8"=1'-0"



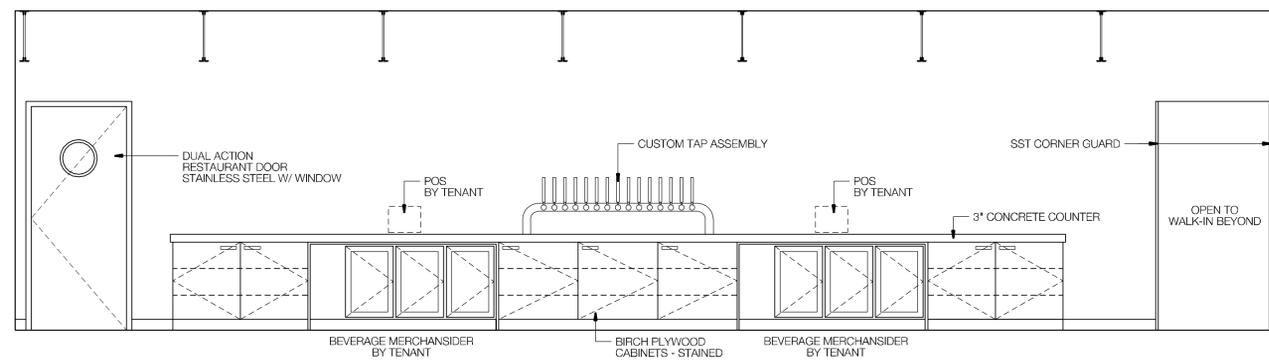
6 INTERIOR ELEVATION
3/8"=1'-0"



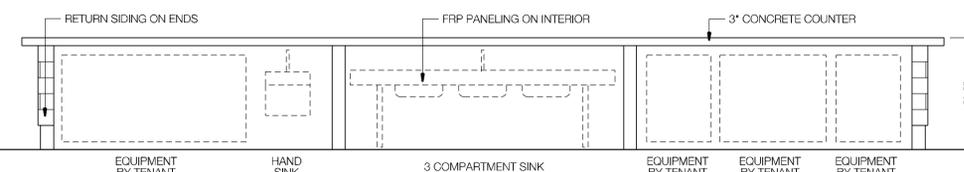
7 INTERIOR ELEVATION
3/8"=1'-0"



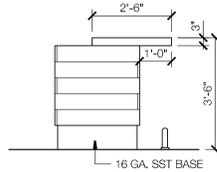
A - SIDE
B - BACK
C - LAVATORY



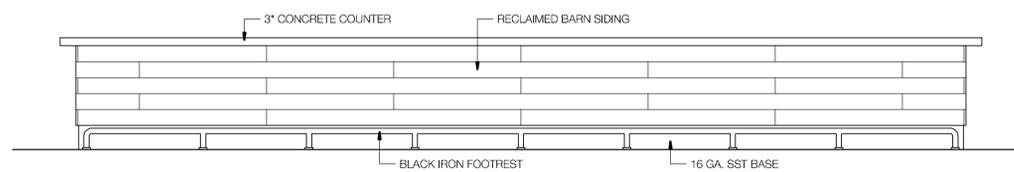
8 INTERIOR ELEVATION
3/8"=1'-0"



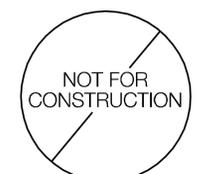
9 INTERIOR ELEVATION
3/8"=1'-0"



10 INTERIOR ELEVATION
3/8"=1'-0"



11 INTERIOR ELEVATION
3/8"=1'-0"



PRICING SET 03.04.2014

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REFLECTED CEILING PLAN / ELEVATIONS

PROJECT # 2013-50

DATE 12.16.2013

SCALE 1/8"=1'-0"

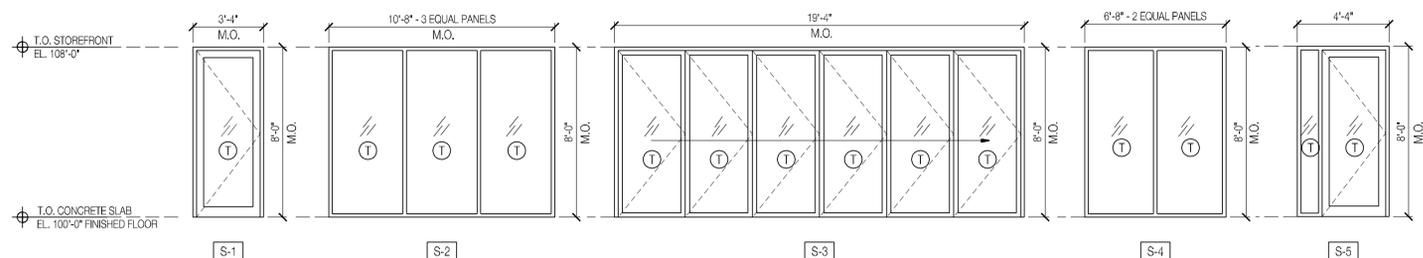
A7



424 WEST TOWN STREET
COLUMBUS OHIO 43215
PARCEL ID: 010-049744

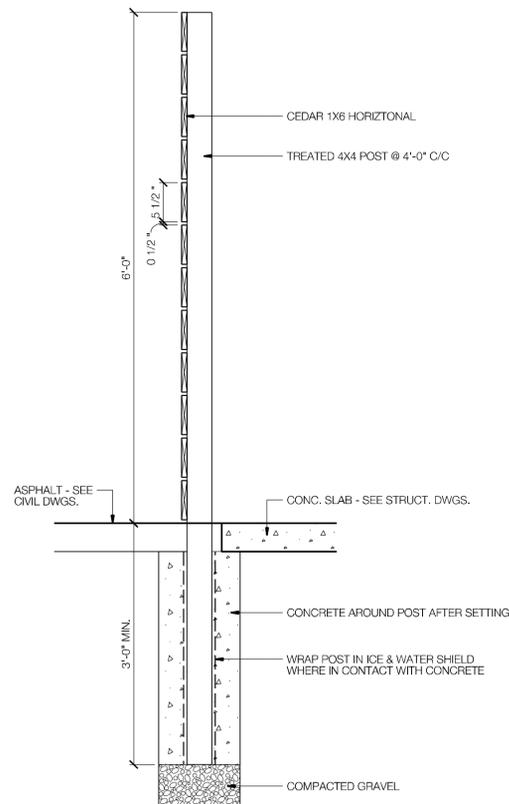
PROPERTY OWNER:

HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221



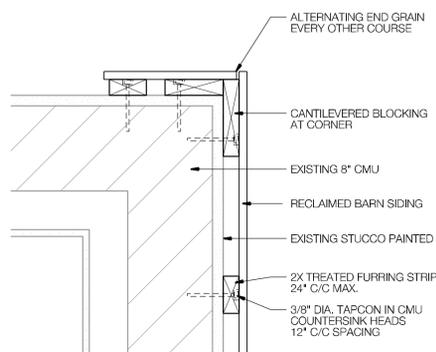
(T) = TEMPERED OR SAFETY GLAZING
GLASS TYPE - 1" CLEAR INSULATED GLASS UNIT

DIMENSIONS SHOWN ARE FOR BIDDING AND PRICING PURPOSES ONLY. ALL ALUMINUM FRAME ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO ORDERING UNITS AND GLASS.
SEE WALL SECTIONS ON SHEET A4 AND JAMB DETAIL 11/A8.

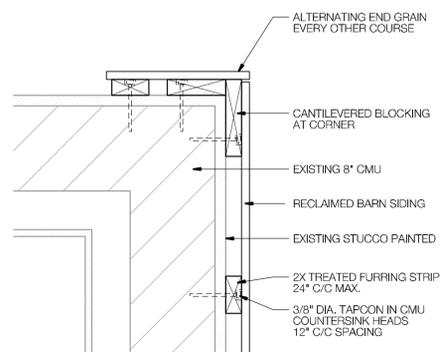


1 ALUMINUM FRAME TYPES

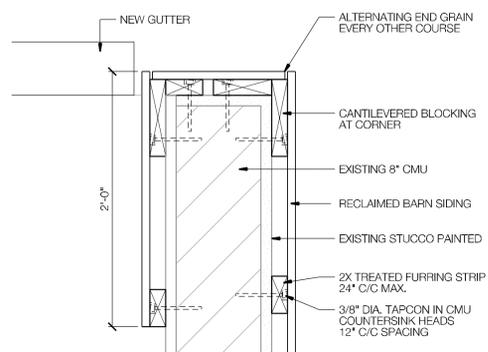
1/4"=1'-0"



A - CORNER ALTERNATING '1'



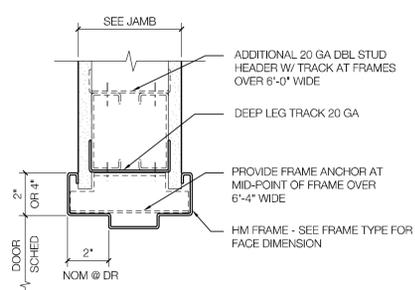
B - CORNER ALTERNATING '2'



C - CORNER ABOVE PARAPET

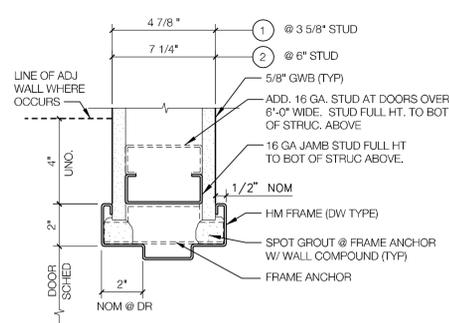
2 DETAIL

1 1/2"=1'-0"



3 DETAIL

3"=1'-0"

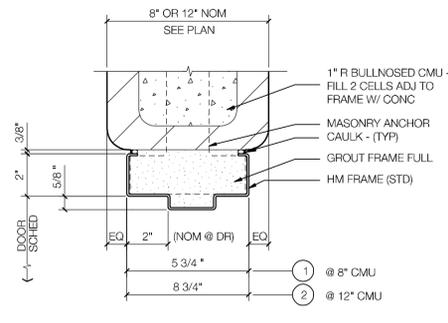


4 DETAIL

3"=1'-0"

5 DETAIL

3"=1'-0"

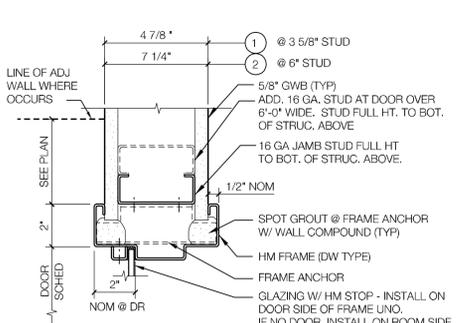


6 DETAIL

3"=1'-0"

7 DETAIL

3"=1'-0"

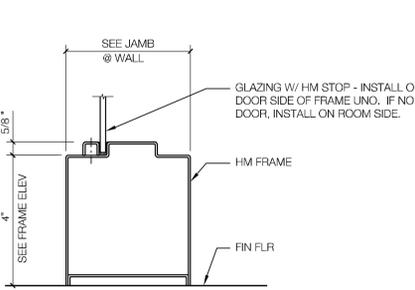


8 DETAIL

3"=1'-0"

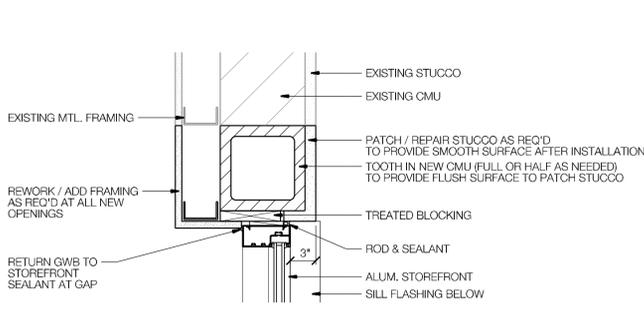
9 DETAIL

1"=1'-0"



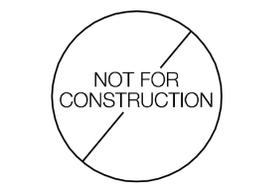
10 DETAIL

3"=1'-0"



11 DETAIL

3"=1'-0"



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DETAILS

PROJECT # 2013-50
DATE 12.16.2013
SCALE AS NOTED

A8

FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CASEWORK		CLG.	REMARKS	REV
								CAB.	TOP			
A-100	DINING	CONCRETE	RB-1	P-5	P-5	P-5	P-5	-	-	EXPOSED	-	-
A-101	BAR	CONCRETE	RB-1	P-5	P-5	P-5	P-5	WOOD	CONC	EXPOSED	-	-
A-102	DISHWASHING	CONCRETE	RB-1	FRP	FRP	FRP	FRP	-	-	ACT	-	-
A-103	KITCHEN	CONCRETE	RB-1	FRP	FRP	FRP	FRP	-	-	ACT	-	-
A-104	PANTRY	CONCRETE	RB-1	P-5	P-5	P-5	P-5	-	-	EXISTING	-	-
A-105	OFFICE FOYER	CONCRETE	RB-1	P-5	P-5	P-5	P-5	-	-	EXISTING	-	-
A-106	TASTING	CONCRETE	RB-1	P-5	P-5	P-5	P-5	-	-	GWB	-	-
A-107	MENS	CONCRETE	-	P-6/TILE	P-6/TILE	P-6	P-6/TILE	-	-	GWB	48" HIGH WAINSCOT	-
A-108	WOMENS	CONCRETE	-	P-6/TILE	P-6/TILE	P-6/TILE	P-6/TILE	-	CONC	GWB	48" HIGH WAINSCOT	-
A-109	MECHANICAL	CONCRETE	RB-1	P-5	P-5	P-5	P-5	-	-	GWB	-	-
B-100	BREWHOUSE	TOPPING	RB-1	P-7	P-7	P-7	P-7	-	-	WOOD	-	-
B-101	BOILER / ELECTRICAL	TOPPING	RB-1	-	P-7	-	-	-	-	WOOD	-	-
B-102	LAB	TOPPING	RB-1	P-5	P-5	P-5	P-7	MEL	PL-1	WOOD	-	-
B-103	STAFF RESTROOM	TOPPING	RB-2	P-5	P-5	P-5	P-5	-	-	WOOD	-	-
B-104	MALT	TOPPING	RB-1	-	-	-	P-7	-	-	WOOD	-	-
B-105	COLD ROOM	CONCRETE	RB-1	-	-	-	-	-	-	EXPOSED	-	-
B-106	LOADING	-	RB-1	-	-	-	-	-	-	EXPOSED	-	-
B-107	WORK AREA	CONCRETE	RB-1	-	-	-	-	-	-	EXPOSED	-	-
B-200	OPEN OFFICE	CPT	RB-1	-	-	-	-	-	-	-	-	-
B-201	HALL	CPT	RB-1	-	-	-	-	-	-	-	-	-
B-202	RESTROOM	CPT	RB-1	-	-	-	-	-	-	-	-	-
B-203	CLOSET	CPT	RB-1	-	-	-	-	-	-	-	-	-

TYPE	ABBR.	MATERIAL	MANUFACTURER	PATTERN / STYLE / COLOR	DESCRIPTION
FLOORING	CONCRETE	CONCRETE	-	EXPOSED / SEALED CONCRETE	CLEAN / GRIND ALL EXISTING SLABS
	TOPPING	TOPPING	MAPEI	ULTRATOP / MIN. 1/2 THICK	-
	VCT	VINYL TILE	MANNINGTON	TBD	-
	CPT	CARPET	-	\$25 / YARD ALLOWANCE	FOR MATERIAL AND INSTALLATION
BASE	RB-1	4" COVE BASE	JOHNSONITE	TBD	-
	RB-2	6" COVE BASE	JOHNSONITE	TBD	-
	SST	8" STAINLESS STEEL	-	16 GA. SST SHEET METAL	-
EXTERIOR PAINT	P-1	PAINT	SHERWIN WILLIAMS	PEPPERCORN SW7674	FLAT
	P-2	PAINT	SHERWIN WILLIAMS	PEPPERCORN SW7674	SEMI-GLOSS
	P-3	PAINT	SHERWIN WILLIAMS	CAVIAR SW6990	FLAT
	P-4	PAINT	SHERWIN WILLIAMS	TBD / MATCH BRICK	SEMI-GLOSS
WALLS	P-5	PAINT	SHERWIN WILLIAMS	TBD	LATEX - EGGSHELL
	P-6	PAINT	SHERWIN WILLIAMS	TBD	LATEX - EGGSHELL
	P-7	PAINT	SHERWIN WILLIAMS	TBD	LATEX - EGGSHELL
	TILE	SUBWAY TILE	DALTILE	RITTENHOUSE SQUARE / K101 WHITE	GROUT COLOR BY ARCHITECT : 1/8" JOINTS
	FRP	FIBERGLAS PANELS	-	WHITE	FLOOR TO CEILING W/ BATENS
HOLLOW METAL	HM-1	PAINT	SHERWIN WILLIAMS	CAVIAR SW6990	SEMI-GLOSS / EXTERIOR DOORS
	HM-2	PAINT	SHERWIN WILLIAMS	TBD	SEMI-GLOSS / INTERIOR DOORS
CABINETS	WOOD	WOOD	-	BIRCH PLYWOOD - STAIN TBD	-
	MEL	MELAMINE	-	WHITE	-
COUNTERS	CONC	CONCRETE	-	3" THICK TOP	COUNTERS
	PL-1	PLASTIC LAMINATE	FORMICA	TBD	COUNTERS
CEILINGS	ACT	2x4 ACOUSTIC TILE	ARMSTRONG	VINYL FACED TILE / SQUARE LAY-IN	15/16" GRID - WHITE
	GWB	GYPSPUM BOARD	SHERWIN WILLIAMS	CEILING WHITE	FLAT
	WOOD	DRYFALL	SHERWIN WILLIAMS	TBD	FLAT
	EXPOSED	EXPOSED STEEL	-	NO WORK / EXISTING	-

GENERAL NOTES:

- SEE INTERIOR ELEVATIONS FOR WALL PATTERNS AND MATERIAL EXTENTS.
- SEE FLOOR PLAN FOR FLOOR PATTERNS AND MATERIAL EXTENTS.
- ADVISE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND FINISH SCHEDULE.
- SEE ELEVATIONS FOR ALL SOFFITS.
- ALL PAINTED WALL FINISHES TO BE EGGSHELL U.N.O.

SPECIFICATIONS

GENERAL CONDITIONS

AIA DOCUMENT A201 - GENERAL CONDITIONS (2007 EDITION) IS INCLUDED IN THE CONTRACT DOCUMENTS BY WAY OF THIS REFERENCE

REGULATORY AUTHORITY

THE CONTRACTOR SHALL PERFORM THE WORK TO THE OWNER'S REQUIREMENTS, INCLUDING ALL CODES AND REGULATORY REQUIREMENTS OF THE CITY OF COLUMBUS. ALL WORK, MATERIALS AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH ORDINANCE, STATE AND LOCAL CODES.

PERMITS / INSPECTIONS

THE OWNER HAS APPLIED FOR AND PAID FOR A BUILDING PERMIT APPLICATION TO THE CITY OF COLUMBUS. IT IS THE CONTRACTORS COMPLETING THE WORK'S RESPONSIBILITY TO INCLUDE ALL PERMITS AND INSPECTIONS (INCLUDING SPECIAL INSPECTIONS) REQUIRED TO COMPLETE THE PROJECT ABOVE AND BEYOND THIS INITIAL APPLICATION.

CONTRACT DOCUMENTS

DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE ENTIRE COMPLETION OF THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND REASONABLY IMPLIED THERE FROM TO PRODUCE THE INTENDED RESULTS.

IN THE EVENT OF INCONSISTENCIES IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE THE QUALITY OR GREATER QUANTITY OF WORK AND SHALL COMPLY WITH THE MORE STRICT MEANINGS.

IF THE CONTRACTOR FINDS ANY PERCEIVED CONFLICT, ERROR, OMISSION OR DISCREPANCY IN THE CONTRACT DOCUMENTS, THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK SHALL CONTACT THE ARCHITECT FOR CLARIFICATION OR INTERPRETATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CORRECTIONS REQUIRED IF WORK PROCEEDS WITHOUT THE ARCHITECT'S RESPONSE.

ALLOWANCES

CERTAIN ITEMS IN THE CONTRACT DOCUMENTS ARE SPECIFIED AS ALLOWANCES. ALLOWANCES HAVE BEEN ESTABLISHED IN LIEU OF ADDITIONAL REQUIREMENTS AND TO DEFER SELECTION OF THE ACTUAL MATERIALS AND EQUIPMENT TO A LATER DATE WHEN DIRECTION WILL BE PROVIDED TO THE CONTRACTOR.

SUBMITTALS:

- SUBMIT PROPOSALS FOR PURCHASE FOR PRODUCTS OR SYSTEMS USED IN ALLOWANCES
- SUBMIT INVOICES TO SHOW ACTUAL QUANTITIES OF MATERIAL DELIVERED TO THE SITE FOR USE IN FULFILLMENT OF THE ALLOWANCE
- COORDINATE AND PROCESS SUBMITTALS FOR ALLOWANCE IN THE SAME MANNER AS OTHER PORTIONS OF THE WORK

THE CONTRACTORS COST FOR TAXES, FREIGHT, DELIVERY TO THE PROJECT SITE, RECEIVING AND HANDLING, LABOR, INSTALLATION, OVER-HEAD AND PROFIT, AND SIMILAR COSTS RELATED TO PRODUCTS AND MATERIAL ORDER UNDER ALLOWANCES SHALL BE INCLUDED AS PART OF THE CONTRACT BASE BID AND NOT PART OF THE ALLOWANCE.

SUBSTITUTIONS

SUBSTITUTIONS, FOR CAUSE OR CONVENIENCE, SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING WITH A STATEMENT INDICATING WHY THE PROPOSED PRODUCT IS PREFERRED OR OFFERS COST SAVINGS TO THE OWNER.

PRODUCT DATA AND MATERIAL SAMPLES, WHEN APPLICABLE, SHOULD ALSO BE INCLUDED IN THE CONTRACTOR'S SUBMITTAL.

CONTRACT MODIFICATION

WHEN CHANGES ARE REQUIRED TO THE WORK THE ARCHITECT WILL ISSUE A BULLETIN PROPOSING CHANGES TO THE WORK. THE CONTRACTOR SHALL PREPARE PROPOSALS FOR THE WORK FOR THE OWNER'S REVIEW AND APPROVAL. NO WORK SHOULD PROCEED UNTIL THE COST HAS BEEN NEGOTIATED AND APPROVED.

UPON OWNER APPROVAL A CHANGE ORDER SHALL BE PREPARED USING AIA DOCUMENT G701. SIGNATURE BY BOTH THE ARCHITECT AND THE OWNER ARE REQUIRED.

PAYMENT

CONTRACTOR SHALL SUBMITTAL AIA DOCUMENT G702 APPLICATION AND CERTIFICATION OF PAYMENT. PAYMENT INTERVALS SHALL BE AT LEAST ONE MONTH APART. ALL PAYMENT REQUESTS SHALL BE LESS RETAINAGE (10%). LIEN WAIVERS FOR WORK PREVIOUSLY COMPLETED SHALL ACCOMPANY ALL APPLICATIONS FOR PAYMENT. CONTRACTOR SHALL PROVIDE PROOF OF INSURANCE FOR ANY ITEMS WHICH PAYMENT IS REQUESTED BUT ARE STORED OFF SITE.

SUBMITTALS

PROVIDE SUBMITTALS FOR EACH PRODUCT SPECIFIED IN THE CONTRACT DOCUMENTS. PROVIDE SUBMITTALS IN PDF FORMAT OR HARDCOPY. (2) COPIES OF ALL HARD COPIES SHOULD BE PROVIDED MIN.

SUBMITTALS SHALL INCLUDE -

- SHOP DRAWINGS
- PRODUCT DATA
- SAMPLES
- WARRANTIES

CLOSEOUT PROCEDURES

PREREQUISITES FOR SUBSTANTIAL COMPLETION
- PAY REQUEST FOR 100% OF THE CONTRACT AMOUNT
- FINAL CLEANING
- RECORD DRAWINGS, OPERATION AND MAINTENANCE MANUALS
- CHANGE OVER LOCKS (IF APPLICABLE)
- SUBMIT ALL WARRANTIES IN WRITING

PREREQUISITES FOR FINAL ACCEPTANCE

- LIEN WAIVER RELEASE
- FINAL PAY REQUEST
- INSPECTION REPORT
- INSURANCE (ADVISE OWNER OF CHANGE OVER DATES)
- CERTIFICATE OF OCCUPANCY
- SUBMIT FINAL PHOTOGRAPHS AND RECORD DRAWINGS

INSPECTION REPORT

AFTER RECEIPT OF WRITTEN NOTICE THAT THE WORK IS COMPLETE THE ARCHITECT WILL VERIFY ITS CONDITION AND ISSUE A CERTIFICATE OF SUBSTANTIAL COMPLETION WITH AN INSPECTION LIST OF ALL UNCOMPLETED OR UNACCEPTABLE ITEMS STILL PENDING COMPLETION PRIOR TO FINAL COMPLETION IS GRANTED.

TENANT IMPROVEMENT

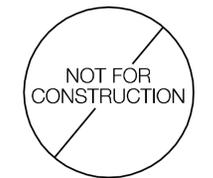


424 WEST TOWN STREET
COLUMBUS OHIO 43215

PARCEL ID: 010-049744

PROPERTY OWNER:

HARPER ENTERPRISES INC.
2176 OAKMOUNT ROAD
COLUMBUS OHIO 43221



PRICING SET 03.04.2014

moderarchitects
174 THURMAN AVENUE COLUMBUS OHIO 43206
WWW.MODEARC.COM 614.836.5124

SPECIFICATIONS

PROJECT # 2013-50

DATE 12.16.2013

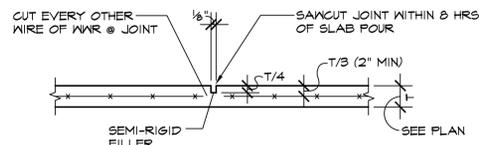
SCALE AS NOTED

A9

FOUNDATION PLAN NOTES

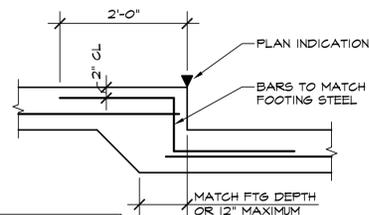
1. VERIFY LOCATIONS OF COLUMNS, WALLS, OPENINGS, ETC. WITH ARCHITECTURAL DRAWINGS BEFORE PLACING FOUNDATIONS.
2. 4" SLAB ON GRADE WITH 6x6-W1.4xW1.4 WWR. TYPICAL EXCEPT AS NOTED.
3. TOP OF SLAB ELEVATION 100'-0" EXCEPT AS NOTED. REFERENCE ELEVATION 100'-0" EQUALS TOP OF EXISTING SLAB ON GRADE.
4. DESIGN SOIL BEARING PRESSURE 1500 PSF. ANY SOFT SPOTS OR VARIATIONS IN SUBSURFACE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER. THE DESIGN BEARING CAPACITY SHALL BE FIELD VERIFIED BY AN INDEPENDENT TESTING AGENCY SPECIALIZING IN SOILS INVESTIGATIONS.
5. INFORMATION FOR THE EXISTING BUILDING HAS BEEN TAKEN FROM DRAWINGS AND HAS NOT BEEN VERIFIED IN THE FIELD. CONTRACTOR SHALL VERIFY ALL RELEVANT CONDITIONS AND DIMENSIONS OF EXISTING CONSTRUCTION BEFORE PROCEEDING WITH THE WORK.
6. ELEVATIONS SHOWN ON PLAN ARE TOP OF THE FOOTING OR SLAB.
7. ALL EXTERIOR FOOTINGS TO EXTEND MINIMUM OF 2'-0" BELOW FINISHED GRADE. DO NOT BACKFILL AGAINST THE FOUNDATION WALLS UNTIL BOTH LEVELS OF THE FLOOR SLAB ARE IN PLACE OR PROVIDE TEMPORARY SUPPORT. WHERE FILL IS ON BOTH SIDES OF A WALL, INSTALL THE FILL UNIFORMLY ON BOTH SIDES OF THE WALL.
8. REFERENCE: GENERAL STRUCTURAL NOTES - S3.
9. REFERENCE: GENERAL STRUCTURAL NOTES - S3.
10. SYMBOL LEGEND:

- ◻ - INDICATES TOP OF FOOTING ON PLAN.
- ▼ - INDICATES STEP IN FOOTING ON PLAN. SEE SECTION 2/S1.
- X---X---X--- - INDICATES FLOOR CONTROL JOINT ON PLAN. SEE SECTION 1/S1.



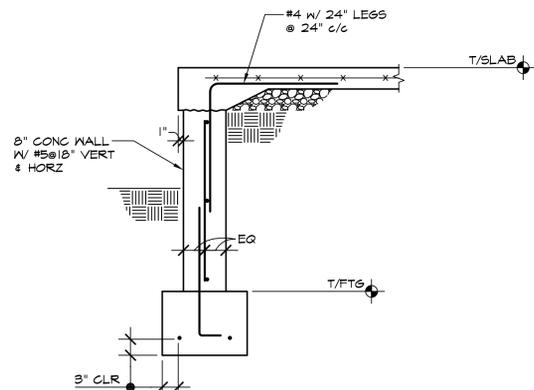
1. PROVIDE TOOLED JOINTS IN FRESH CONCRETE EACH SIDE OF WALLS WHERE SLABS FOUR THRU DOORWAYS.
2. PROVIDE A #4 BAR x 3'-0" AT MID-DEPTH OF THE SLAB PERPENDICULAR TO JOINTS THAT TERMINATE AT A PERPENDICULAR JOINT.

DETAIL
NO SCALE: TYP SLAB CONTROL JOINT (1/S1)

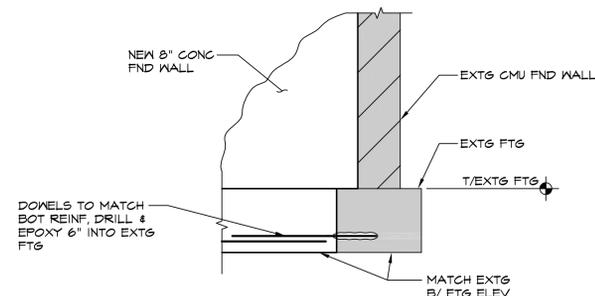


NOTE: FOOTING STEP LOCATIONS MAY BE SCALED WHERE NOT DIMENSIONED ON PLAN.

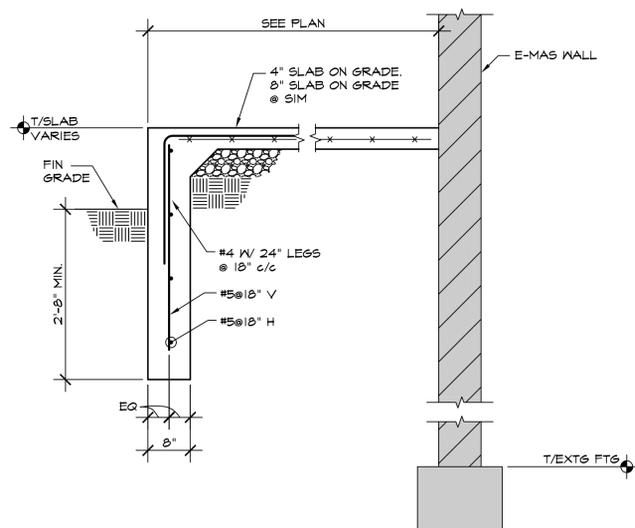
DETAIL
NO SCALE: TYPICAL FOOTING STEP (2/S1)



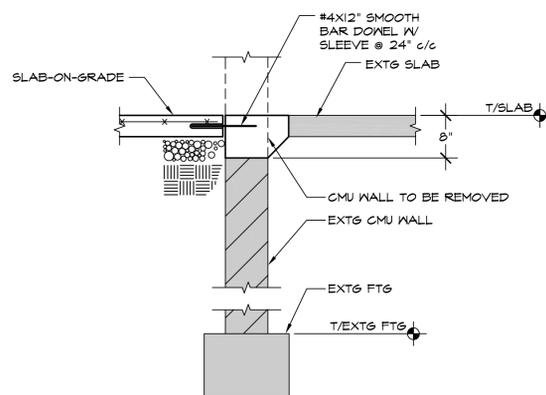
SECTION
3/4" = 1'-0" (3/S1)



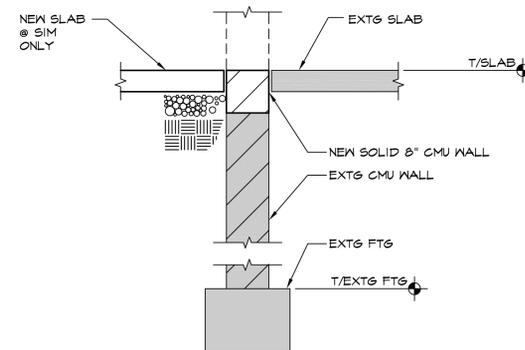
SECTION
3/4" = 1'-0" (4/S1)



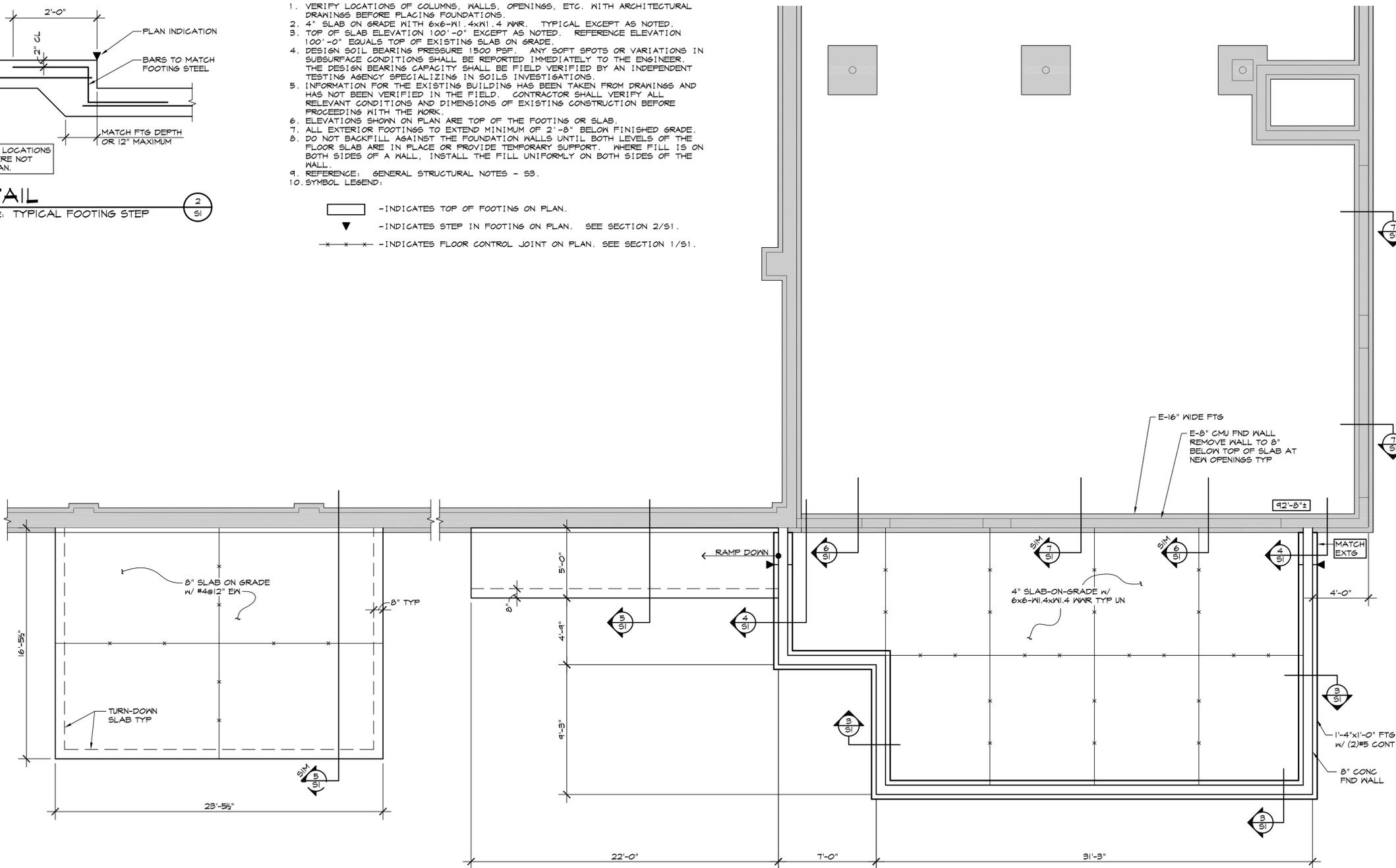
SECTION
3/4" = 1'-0" (5/S1)



SECTION
3/4" = 1'-0" (6/S1)



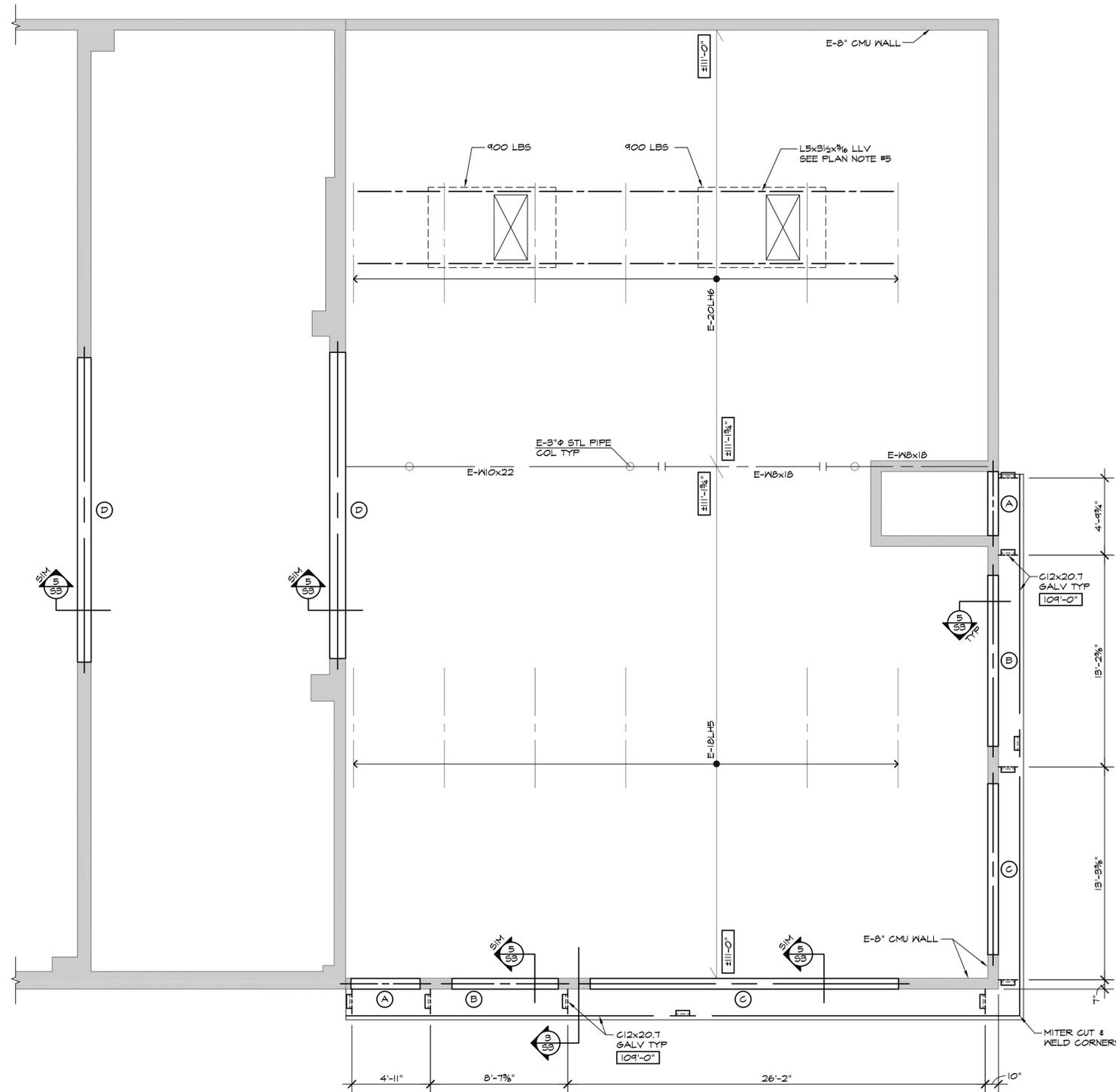
SECTION
3/4" = 1'-0" (7/S1)



PARTIAL FOUNDATION PLAN
1/4" = 1'-0" (8/S1)

PRELIMINARY
NOT FOR CONSTRUCTION

1166 Dublin Road Suite 200 Columbus, Ohio 43215-1038 T. 614.481.9800 www.smbhinc.com	
LAND GRANT BREWING for: MODE	Sheet No. S1
Date: 3/3/14	Scale: as shown
Job No. 113-194	



LINTEL SCHEDULE		
MARK	SIZE	BRG / REMARKS
(A)	M8x10 w/ E $\frac{1}{4}$ x7"	
(B)	M8x15 w/ E $\frac{1}{4}$ x7"	
(C)	M6x40	
(D)	M6x50 w/ E $\frac{3}{8}$ "	E WIDTH EQUALS EXTG WALL THICKNESS MINUS 1"

- (A) ON PLAN INDICATES (2) L's 3 $\frac{1}{2}$ x3 $\frac{1}{2}$ x $\frac{1}{4}$. (A) INDICATES (3) L's 3 $\frac{1}{2}$ x3 $\frac{1}{2}$ x $\frac{1}{4}$. ETC...
- LLY ON ANGLES UNLESS NOTED.
- UNLESS NOTED, WELDS FOR PLATE ON BOTTOM OF BEAM FLANGE 1/8" 3-12.
- BEAR ALL LINTELS ON SOLID OR GROUTED BLOCK. SEE GENERAL NOTES ON S3.
- ALL LINTELS HAVE A MIN OF 8" BEARING, UNLESS NOTED.
- SEE ARCH DRAWINGS FOR VERTICAL LOCATION OF LINTELS.
- SEE GENERAL NOTES ON S1 FOR LINTELS NOT COVERED BY LINTEL SCHEDULE.

PARTIAL 2ND FLOOR & ROOF FRAMING PLAN
 1/4" = 1'-0"

- DESIGN LIVE LOADS: ROOF SNOW LOAD BASED ON 20 PSF GROUND SNOW LOAD.
- ROOF CONSTRUCTION: 1 1/2"x20" GAGE WIDE RIB METAL DECK.
- ALL CONSTRUCTION IS NEW UNLESS NOTED AS EXISTING (E-).
- INFORMATION FOR THE EXISTING BUILDING HAS BEEN TAKEN FROM DRAWINGS AND HAS NOT BEEN VERIFIED IN THE FIELD. CONTRACTOR SHALL VERIFY ALL RELEVANT CONDITIONS AND DIMENSIONS OF EXISTING CONSTRUCTION BEFORE PROCEEDING WITH THE WORK.
- PROVIDE L5x3 $\frac{1}{2}$ x $\frac{1}{8}$ LLY AT UNIT SUPPORT AS SHOWN ON PLAN. CONNECT TO STEEL BEAM EACH END WITH PLATE. SEE DETAIL 1/S3.
- REFERENCES: GENERAL STRUCTURAL NOTES - S3; LINTEL SCHEDULE - S2.
- SYMBOL LEGEND:

- INDICATES TOP OF STEEL AND JOIST BEARING ELEVATION.
- INDICATES FRAMED OPENING - PROVIDE FRAME USING L's 3 $\frac{1}{2}$ x3 $\frac{1}{2}$ x $\frac{1}{4}$ - 4 SIDES. CONTRACTOR COORDINATE OPENING SIZES WITH MECHANICAL AND ARCHITECTURAL REQUIREMENTS. FRAMES ARE REQUIRED AT ROOF DRAINS. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS FOR NUMBERS AND LOCATIONS.
- INDICATES LINTEL MARK. SEE SCHEDULE THIS SHEET.

PRELIMINARY
NOT FOR CONSTRUCTION

SMBH

STRUCTURAL ENGINEERING

1166 Dublin Road Suite 200 Columbus, Ohio 43215-1038
 T 614 481-9800 www.smbhinc.com

LAND GRANT BREWING

for: MODE

Date: 3/3/14

Scale: as shown

Job No. 113-194

Sheet No.

S2

01000 GENERAL STRUCTURAL NOTES

- THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS AND SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
- GOVERNING CODE: OHIO BUILDING CODE - 2011 EDITION.
- SEE STRUCTURAL PLANS FOR DESIGN SOIL BEARING PRESSURE AND LIVE LOADS. LIVE LOADS REDUCED IN ACCORDANCE WITH THE GOVERNING CODE.
- ROOF SNOW LOAD:
 - GROUND SNOW LOAD (Pg) - 20 PSF
 - SNOW EXPOSURE FACTOR (Ce) - 1.0
 - IMPORTANCE FACTOR (Ie) - 1.0
 - THERMAL FACTOR (Ct) - 1.0
 - FLAT ROOF SNOW LOAD (Pf) - 20 PSF
- WIND LOAD:
 - BASIC WIND SPEED - 90 MPH
 - IMPORTANCE FACTOR (Iw) - 1.0
 - EXPOSURE CATEGORY - EXPOSURE C
 - INTERNAL PRESSURE COEFFICIENT - (6 Cp1) - ±0.18
- SEISMIC LOAD:
 - OCCUPANCY CATEGORY - II
 - IMPORTANCE FACTOR (Ie) - 1.0
 - MAPPED SPECTRAL RESPONSE ACCELERATION AT SHORT PERIOD (Ss) - 0.15
 - MAPPED SPECTRAL RESPONSE ACCELERATION AT ONE-SECOND PERIOD (S1) - 0.06
 - SITE CLASS - D
 - SPECTRAL RESPONSE COEFFICIENT AT SHORT PERIOD (SDs) - 0.16
 - SPECTRAL RESPONSE COEFFICIENT AT ONE-SECOND PERIOD (SD1) - 0.04
 - SEISMIC DESIGN CATEGORY - B
 - DESIGN BASE SHEAR - N/A
 - SEISMIC RESPONSE COEFFICIENT (Cs) - 0.045
 - BASIC SEISMIC FORCE RESISTING SYSTEM:
 - AT-ORDINARY REINFORCED MASONRY SHEAR WALLS (R=2, Cd=1.5)
 - DESIGN BY EQUIVALENT LATERAL FORCE PROCEDURE
- MECHANICAL FRAMING LOADS, OPENINGS, AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL OBTAIN APPROVAL OF MECHANICAL AND OTHER TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN MECHANICAL REQUIREMENTS TO BE BORNE BY MECHANICAL CONTRACTOR. COORDINATE SIZE AND LOCATION OF ALL OPENINGS WITH THE MECHANICAL DRAWINGS.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE [DEMOLITION PROCEDURES,] ERECTION PROCEDURES AND SEQUENCES AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER TEMPORARY BRACINGS, GUYS, OR TIE-DOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER COMPLETION OF THE PROJECT.
- IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS RELATING TO EXISTING CONSTRUCTION AND EXISTING SERVICE ON THE SITE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF COLUMNS, WALLS, OPENINGS ETC. WITH THE ARCHITECTURAL DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

0330005 REINFORCED CONCRETE

- SPECIFICATIONS AND STANDARDS:
 - ALL CONCRETE WORK, DETAILING, FABRICATION AND PLACING OF BARS AND CONCRETE SHALL BE GOVERNED BY THE APPLICABLE VERSION OF:
 - A. ACI 117, ACI 301, ACI 315, AND ACI 318.
 - B. CRSI RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS.
 - C. ACI 308 AND ACI 305 FOR WINTER AND HOT WEATHER CONCRETING, RESPECTIVELY.
 - THE CONTRACTOR SHALL AT ALL TIMES HAVE A COPY OF THE RELEVANT SPECIFICATIONS QUOTED ABOVE ON THE SITE AND THE SUPERVISORY PERSONNEL SHALL BE THOROUGHLY FAMILIAR WITH THE CONTENTS THEREOF.
- CONCRETE REQUIREMENTS AND LOCATION IN JOB:

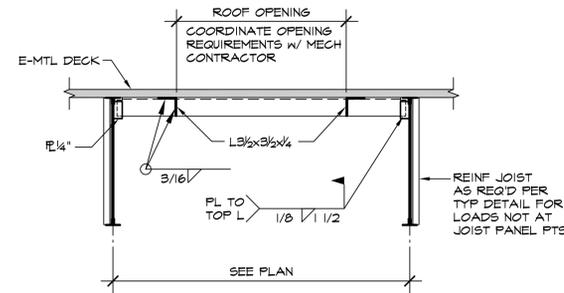
CLASS	LOCATION	F'c	SPECIAL REQUIREMENTS
1	FOOTINGS, WALLS	3000 PSI	
2	EXTERIOR CONCRETE	4000 PSI	5% ±1% AIR CONTENT
3	MASONRY GROUT	3000 PSI	7" SLUMP
4	EARTH FILL	1500 PSI	3/8" MAX. Agg. NO TESTS

 - SUBMIT CONCRETE MIXES FOR APPROVAL IN ACCORDANCE WITH ACI 301 BEFORE PLACING ANY CONCRETE.
- REINFORCING REQUIREMENTS:
 - A. BARS: ASTM A615 - GRADE 60.
 - B. WELDED WIRE REINFORCING: ASTM A105.
- FOOTINGS:
 - A. DOWELS IN FOOTINGS TO MATCH VERTICAL REINFORCING IN CONCRETE WALLS. DOWELS IN FOOTING FOR MASONRY WALLS ARE NOT REQUIRED UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DETAILS.
 - B. BEND ALL BARS 24 DIAMETERS AROUND CORNERS OF FOOTINGS. BARS AT THE INSIDE FACE OF THE CORNER SHALL BE CONTINUED ACROSS TO THE OUTSIDE AND THEN BENT.
- MISCELLANEOUS:
 - A. IF NO OTHER REINFORCING IS SHOWN IN A SLAB ON GRADE, PROVIDE 6x6-W1.4x W1.4 WWR AT MID-THICKNESS OF SLAB.
 - B. LAP WELDED WIRE REINFORCING 1 SPACE + 2" AT ALL EDGES AND ENDS OF SHEET.
 - C. WHERE FILL IS ON BOTH SIDES OF A FOUNDATION WALL, BRING THE FILL UP UNIFORMLY.
 - D. CONSTRUCTION JOINTS PERMITTED ONLY WHERE SHOWN OR AS APPROVED BY THE STRUCTURAL ENGINEER.
 - E. PROVIDE ONE #4x3'-0" DIAGONAL REINFORCING BAR AT MID-DEPTH OF SLAB AT ALL RE-ENTRANT CORNERS OF SLABS ON GRADE OR SLABS ON METAL DECK.

051200 - STRUCTURAL STEEL FRAMING

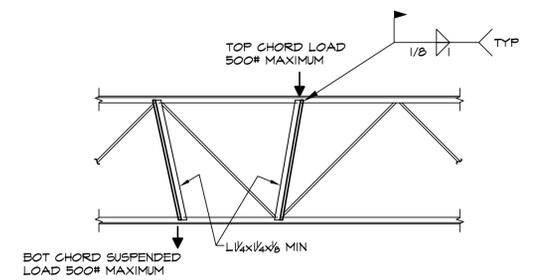
- SPECIFICATIONS AND STANDARDS:
 - UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY:
 - A. ANSI/AISC 360 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS. [ASD] [LRFD]
 - B. AISC 341 SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS, INCLUDING SUPPLEMENT 1.
 - C. AISC 305 - CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
 - D. AWS STANDARD WELDING SYMBOLS.
 - E. AWS D1.1 STRUCTURAL WELDING CODE - STEEL.
 - WELDING SHALL BE PERFORMED ONLY BY OPERATORS QUALIFIED, BY THE AWS STANDARD QUALIFICATION PROCEDURE, TO PERFORM THE PARTICULAR TYPE OF WORK REQUIRED.
 - F. SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A440 BOLTS.
- MATERIALS:
 - A. "W" SHAPES: ASTM A992 Fy = 50 KSI.
 - B. CHANNELS: ASTM A36.
 - C. ANGLES, PLATES AND BARS: ASTM A36.
 - D. WELDING ELECTRODES: AWS A5.1 OR A5.5 SERIES E70.
 - E. BOLTS: ASTM A325.
 - F. SHEAR CONNECTORS: ASTM A108, AWS D1.1, TYPE B, HEADED STUD TYPE.
- PAINT AND PROTECTION - NONE EXCEPT AS NOTED BELOW:
 - 1.) INTERIOR MEMBERS EXPOSED TO VIEW IN THE FINISHED STRUCTURE - PRIME COAT, TOUCH UP AFTER ERECTION.
 - 2.) MEMBERS EXPOSED TO WEATHER IN FINISHED STRUCTURE, SHELF ANGLES AND LINTELS IN EXTERIOR WALLS - GALVANIZED PER ASTM A123 AFTER FABRICATION.
- LINTELS:
 - A. LINTELS FOR EXTERIOR WALL OPENINGS - HOT DIPPED GALVANIZED.
 - B. 8" BEARING EACH SIDE OF OPENINGS UNLESS NOTED.
 - C. UNLESS SHOWN OTHERWISE, PROVIDE 1 ANGLE FOR EACH 4" WALL THICKNESS AS FOLLOWS:

MASONRY OPENING	ANGLE SIZE
3'-6" OR LESS	L 3 1/2x3 1/2x1/4
3'-7" TO 5'-0"	L 4x3 1/2x1/4 LLV
5'-1" TO 8'-0"	L 5x3 1/2x5/16 LLV
8'-1" TO 10'-0"	L 6x3 1/2x5/16 LLV
 - D. UNLESS SHOWN OTHERWISE, PROVIDE A 1/8"x15"x1/4" BOTTOM PLATE FOR OPENINGS LARGER THAN 10'-1" BUT LESS THAN 12'-0" WIDE AND EXTEND THE PLATE THE LENGTH OF THE BEARING EACH SIDE OF THE MASONRY OPENING. MINIMUM BEARING EACH SIDE SHALL BE 8" UNLESS OTHERWISE NOTED.
- CONNECTION REQUIREMENTS:
 - A. DESIGN CONNECTIONS FOR VERTICAL REACTIONS SHOWN ON DRAWINGS OR FOR FULL CAPACITY OF MEMBER WHERE NO REACTION IS SHOWN.
 - B. CONNECTIONS SHOWN AND DETAILED ON THE DRAWINGS MAY BE REDESIGNED BY THE STRUCTURAL STEEL CONTRACTOR FOR EQUAL FORCES PROVIDED THE SAME ARRANGEMENT OF MEMBERS IS USED AND THE OVERALL SIZE OF THE CONNECTION DOES NOT EXCEED THAT OF THE CONNECTION DETAILED.
 - C. OBTAIN APPROVAL FROM STRUCTURAL ENGINEER FOR TYPES OF CONNECTIONS BEFORE FABRICATION.
 - D. ALL BOLTED CONNECTIONS TO BE SHEAR/BEARING TYPE WITH BOLTS IN THE SNUG TIGHT CONDITION UNLESS NOTED OTHERWISE.
- MISCELLANEOUS REQUIREMENTS:
 - A. PROVIDE HOLES FOR OTHERS. IF SECTION IS WEAKENED BY MORE THAN 15% BY AN OPENING NOT SHOWN ON THE DRAWINGS, OBTAIN PRIOR APPROVAL.
 - B. STEEL FRAMING FOR OPENINGS FOR SUPPORTING OR CONNECTING TO MECHANICAL OR OTHER EQUIPMENT IS SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS WITH MECHANICAL AND OTHER REQUIREMENTS BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL COORDINATE SIZES AND LOCATIONS OF STEEL ANGLE FRAMES FOR OPENINGS THAT ARE SHOWN ON THE MECHANICAL AND ARCHITECTURAL DRAWINGS.
 - C. 1/4" THICK SETTING PLATES FOR ALL BEAMS BEARING ON MASONRY OR CONCRETE WHICH DO NOT REQUIRE A BEARING PLATE. ANCHOR THE SETTING PLATE TO THE WALL W/ TWO -1/2"x16" ANCHOR RODS.



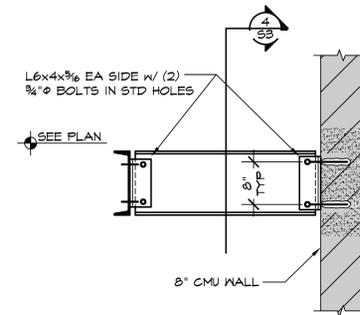
- NOTES:
- SEE MECHANICAL DRAWINGS FOR LOCATIONS, SIZES, AND QUANTITIES OF ROOF OPENINGS.
 - ALL WELDING TO JOIST TO BE DONE WITH CARE SO AS NOT TO IMPAIR THE STRENGTH OF THE JOIST.

DETAIL
NO SCALE: TYP ROOF OPENING

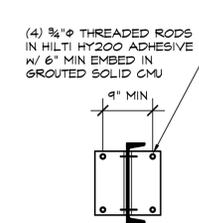


- NOTES:
- CONCENTRATED MECH UNIT LOADS, FOLDING PARTITIONS, SUSPENDED LOADS, ETC. SHOULD BE LOCATED AT JOIST PANEL POINTS WHERE POSSIBLE. WHEN PANEL POINT IS NOT ACCESSIBLE, SUPPORT LOAD AS SHOWN.
 - ALL WELDING TO JOIST IS TO BE DONE WITH CARE AS NOT TO IMPAIR THE STRENGTH OF THE JOIST.

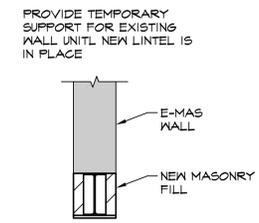
DETAIL
NO SCALE: TYP SUPPORT OF CONCENTRATED LOADS NOT AT JOIST PANEL POINTS



SECTION
3/4" = 1'-0"



SECTION
3/4" = 1'-0"



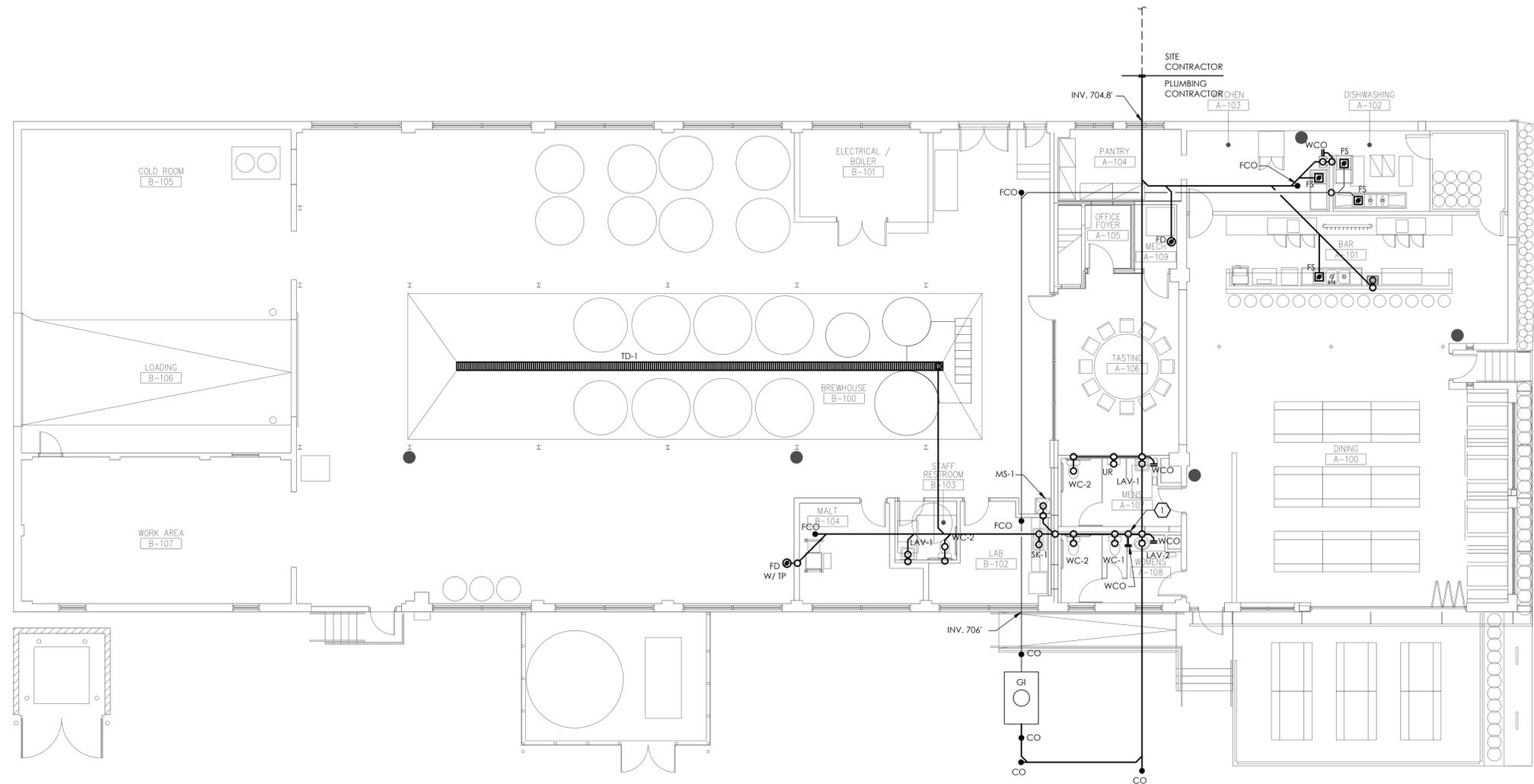
SECTION
3/4" = 1'-0"

SMBH

STRUCTURAL ENGINEERING

1166 Dublin Road Suite 200 Columbus, Ohio 43215-1038
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LAND GRANT BREWING	Sheet No.	S3
for: MODE		
Date: 3/3/14	Scale: as shown	Job No. 113-194



SANITARY PLUMBING PLAN
SCALE: 1/8" = 1'-0"

PLUMBING CODED NOTES

1. PLUMBING CONTRACTOR TO ROUTE NEW 4" SANITARY DOWN FROM EXISTING RESTROOM ON MEZZANINE. REFER TO SHEET P1.1 FOR CONTINUATION.



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DESIGN BY: **CFJ**

LAND-GRANT BREWING COMPANY
TENANT IMPROVEMENT

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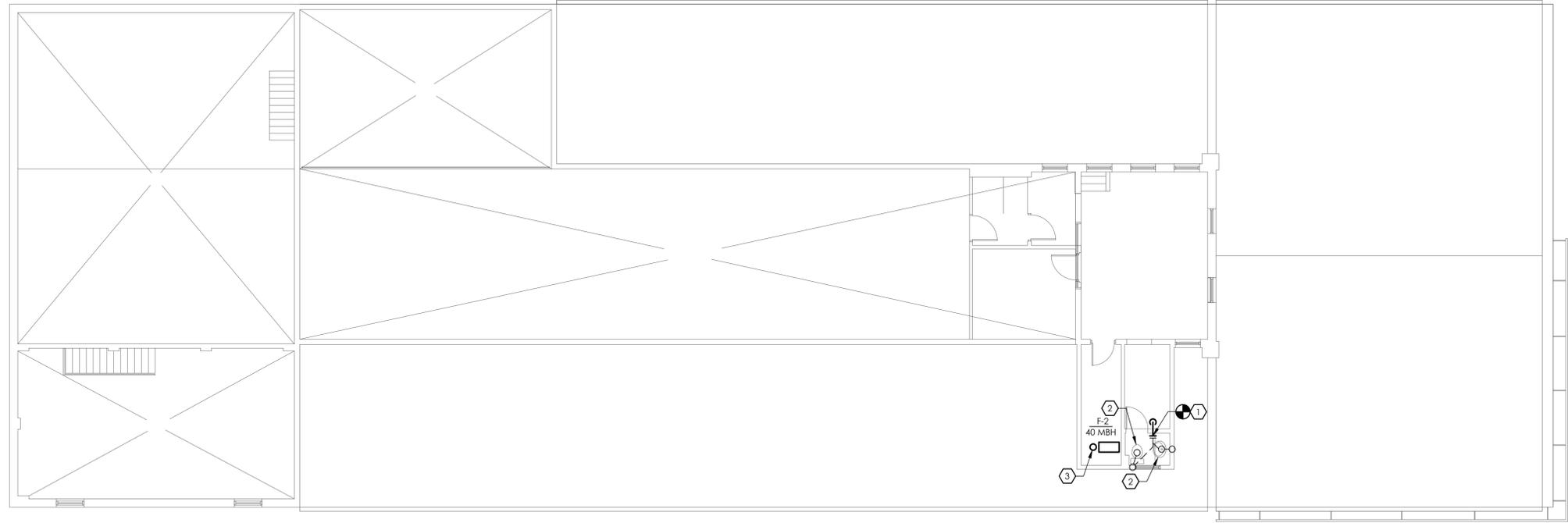
MARCH 4, 2014

REV# DATE DESCRIPTION

REV#	DATE	DESCRIPTION

SANITARY PLUMBING PLAN

P1.0



SECOND FLOOR PLUMBING PLAN
SCALE: 1/8" = 1'-0"

PLUMBING CODED NOTES

1. PLUMBING CONTRACTOR TO CONNECT EXISTING SANITARY TO NEW SANITARY AND ROUTE NEW SANITARY DOWN WALL ON FIRST FLOOR TO UNDER SLAB. PLUMBING CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE OF EXISTING SANITARY PRIOR TO STARTING ANY WORK. REFER TO SHEET P1.0 FOR CONTINUATION.
2. PLUMBING CONTRACTOR TO INSPECT, CLEAN, AND FIX/REPLACE ANY WORN OR BROKEN PARTS ON EXISTING PLUMBING FIXTURE AND LEAVE IN LIKE NEW CONDITION.
3. 3/4" GAS LINE UP FROM BELOW. REFER TO SHEET P2.0 FOR CONTINUATION.



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REV#	DATE	DESCRIPTION

MEZZANINE PLUMBING PLAN

P1.1

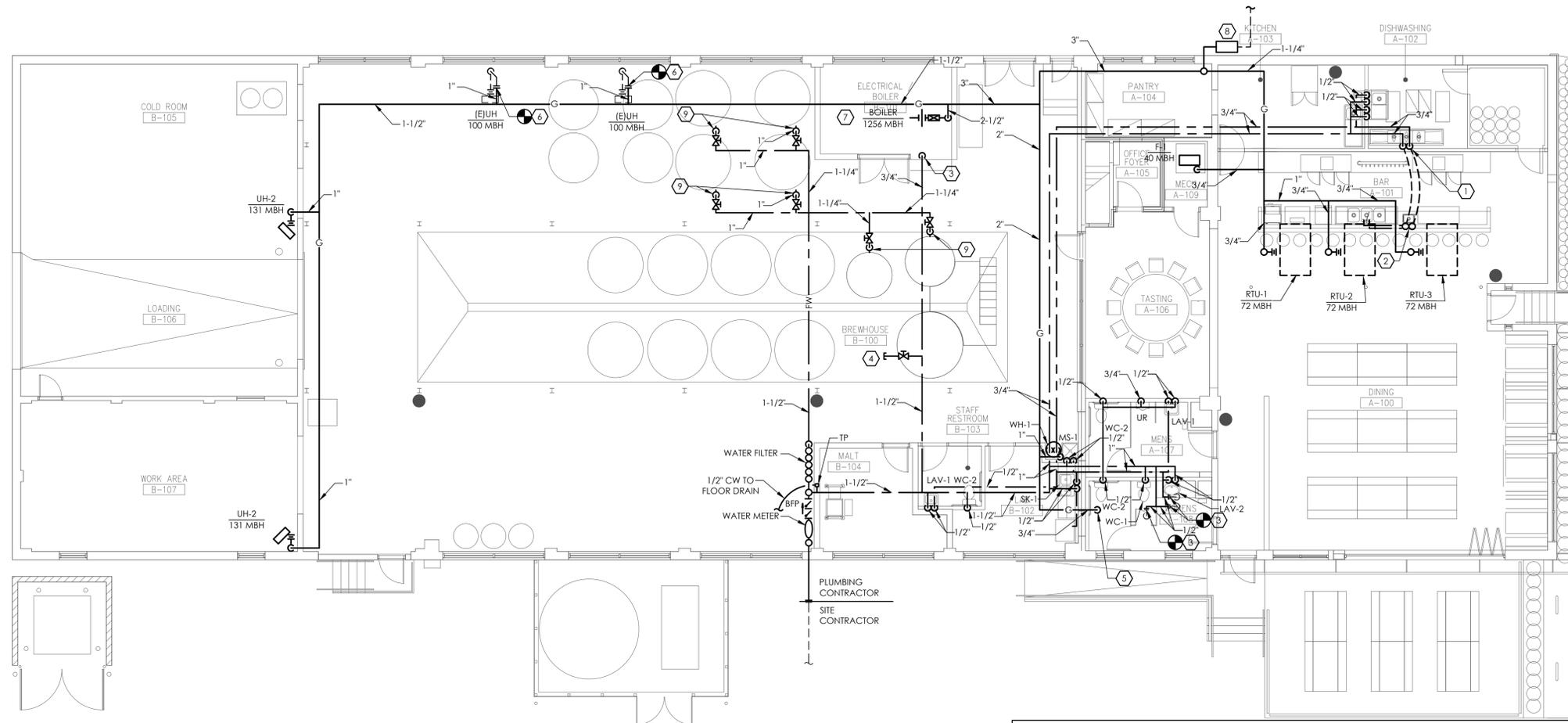
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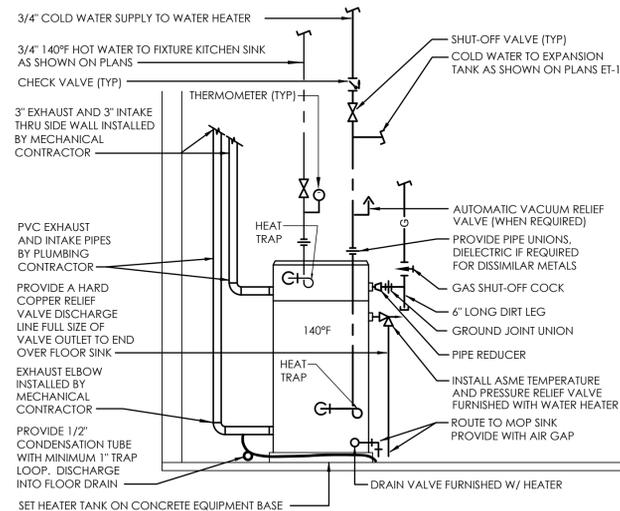
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WATER & GAS PLUMBING PLAN
SCALE: 1/8" = 1'-0"

PLUMBING CODED NOTES

- PLUMBING CONTRACTOR TO ROUTE NEW 1/2" HOT WATER AND 1/2" COLD WATER DOWN WALL TO UNDER SLAB. ALL UNDER SLAB PIPING TO BE TYPE "K" SEAM LESS COPPER TUBING WITH 1" ARMAFLEX CONTINUOUS INSULATION.
- PLUMBING CONTRACTOR TO ROUTE NEW 1/2" HOT WATER AND 1/2" COLD WATER UP FROM BELOW SLAB TO LOW WALL AND ROUTE TO HAND SINK AND 3 COMPARTMENT BAR SINK.
- PLUMBING CONTRACTOR TO CONNECT NEW 1/2" COLD WATER AND 1/2" HOT WATER TO EXISTING HOT WATER AND COLD WATER FOR MEZZANINE RESTROOM. PLUMBING CONTRACTOR TO VERIFY EXACT SIZE AND LOCATION OF EXISTING PRIOR TO STARTING ANY WORK.
- PLUMBING CONTRACTOR TO STUB 1-1/2" COLD WATER FOR PROCESS. PLUMBING CONTRACTOR TO COORDINATE EXACT LOCATION WITH OWNER REPRESENTATIVE.
- PLUMBING CONTRACTOR TO ROUTE 3/4" GAS LINE TO NEW FURNACE ON MEZZANINE. REFER TO P1.1 FOR CONTINUATION.
- PLUMBING CONTRACTOR TO CONNECT NEW 1-1/2"/1" GAS LINE TO EXISTING 1" GAS LINE. PLUMBING CONTRACTOR TO VERIFY EXACT SIZE AND LOCATION OF EXISTING GAS LINE PRIOR TO STARTING ANY WORK.
- PLUMBING CONTRACTOR TO EXTEND 2" GAS LINE FOR BOILER. PLUMBING CONTRACTOR TO VERIFY EXACT GAS REQUIREMENT FOR BOILER WITH OWNER REPRESENTATIVE PRIOR TO STARTING ANY WORK.
- PLUMBING CONTRACTOR TO COORDINATE NEW METER INSTALLATION WITH LOCAL UTILITY COMPANY. NEW GAS LOAD OF 2,090 MBH.
- PLUMBING CONTRACTOR TO CONNECT 1-1/4"/1" FILTERED WATER TO EQUIPMENT. PLUMBING CONTRACTOR TO COORDINATE EXACT REQUIREMENT WITH OWNER REPRESENTATIVE.



WATER HEATER DETAIL
NOT TO SCALE

GAS LOADS	
EQUIPMENT	BTUH
BOILER	1256 MBH
F-1	40 MBH
F-2	40 MBH
WH-1	76 MBH
(E) RTU	72 MBH
(E) RTU	72 MBH
(E) RTU	72 MBH
UH-2	131 MBH
UH-2	131 MBH
(E) UH	100 MBH
(E) UH	100 MBH
TOTAL	2090 MBH

PLUMBING FIXTURE SCHEDULE						
TAG	EQUIPMENT	DESCRIPTION/ ACCESSORIES	SUPPLY PIPING	WASTE PIPING	MANUFACTURER/ MODEL	NOTES
WC-1	WATER CLOSET	VITEROUS CHINA, FLOOR MOUNTED, TWO PIECE, ELONGATED RIM, 1.6 GPF PRESSURE ASSISTED FLUSH TANK. BENEKE SPLIT FRONT SEAT #533.	1/2" CW	3"	AMERICAN STANDARD CADET 2462.016	1
WC-2	ADA WATER CLOSET	VITEROUS CHINA, FLOOR MOUNTED, TWO PIECE, ELONGATED RIM, 1.6 GPF PRESSURE ASSISTED FLUSH TANK. BENEKE SPLIT FRONT SEAT #533. FLUSH HANDLE ON OPENSIDE TO COMPLY W/ ADAGL 416.5	1/2" CW	3"	AMERICAN STANDARD CADET 2467.016	1
LAV-1	ADA WALL HUNG LAVATORY	VITEROUS CHINA, W/ 4" CENTER W/ AM STD. FAUCET # 7385.004 PROVIDE WITH .5 GPM SPRAY	1/2" HW & CW	1-1/2"	AMERICAN STANDARD 0355.056	2,4,7
LAV-2	UNDER MOUNT LAVATORY	STAINLESS STEEL, W/ AM STD. SERIN FAUCET #2064.101 PROVIDE WITH .5 GPM SPRAY	1/2" HW & CW	1-1/2"	KOHLER "BACHATA" K-2609	2,7
FD	FLOOR DRAIN	ADJUSTABLE COLLAR WITH NICKEL BRONZE STRAINER.	1/2" CW	3"	SIoux CHIEF 832	5
FS	FLOOR SINK	8" SQUARE MEDIUM DUTY, HALF GRATE, INTERIOR ANTI-SPLASH INTERIOR BOTTOM DOME. STRAINER, 6" DEEP.	--	3"	SIoux CHIEF 861-CD-C2	
FCO	FLOOR CLEANOUT	SIZE AND TYPE AS APPLICABLE	--	SEE PLAN	SIoux CHIEF 834	
WCO	WALL CLEANOUT	PROVIDE PVC TYPE W/ 6" Ø SS COVER ON ALL EXPOSED WALLS. SIZE AS INDICATED ON PLAN/STACK	--	SEE PLAN	SIoux CHIEF 873	
WH-1	WATER HEATER	COMMERCIAL TANK TYPE GAS WATER HEATER, 50 GAL., CYCLONE XI, HIGH EFFICIENCY 83 GPH AT A DELTA T OF 100 DEGREE	3/4" HW & CW		A.O. SMITH BTX-80	
BFP	BACK FLOW PREVENTION	REDUCE PRESSURE ASSEMBLY W/ STRAINER	1-1/2" CW		WILKINS 375	6
GI	GREASE INTERCEPTOR	PRECAST CONCRETE EXTERIOR GREASE INTERCEPTOR		4"	EC BARBERT MODEL G-5	
TP	TRAP PRIMER	1/2" CW, AUTOMATIC, MULTI-DROP TRAP PRIMER	1/2" CW		PRECISION PLUMBING PRODUCTS #DU-U-500	
SK-1	DOUBLE BOWL SINK	PROVIDE WITH POWERS FAUCET MODEL ES-P-205/215	1/2" CW & HW	1-1/2"	ELKAY CR3321-3	

NOTE:
1. CHROME SUPPLY STOP W/ SS BRANDED FLEXIBLE CONNECTION.
2. PROVIDE: MCGUIRE 2" STRAINER, 1-1/4" CHROME P-TRAP & CHROME SUPPLY STOPS, TRUEBRO LAV-GUARD 2 ADA INS.KIT
3. COVER TO BE FLUSH WITH FLOOR.
4. PROVIDE A WALL MOUNTED CONCEALED ARM CARRIER
5. PROVIDE W/ TRAP PRIMER CONNECTION WHERE NOTED ON PLANS.
6. EXTEND RELIEF TO FLOOR DRAIN
7. PROVIDE WITH WAITS MIXING VALVE MODEL USG-B MEETING ASSE 1070.

ALL EQUIPMENT PROVIDED BY PLUMBING CONTRACTOR UNLESS OTHERWISE NOTED

DATE
MARCH 4, 2014

REV#	DATE	DESCRIPTION

WATER & GAS PLUMBING PLAN

P2.0



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TENANT IMPROVEMENT

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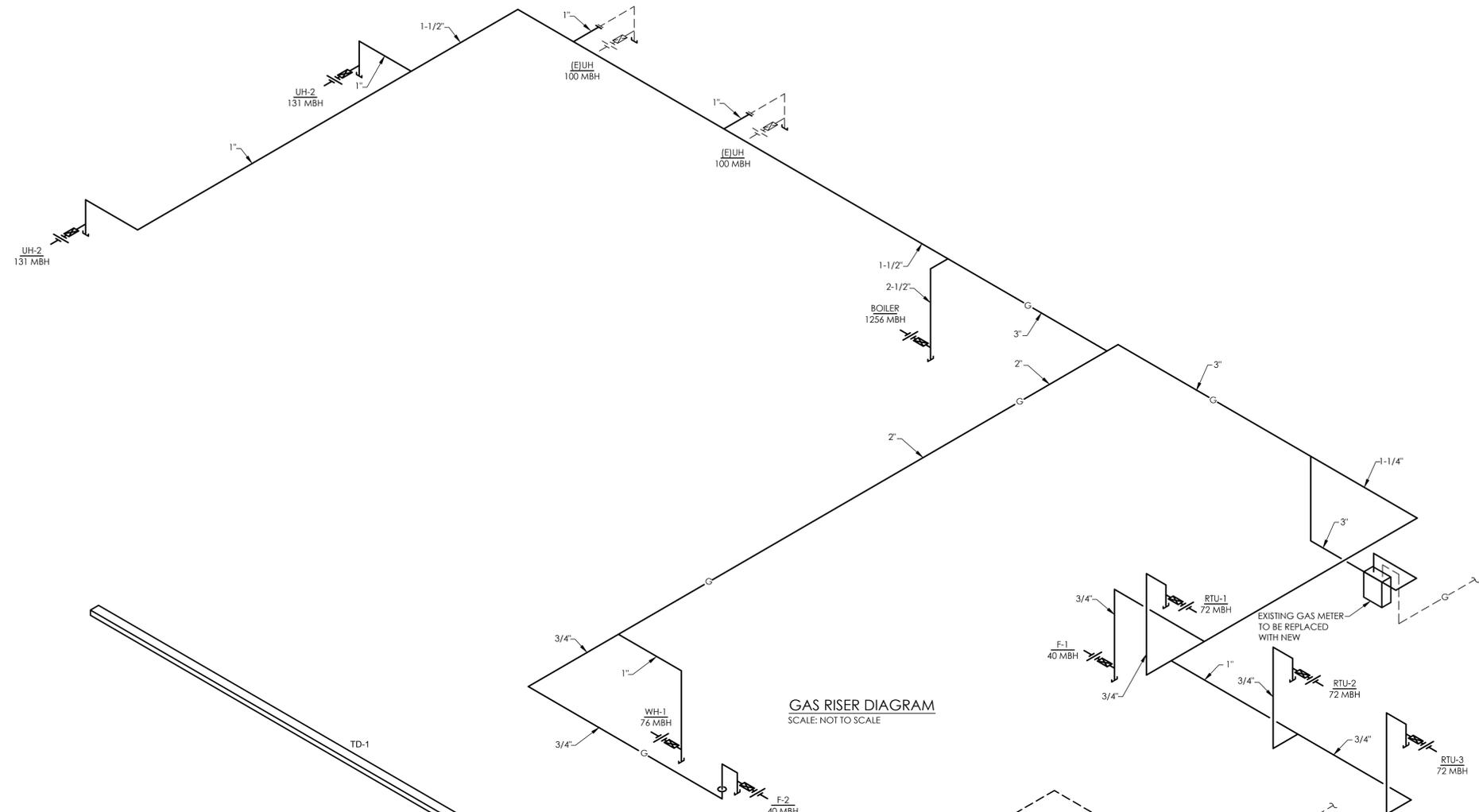
MARCH 4, 2014

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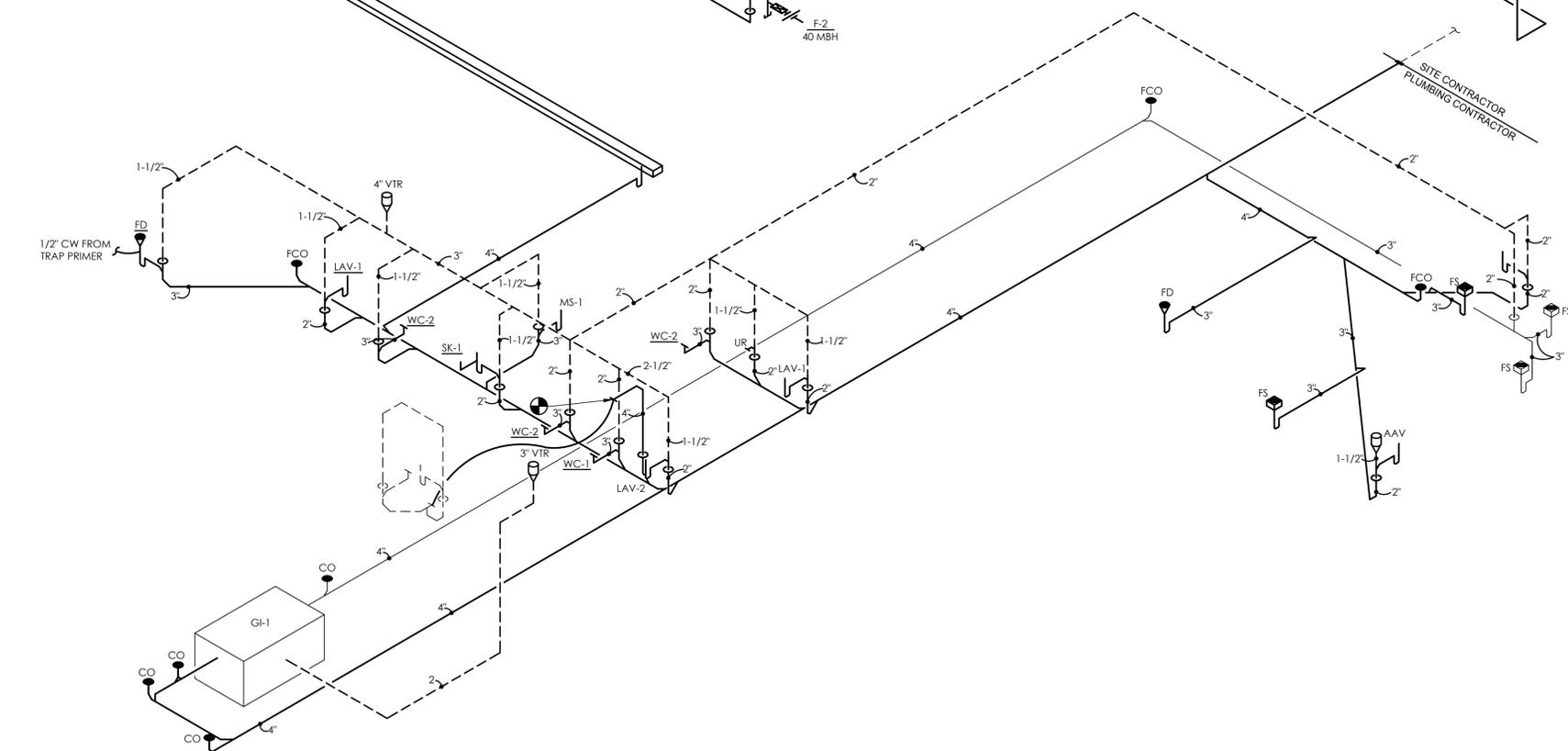
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PLUMBING SCHEDULES & DETAILS

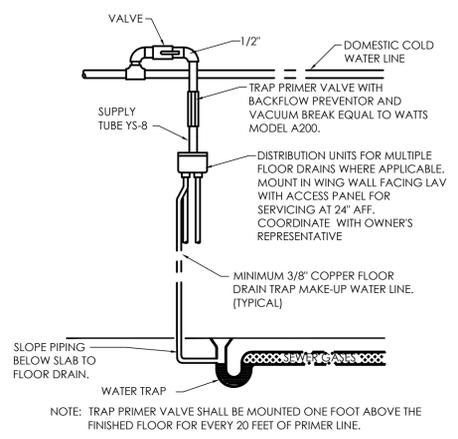
P3.0



GAS RISER DIAGRAM
SCALE: NOT TO SCALE

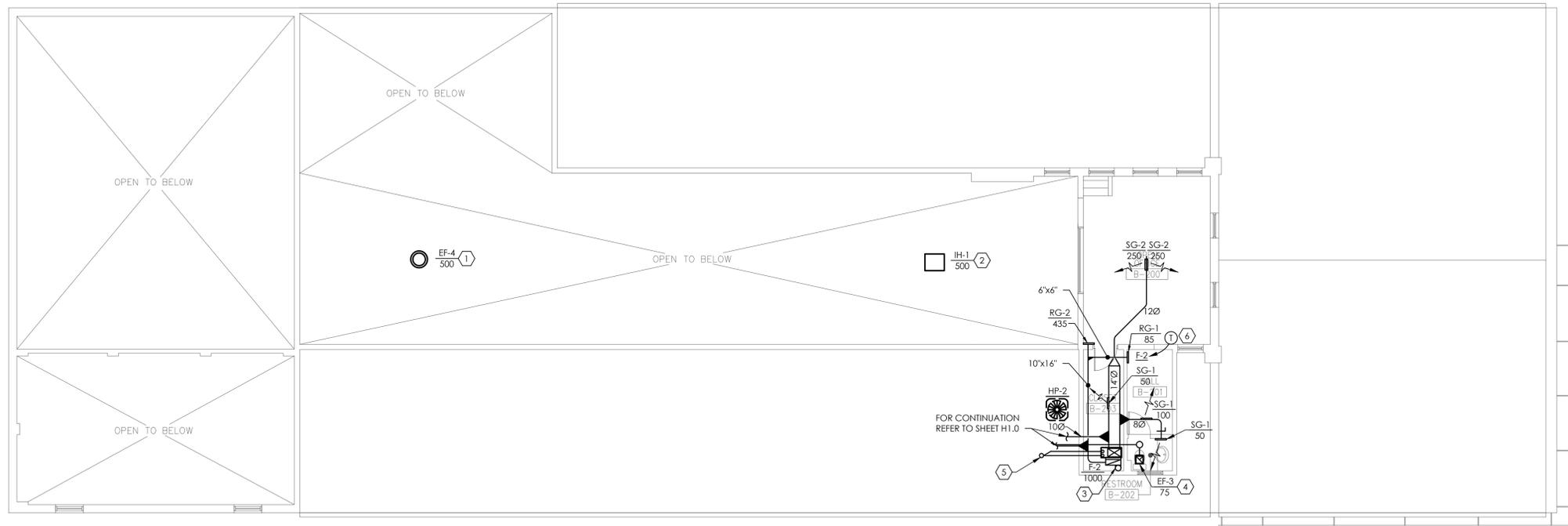


SANITARY STACK DIAGRAM
SCALE: NOT TO SCALE



A TRAP PRIMER DETAIL
N.T.S.

PLUMBING LEGEND	
DETAIL	DESCRIPTION
	VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RETURN PIPING
	GREASE PIPING
	GAS PIPING
	SANITARY PIPING
	EXISTING PIPING AS NOTED
	GATE VALVE
	FIRE SUPPRESSION VALVE
	METER
	BACKFLOW PREVENTOR
	CONNECTION
	EQUIPMENT NUMBER
	CODED NOTE
	FLOOR DRAIN
	FLOOR SINK
	HUB DRAIN
	FLOOR CLEAN OUT
	YARD CLEAN OUT
	GRADE CLEAN OUT



HVAC PLAN
SCALE: 1/8" = 1'-0"

HVAC CODED NOTES

- EF-4: EXHAUST FAN, TWIN CITY MODEL 300ACEB, 11,400 CFM, 0.25" E.S.P., 3 HP, 208V, 3Ø. INSTALL FAN ON ROOF USING A MINIMUM 14" ROOF CURB. COORDINATE EXACT MOUNTING LOCATION WITH THE GENERAL CONTRACTOR. FAN SHALL RUN CONTINUOUSLY DURING OCCUPIED HOURS. COVER OPENING WITH A 1'x1" WELDED WIRE SCREEN.
- IH-1: INTAKE HOOD, LOREN COOK MODEL GI, 48"x90" THROAT, 101"x135" OVERALL SIZE. MOUNT HOOD ON A MINIMUM 14" HIGH ROOF CURB. FLASH AND SEAL ROOF PENETRATION WATER TIGHT. COORDINATE EXACT MOUNTING LOCATION WITH THE GENERAL CONTRACTOR. COVER OPENING WITH A 1'x1" WELDED WIRE SCREEN.
- 8"Ø OUTSIDE AIR INTAKE DUCT. ROUTE DUCT UP THROUGH THE ROOF AND TERMINATE IN GOOSE NECK FITTING. FLASH AND SEAL ROOF PENETRATION WATER TIGHT.
- EF-3: CEILING EXHAUST FAN, TWIN CITY MODEL T100H, 75 CFM, 0.375" E.S.P., 1/10 HP, 120V, 1Ø. ROUTE 6"Ø EXHAUST DUCT UP THROUGH ROOF AND TERMINATE WITH A FACTORY PRODUCED ROOF CAP WITH BACKDRAFT DAMPER.
- EXTEND PVC COMBUSTION AIR AND VENT PIPING FROM FURNACE UP THROUGH ROOF USING A CONCENTRIC VENT KIT SIZE PER MANUFACTURERS LISTED INSTALLATION PROCEDURE. ENSURE THAT THE FLUE OUTLET IS A MINIMUM 10'-0" FROM ALL OUTSIDE AIR INTAKES.
- HVAC CONTRACTOR SHALL FURNISH AND INSTALL A 7 DAY FULLY PROGRAMMABLE HEATING/COOLING THERMOSTAT COMPATIBLE WITH UNIT. AUXILIARY 24V CONTROL TO MOD TO OPEN DURING OCCUPIED HOURS AND CLOSED DURING UNOCCUPIED HOURS. MOUNT THERMOSTAT AT 48" A.F.F. PROVIDE 24V CONTROL WIRE AND MAKE SYSTEM FULLY FUNCTIONAL. PROVIDE AVERAGING SENSOR ON WALL AS SHOWN.

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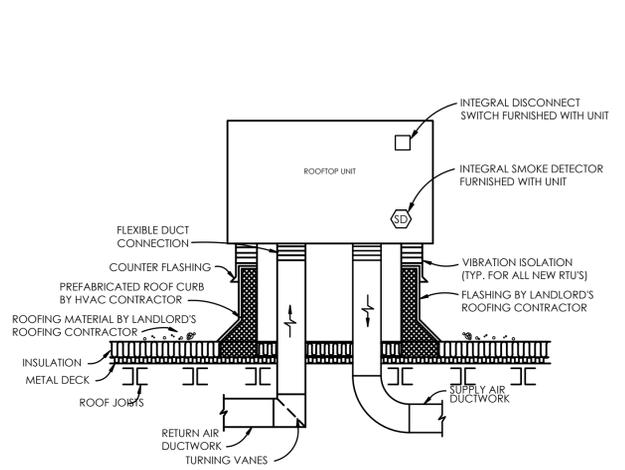
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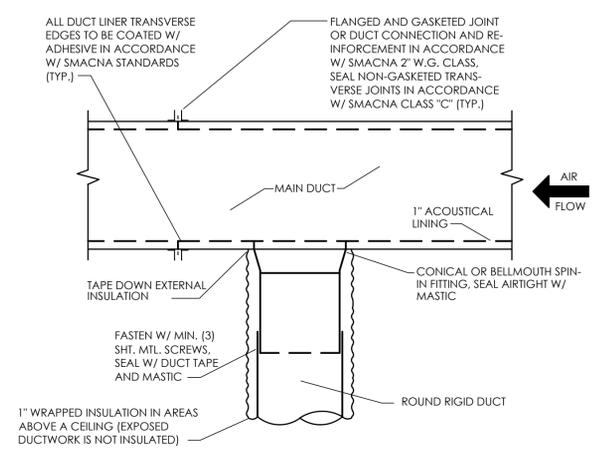
HVAC MEZZANINE PLAN

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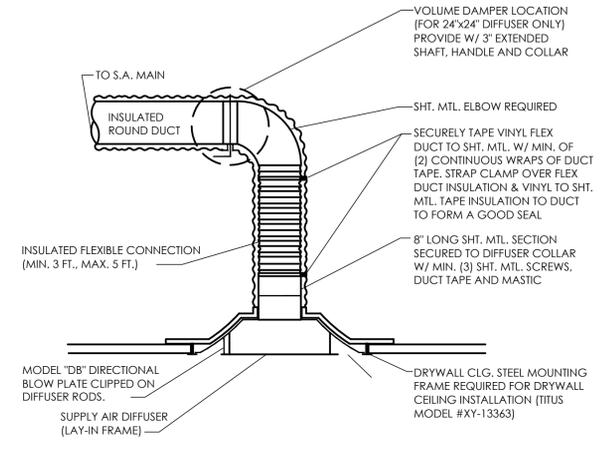
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A ROOFTOP AIR HANDLING UNIT
N.T.S.

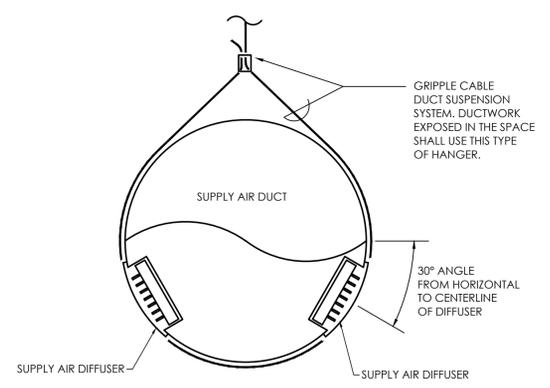


B TYPICAL ROUND DUCT TAKE-OFF DETAIL
N.T.S.

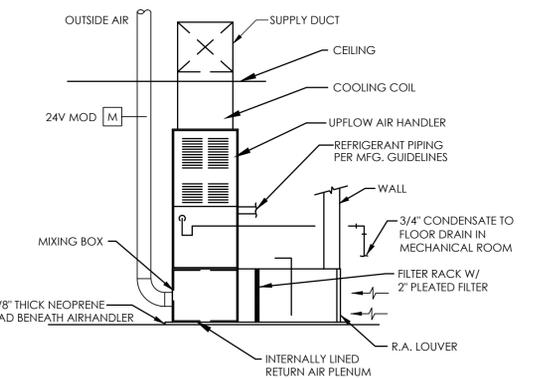


C DIFFUSER MOUNTING DETAIL
N.T.S.

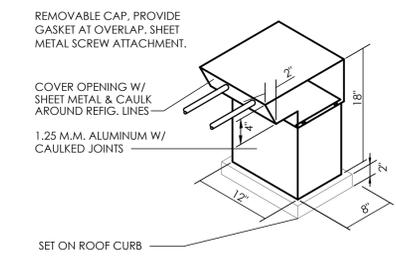
NOTE: ALL DIFFUSERS ARE 4-WAY BLOW UNLESS NOTED OTHERWISE. PROVIDE OPTIONAL DIRECTIONAL BLOW, MODEL "DB" TO CONVERT DIFFUSER FROM STANDARD 4-WAY TO 1-WAY, 2-WAY OR 3-WAY BLOW AS NOTED ON PLANS.



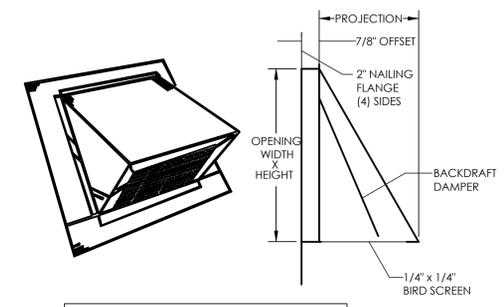
D ROUND DUCT DIFFUSER DETAIL
N.T.S.



E AIRHANDLER INSTALLATION DETAIL
N.T.S.



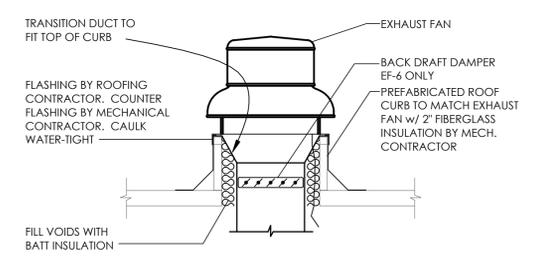
F REFRIGERANT PIPING THROUGH ROOF DETAIL
N.T.S.



C&J METAL PRODUCTS

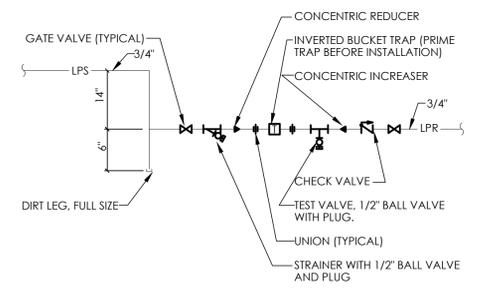
STYLE NO.	VENT WIDTH	VENT HEIGHT	PROJECTION OUT	FREE AREA
WC0404ACF	4"	4"	3.75"	7.2"
WC0804ACF	8"	4"	4.25"	17.1"
WC0808ACF	8"	8"	5.75"	28.0"
WC1010ACF	10"	10"	10.25"	71.1"
WC1104ACF	11"	4"	4"	27.1"

G WALL CAP DETAIL
N.T.S.

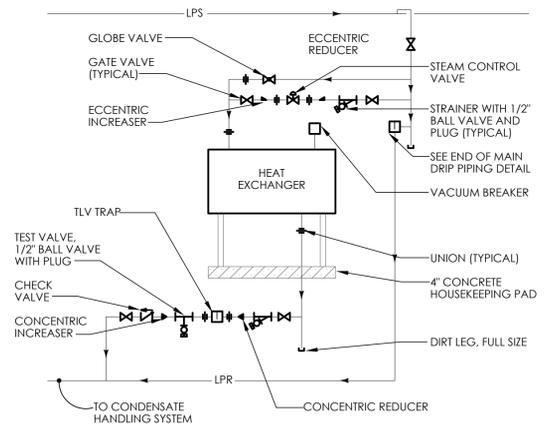


H ROOF MOUNTED EXHAUST FAN
N.T.S.

NOTES:
1. MECHANICAL CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ROOF OPENINGS W/ GENERAL CONTRACTOR.



J END OF MAIN DRIP PIPING
N.T.S.



K HEAT EXCHANGER STEAM PIPING DETAIL
N.T.S.

DATE: MARCH 4, 2014

REV#	DATE	DESCRIPTION

ROOFTOP UNIT SCHEDULE

TAG	AREA SERVED	TYPE	CFM	O.A. CFM	E.S.P.	COOLING						HEATING			SEER	HP	ELECTRICAL				MANUFACTURER	MODEL	WEIGHT (LBS)	ACCESSORIES	REMARKS
						TOTAL (MBH)	SENSIBLE (MBH)	E.A.T.		L.A.T.		INPUT (MBH)	OUTPUT (MBH)	EFFICIENCY (%)			VOLTS	PH	MCA	MOCP					
								DB (°F)	WB (°F)	DB (°F)	WB (°F)														
RTU-1	DINNING	CAV	2,000	1430	1.0	61.9	47.7	80.0	67.0	57.9	57.3	72	59	82	13.0	1.25	208	3	28	40	CARRIER	48TCDA06	569	1,2,3,4	UNITS SHALL BE FIELD PAINTED. COLOR SELECTION BY THE ARCHITECT.
RTU-2	BAR/KITCHEN	CAV	2,000	1430	1.0	61.9	47.7	80.0	67.0	57.9	57.3	72	59	82	13.0	1.25	208	3	28	40	CARRIER	48TCDA06	569	1,2,3,4	UNITS SHALL BE FIELD PAINTED. COLOR SELECTION BY THE ARCHITECT.
RTU-3	DINNING	CAV	2,000	1430	1.0	61.9	47.7	80.0	67.0	57.9	57.3	72	59	82	13.0	1.25	208	3	28	40	CARRIER	48TCDA06	569	1,2,3,4	UNITS SHALL BE FIELD PAINTED. COLOR SELECTION BY THE ARCHITECT.

ACCESSORIES: 1. AIRSIDE ECONOMIZER 2. 14" ROOF CURB 3. INTEGRAL DISCONNECT 4. BAROMETRIC RELIEF



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REQUIRED OUTDOOR VENTILATION AIR

BASED ON TABLE 6-1 ASHRAE 62.1-2007

UNIT NO.	ROOM NO.	AREA S.F.	SPACE DESCRIPTION	PERSONS PER 1000 S.F.	NO. OF PEOPLE	CFM PER PERSON	CFM PER S.F.	O.A. PEOPLE	O.A. S.F.	TOTAL O.A. REQUIRED
	1204		Food & Beverage Service: Restaurant Dining Rooms	70	84	7.5	0.18	630	217	847
	546		Food & Beverage Service: Bars, Cocktail Lounges	100	55	7.5	0.18	413	98	511
TOTAL										1358
VENTILATION EFFECTIVENESS (Ez)										0.8
TOTAL OUTDOOR AIR REQUIRED										1698
TOTAL OUTDOOR AIR PROVIDED BY UNITS RTU1, 2 & 3										1710
	328		General: Conference/Meeting	50	16	5	0.06	80	20	100
	328		General: Office Space	5	2	5	0.06	10	20	30
TOTAL										129
VENTILATION EFFECTIVENESS (Ez)										0.8
TOTAL OUTDOOR AIR REQUIRED										162
TOTAL OUTDOOR AIR PROVIDED BY UNIT F-1										170
	308		General: Office Space	5	2	5	0.06	10	18	28
	152		General: Office Space	5	1	5	0.06	5	9	14
	54		General: Corridors	0	0	0	0.06	0	3	3
	204		General: Storage Rooms	0	0	0	0.12	0	24	24
	398		General: Office Space	5	2	5	0.06	10	24	34
TOTAL										104
VENTILATION EFFECTIVENESS (Ez)										0.8
TOTAL OUTDOOR AIR REQUIRED										130
TOTAL OUTDOOR AIR PROVIDED BY UNIT F-2										130
	6544		Miscellaneous Spaces: Warehouse	0	0	0	0.06	0	393	393
TOTAL										393
VENTILATION EFFECTIVENESS (Ez)										0.8
TOTAL OUTDOOR AIR REQUIRED										491
TOTAL OUTDOOR AIR PROVIDED BY EF-3 AND IH-1										500

FURNACE/CONDENSING UNIT SCHEDULE

DESIGNATION	BAR/DINING (2.5 TON)	SECOND FLOOR (2.5 TON)
EQUIPMENT TAG	F-1	F-2
SUPPLY	1,000 CFM	1,000 CFM
EXT. SP (IN. WC)	0.8"	0.8"
MINIMUM MOTOR HP	1/2 HP	1/2 HP
O.A. (CFM)	170	130
ECONOMIZER	NO	NO
ENTERING AIR (DB/WB) °F	80/67	80/67
TOTAL CAPACITY (MBH)	30.0	30.0
SENSIBLE CAP. (MBH)	21.6	21.6
WEIGHT	131 LBS	131 LBS
HEAT SOURCE	NATURAL GAS	NATURAL GAS
GAS HEAT (BTUH)	40000/39000	40000/39000
MANUFACTURER	CARRIER	CARRIER
MODEL NUMBER	59SP5A040-12	59SP5A040-12
VOLTAGE/PH/Hz	115/1/60	115/1/60
MINIMUM CIRCUIT AMPS	20.8	20.8
MOCP	30	30
AMBIENT AIR TEMP	105	105
MANUFACTURER	CARRIER	CARRIER
MODEL NO.	25HC8330A30	25HC8330A30
WEIGHT	206 LBS	206 LBS
EER	13.0	13.0

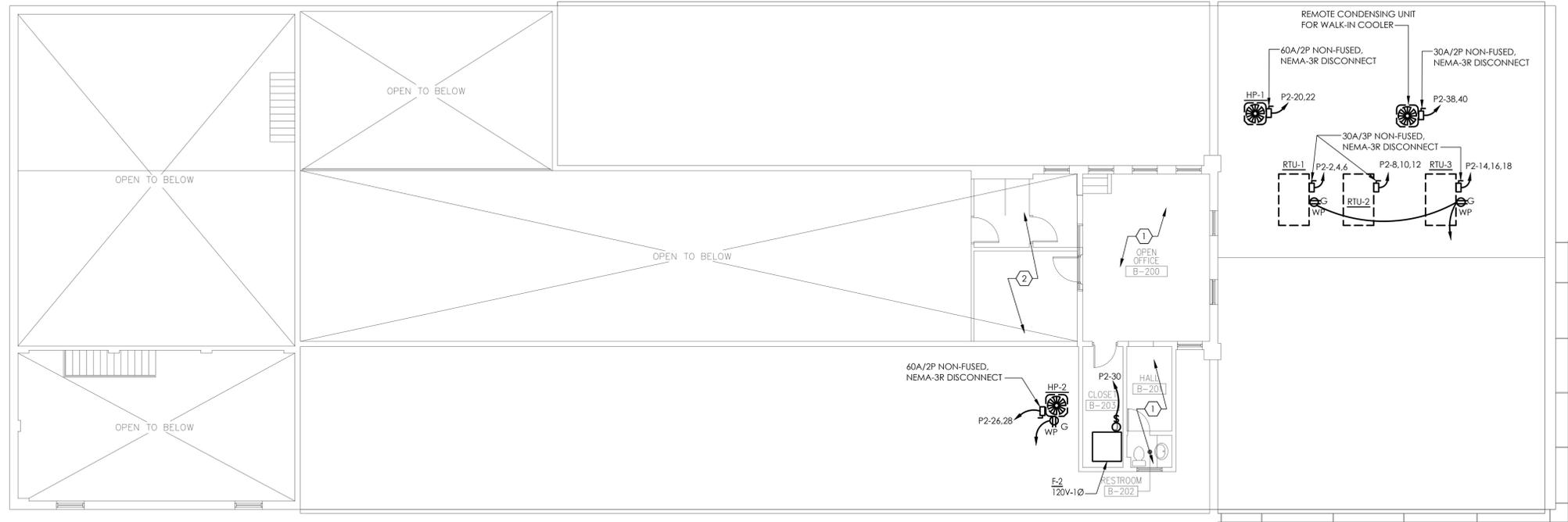
- NOTES:
- NO UNIT LOSSES INCLUDED. ALLOW FOR WET COIL AND DIRTY FILTER
 - ALL REFRIGERANT TO BE R410a
 - INDOOR UNITS SHALL HAVE A READILY ACCESSIBLE FILTER FRAME.
 - OUTDOOR UNITS SHALL BE MATCHED WITH EVAPORATOR UNIT AND CONNECTING REFRIGERATION PIPING SHALL INCLUDE ALL MANUFACTURER RECOMMENDED PIPING ACCESSORIES. PROVIDE TXV, SIGHT GLASS, FILTER DRIER AND CHARGING PORT W/ LIQUID LINE AND INSULATED SUCTION LINE (SEE SCHEDULE FOR SIZES).
 - PROVIDE ALL CONDENSING UNITS WITH LOW AMBIENT CONTROL, WINTER START KIT AND CRANK CASE HEATER, EVAPORATOR FREEZE STAT, WIND BAFFLE, TIME DELAY RELAY, CAPACITOR RELAY START ASSIST, ISOLATION RELAY.
 - ROUTE TRAPPED PRIMARY CONDENSATE LINE FROM EVAPORATOR TO NEAREST FLOOR DRAIN WITH PROPER AIR GAP. EXTEND SECONDARY DRAIN TO DIVERSATECH #505-1 FLOAT SWITCH WITH CONTROL WIRING TO SHUT DOWN UNIT UPON TRIP OF FLOAT SWITCH.
 - PROVIDE A MATCHING MANUFACTURER'S 7-DAY, 24 HR. PROGRAMMABLE HEATING/COOLING THERMOSTAT AND CONTROL WIRING TO MAKE UNIT FULLY FUNCTIONAL. USE PLENUM RATED CABLE IN ALL SPACES USED FOR R.A.
 - PROVIDE DISCONNECT ALL FURNACES.
 - SIZE ALL REFRIGERANT PIPING IN ACCORDANCE WITH THE INSTALLED EQUIPMENT MANUFACTURER'S INSTALLATION MANUAL AND RECOMMENDATION.
 - CONFIGURE UNITS FOR BOTTOM RETURN.

GRILLE, REGISTER AND DIFFUSER SCHEDULE

TAG	MANUFACTURER	MODEL	SIZE		MOUNTING				MATERIAL		FINISH	ACCESSORIES			BORDER STYLE			REMARKS	
			MOD.	NECK	SIDEWALL	CEILING	DUCT	FLOOR	STEEL	ALUM.		DMPR.	EQUAL GRID	FIRE DMPR.	SURFACE	LAY-IN	LAY-IN PLASTER FRAME		
SD-1	PRICE	SCD	12"x12"	6"Ø		●				●							●		
SD-2	PRICE	SCD	24"x24"	8"Ø		●				●							●		
SD-3	PRICE	SCD	24"x24"	10"Ø		●				●							●		
SG-1	PRICE	520	8"x7"	6"x5"	●					●							●		
SG-1	PRICE	SDGE						●		●							●		
RG-1	PRICE	530	12"x12"	10"x10"	●					●							●		
RG-2	PRICE	530	24"x12"	22"x10"	●					●							●		

DATE		
MARCH 4, 2014		
REV#	DATE	DESCRIPTION

ELECTRICAL SYMBOL LEGEND	
	120V-20A DUPLEX RECEPTACLE, STRAIGHT BLADE MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED
	120V-20A DOUBLE DUPLEX RECEPTACLE, STRAIGHT BLADE MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED
	120V-20A DUPLEX GFI RECEPTACLE, STRAIGHT BLADE MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED
	120V-20A DUPLEX RECEPTACLE, STRAIGHT BLADE TYPE, WITH ISOLATED GROUND CONDUCTOR, MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED
	208V-3Ø - FOUR WIRE PLUS GROUND CONNECTION FOR EQUIPMENT, AMPERAGE OF DEVICE LISTED ADJACENT TO DEVICE. COORDINATE EXACT CONFIGURATION WITH EQUIPMENT VENDOR PRIOR TO INSTALLATION, DEVICE MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED, E.C. IS RESPONSIBLE FOR INCLUDING DEVICE IN BID
	SURFACE MOUNTED PANEL BOARD
	FLUSH MOUNTED PANEL BOARD
	COMBINATION MOTOR STARTER & NON-FUSED DISCONNECT SWITCH
	NON-FUSED DISCONNECT SWITCH
	FUSED DISCONNECT SWITCH
	JUNCTION BOX CONNECTION FOR EQUIPMENT, E.C. SHALL CONFIRM EXACT CONNECTION REQUIREMENTS, I.E. DIRECT CONNECTION, STRAIGHT BLADE, OR TWISTLOCK RECEPTACLE FOR ALL EQUIPMENT
	DATA OUTLET COORDINATE MOUNTING HEIGHT IN FIELD, PROVIDE 3/4" CONDUIT AND/OR PULL STRING TO ACCESSIBLE CEILING OR AREA AS REQUIRED.
	TELEPHONE OUTLET MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED, PROVIDE 3/4" CONDUIT AND/OR PULL STRING TO ACCESSIBLE CEILING OR AREA AS REQUIRED.
	TELE/DATA OUTLET MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED, PROVIDE 3/4" CONDUIT AND/OR PULL STRING TO ACCESSIBLE CEILING OR AREA AS REQUIRED.
	CATV OUTLET MOUNTED AT 18" A.F.F. UNLESS OTHERWISE NOTED, PROVIDE 3/4" CONDUIT AND/OR PULL STRING TO ACCESSIBLE CEILING OR AREA AS REQUIRED.
	120/277V - 20A SINGLE POLE TOGGLE SWITCH MOUNTED AT 48" A.F.F. TO CENTER OF SWITCH.
	120/277V - 20A THREE WAY TOGGLE SWITCH MOUNTED AT 48" A.F.F. TO CENTER OF SWITCH.
	120/277V - 20A FOUR WAY TOGGLE SWITCH MOUNTED AT 48" A.F.F. TO CENTER OF SWITCH.
	120V FAN SPEED CONTROL SWITCH FOR FIVE FANS
	120V INCANDESCENT, 1500 WATT, ROTARY STYLE DIMMER, EQUAL TO LUTRON CENTURION SERIES C-1500
	120V-20A WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR, MINIMUM 1/8 HP RATED, AND 800VA OVERALL RATING, SWITCH MOUNTED AT 48" A.F.F. TO CENTER OF SWITCH, LEVITON OSSMT-MD OR EQUAL.
(C)	CEILING MOUNTED
(D)	DEMO
(E)	EXISTING
(IG)	ISOLATED GROUND
(R)	RELOCATE
SF	STOREFRONT RECEPTACLE EITHER MOUNTED ABOVE WINDOW ON HEADER OR ON CEILING
ST	EQUIPMENT WIRED TO SHUNT TRIP BREAKER IN PANEL, LOCATED UNDER HOOD
WP	WEATHERPROOF BOX, WEATHER RESISTANT DEVICE



ELECTRICAL CODED NOTES

- E.C. SHALL MAINTAIN EXISTING RECEPTACLES AND WIRING WITHIN THIS AREA AND RECONNECT INTO NEW PANEL P2. FIELD VERIFY EXACT REQUIREMENTS.
- E.C. SHALL DEMO EXISTING WIRING IN THIS AREA. MAINTAIN WIRING AS NECESSARY FOR EXISTING WIRING SERVING DEVICES OR EQUIPMENT EXISTING TO REMAIN WITHIN THE BUILDING AS NECESSARY.

MEZZANINE ELECTRICAL POWER PLAN
SCALE: 1/8" = 1'-0"



ENGINEERING GROUP, LTD.
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COLUMBUS, OHIO 43215
614-225-1580
EMENGINEERINGGROUP.COM

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PROJECT NUMBER: **130398**
DESIGN BY: **JSE**

LAND-GRANT BREWING COMPANY
 TENANT IMPROVEMENT
 424 WEST TOWN STREET
 COLUMBUS OHIO, 43215

DATE

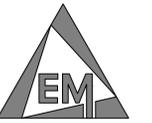
MARCH 4, 2014

REV# DATE DESCRIPTION

REV#	DATE	DESCRIPTION

ELECTRICAL POWER PLAN

E1.1



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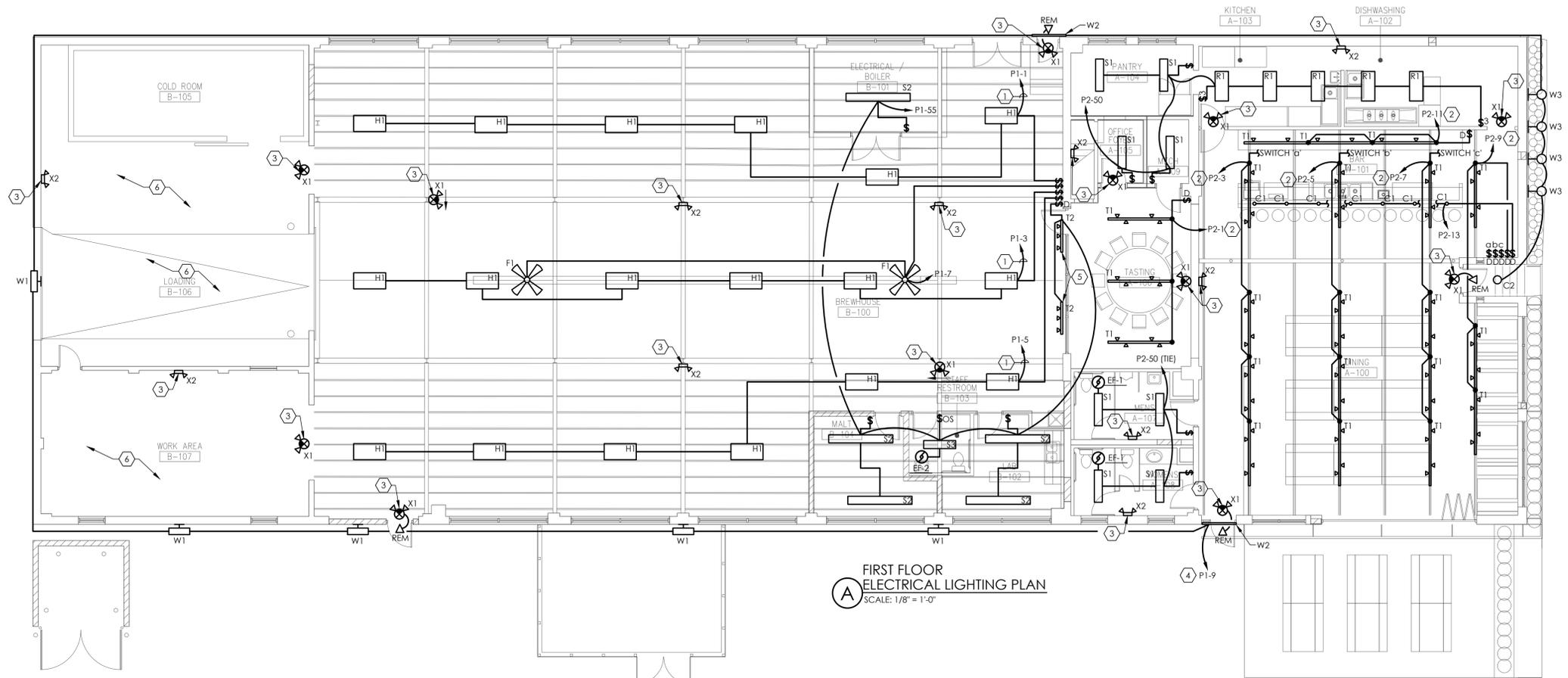
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TENANT IMPROVEMENT

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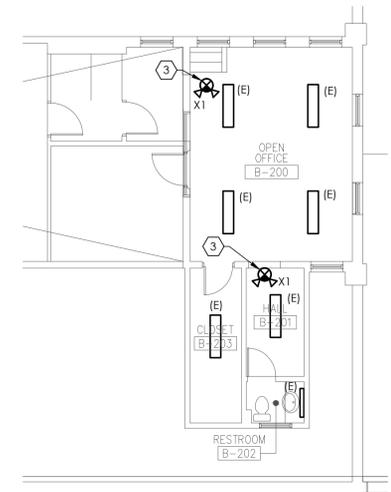


A FIRST FLOOR
ELECTRICAL LIGHTING PLAN
SCALE: 1/8" = 1'-0"

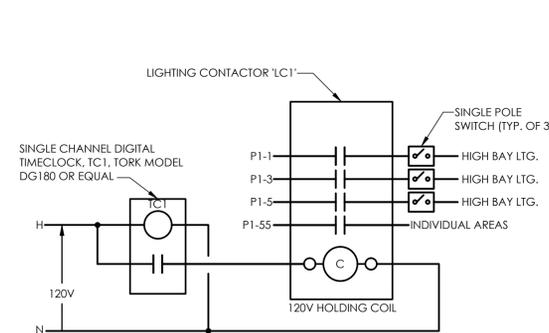
BUILDING LIGHT FIXTURE SCHEDULE					
FIXTURE ID	DESCRIPTION	LAMP TYPE	LAMP QTY	VOLTAGE	ADDITIONAL INFORMATION
H1	2X4 FLUORESCENT HIGHBAY LITHONIA CAT# IBZ-632-WD-GE10IS-IBAC120M20	32W T8 3500K	6	120	FIXTURE TO BE AIRCRAFT CABLE MOUNTED AND HELD TIGHT TO CEILING. COORDINATE EXACT REQUIRED CLEAR HEIGHT IN EACH AREA WITH OWNER PRIOR TO FINAL HEIGHT ADJUSTMENT.
R1	2X4 RECESSED, ACRYLIC LENS LITHONIA CAT# 2G18-3-32-A12/MVOLT-GE10IS	32W T8 3500K	3	120	
C1	DECORATIVE PENDANT FIXTURE ALLOWANCE \$200 EACH	26W TRT	1	120	
C2	EXTERIOR SURFACE MTD FIXTURE FIXTURE ALLOWANCE \$300 EACH	26W TRT	2	120	
S1	4' STRIP LIGHT WITH WIRE GUARD LITHONIA CAT# C232-MVOLT-GE10IS-WGCSMR48	32W T8 3500K	2	120	
S2	CHAIN HUNG 8' STRIP LIGHT LITHONIA CAT# TC232-MVOLT-GE10IS-HC36	32W T8 3500K	4	120	
S3	4' OPEN LAMP STRIP LIGHT LITHONIA CAT# C232-MVOLT-GE10IS	32W T8 3500K	2	120	
S4	CHAIN HUNG STRIP LIGHT LITHONIA CAT# C232-MVOLT-GE10IS-HC36	32W T8 3500K	4	120	
T1	8' TRACK SECTION WITH LINE VOLTAGE, TRACK LITHONIA CAT# LT8 TRACK HEADS LITHONIA CAT# LTC-GMBR-PAR20	PAR 20 50W	1	120	
T2	4' TRACK SECTION WITH LINE VOLTAGE, TRACK LITHONIA CAT# LT4 TRACK HEADS LITHONIA CAT# LTC-GMBR-PAR20	PAR 20 50W	1	120	
W1	EXTERIOR WALL MOUNTED LIGHT LITHONIA CAT# CSXW LED 30C 1000 50K 14M- MVOLT	104W LED	1	120	
W2	EXTERIOR WALL MOUNTED LIGHT LUMENPULSE CAT# LOG-HO-120-48-27K-60X60-SI	50W LED	1	120	
W3	EXTERIOR WALL MOUNTED LIGHT FIXTURE ALLOWANCE \$400 EACH	42W TRT	1	120	
X1	EXIT/EMERGENCY LIGHT COMBINATION WITH HIGH OUTPUT 90 MINUTE EMERGENCY BATTERY BACK-UP TO POWER REMOTE HEAD LITHONIA CAT# LHQMSW3R120/277-HO	8W HALOGEN & LED	2 INC	120	WHITE POLYCARBONATE HOUSING
X2	DUAL HEAD EMERGENCY LIGHT WITH 90 MINUTE EMERGENCY BATTERY BACK-UP LITHONIA CAT# 6ELM2PLUS-H	8W HAL.	2 INC	120	WHITE POLYCARBONATE HOUSING
REM	EXTERIOR WEATHERPROOF REMOTE HEAD LITHONIA CAT# ELAH1206	12W HAL.	1	6V	POWERED FROM FIXTURE X1. BLACK HOUSING, MOUNTED ABOVE OR ADJACENT TO EGRESS DOOR.

ELECTRICAL CODED NOTES

- ELECTRICAL CONTRACTOR SHALL WIRE LIGHTING CIRCUIT THROUGH LIGHTING CONTACTOR '1'.
- ELECTRICAL CONTRACTOR SHALL WIRE LIGHTING CIRCUIT THROUGH LIGHTING CONTACTOR '2'.
- ELECTRICAL CONTRACTOR SHALL WIRE EXIT/EMERGENCY FIXTURE TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING OR RELAYS.
- ELECTRICAL CONTRACTOR SHALL WIRE THROUGH TIMECLOCK CONTROLLING EXTERIOR LIGHTING.
- ELECTRICAL CONTRACTOR SHALL INSTALL TRACK LIGHT HORIZONTALLY ABOVE THE TASTING ROOM WINDOW AND BELOW OFFICE WINDOW ABOVE AND DIRECT TRACK HEADS TOWARDS BREWHOUSE TANKS FOR ILLUMINATION AT NIGHT.
- EXISTING GENERAL LIGHTING WITHIN THIS AREA SHALL REMAIN. E.C. SHALL RECONNECT TO NEW PANELBOARD IN THIS AREA WITH MATCHING CONDUCTOR AND CONDUIT SIZE.

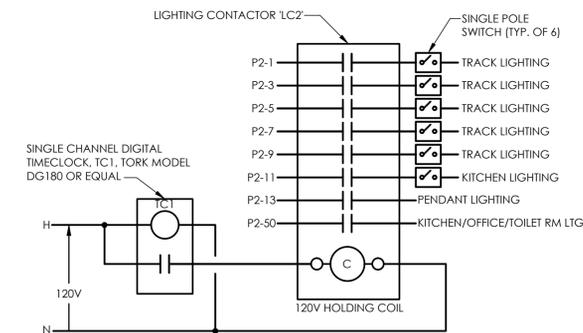


B MEZZANINE
ELECTRICAL LIGHTING PLAN
SCALE: 1/8" = 1'-0"



- WIRING NOTES:**
- E.C. TO FURNISH AND INSTALL LIGHTING CONTACTORS AND TIMECLOCKS AS SHOWN. CONTACTORS SHALL BE ELECTRICALLY HELD, ELECTRICALLY CONTROLLED, WITH FIELD REVERSIBLE NORMALLY OPEN/CLOSED CONTACTS RATED FOR 30A, 250V.

C LIGHTING CONTROL WIRING DIAGRAM
SCALE: N.T.S.



- WIRING NOTES:**
- E.C. TO FURNISH AND INSTALL LIGHTING CONTACTORS AND TIMECLOCKS AS SHOWN. CONTACTORS SHALL BE ELECTRICALLY HELD, ELECTRICALLY CONTROLLED, WITH FIELD REVERSIBLE NORMALLY OPEN/CLOSED CONTACTS RATED FOR 30A, 250V.

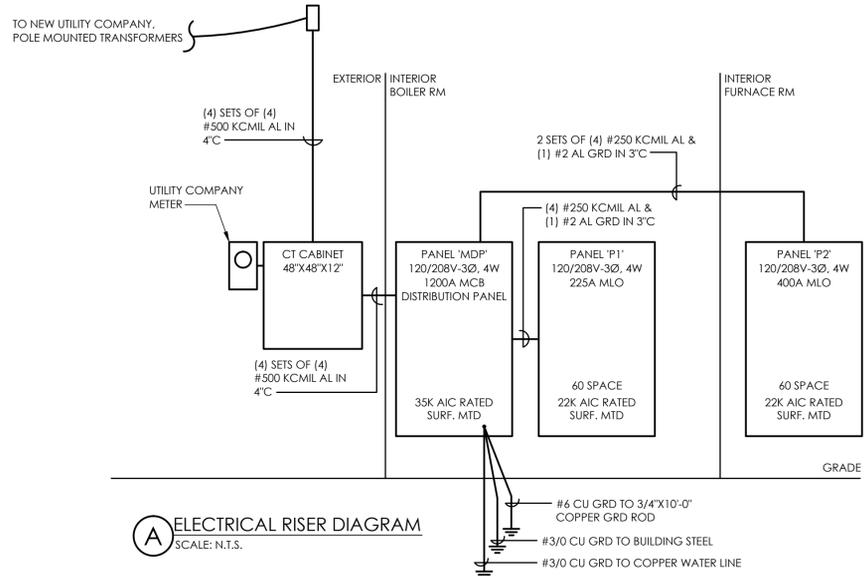
D LIGHTING CONTROL WIRING DIAGRAM
SCALE: N.T.S.

DATE
MARCH 4, 2014

REV#	DATE	DESCRIPTION

ELECTRICAL LIGHTING PLAN

E2.0



Panel ID: MDP		Voltage: 208 / 120		Panel Type: 1-LINE	
Location: BOILER ROOM		Phase: 3		Type Encl.: NEMA 1	
Mounting: SURFACE		Wire: 4		AIC Rating: 35,000	
Main Type: 1200A MCB		Bus Size: 1200 Amps			

All phases to be balanced to within 7% using actual connected loads.
All Circuit breakers shall be standard bolt-on type, unless noted otherwise.

CKT NO.	WIRE SIZE	BRANCH CIRCUIT DESCRIPTION	CKT BKR SIZE	CKT BKR OPTION	N.E.C. LOAD (KVA)	ACTUAL LOAD (KVA)	PHASE	ACTUAL LOAD (KVA)	N.E.C. LOAD (KVA)	CKT BKR SIZE	CKT BKR OPTION	BRANCH CIRCUIT DESCRIPTION	WIRE SIZE	CKT NO.
1	2	WMS CONTROLLER EQP#1	90/3		8.500	8.500	A	22.700	22.900	200/3		PANEL 'P1'	**	2
3	2	---	---		8.500	8.500	B	22.700	22.700	---		---	**	4
5	2	---	---		8.500	8.500	C	22.800	22.800	---		---	**	8
7	6	CRANE HOIST EQP#8	50/3		3.500	3.500	A	36.482	36.482	400/3		PANEL 'P2'	**	8
9	6	---	---		3.500	3.500	B	35.540	35.540	---		---	**	10
11	6	---	---		3.500	3.500	C	28.040	28.040	---		---	**	12
13	12	PORTABLE CIP PUMP EQP#7	20/3		0.800	0.800	A	0.000	0.000	200/3		AVAILABLE SPACE	---	14
15	12	---	---		0.800	0.800	B	0.000	0.000	---		---	---	16
17	12	---	---		0.800	0.800	C	0.000	0.000	---		---	---	18
19	**	GLYCOL CHILLER EQP#10	175/3		13.000	13.000	A	0.000	0.000	200/3		AVAILABLE SPACE	---	20
21	**	---	---		13.000	13.000	B	0.000	0.000	---		---	---	22
23	**	---	---		13.000	13.000	C	0.000	0.000	---		---	---	24
25	---	AVAILABLE SPACE	100/3		0.000	0.000	A	0.000	0.000	400/3		AVAILABLE SPACE	---	26
27	---	---	---		0.000	0.000	B	0.000	0.000	---		---	---	28
29	---	---	---		0.000	0.000	C	0.000	0.000	---		---	---	30
31	---	AVAILABLE SPACE	100/3		0.000	0.000	A	0.000	0.000	---		---	---	32
33	---	---	---		0.000	0.000	B	0.000	0.000	---		---	---	34
35	---	---	---		0.000	0.000	C	0.000	0.000	---		---	---	36

Actual Load Panel Summary			N.E.C. Load Panel Summary			Breaker Options (If Used):		
Phase A:	65.2 KVA		Phase A:	65.2 KVA	709.9 AMPS			
Phase B:	84.0 KVA		Phase B:	84.0 KVA	700.3 AMPS			
Phase C:	78.4 KVA		Phase C:	78.4 KVA	637.0 AMPS			
Total:	245.7 KVA		Total:	245.7 KVA	681.9 AMPS			

Panel ID: P1		Voltage: 208 / 120		Panel Type: NQOD	
Location: BOILER RM		Phase: 3		Type Encl.: NEMA 1	
Mounting: SURFACE		Wire: 4		AIC Rating: 22,000	
Main Type: 225A MLO		Bus Amperage: 225 Amps			

All phases to be balanced to within 7% using actual connected loads.

CKT NO.	WIRE SIZE	BRANCH CIRCUIT DESCRIPTION	CKT BKR SIZE	CKT BKR OPTION	N.E.C. LOAD (KVA)	ACTUAL LOAD (KVA)	PHASE	ACTUAL LOAD (KVA)	N.E.C. LOAD (KVA)	CKT BKR SIZE	CKT BKR OPTION	BRANCH CIRCUIT DESCRIPTION	WIRE SIZE	CKT NO.
1	12	BREWHOUSE LIGHTING	20/1	LC1	1.500	1.500	A	0.800	0.800	20/1		BREWHOUSE TANK CONTROLS	12	2
3	12	BREWHOUSE LIGHTING	20/1	LC1	1.500	1.500	B	0.800	0.800	20/1		BREWHOUSE TANK CONTROLS	12	4
5	12	BREWHOUSE LIGHTING	20/1	LC1	1.500	1.500	C	0.800	0.800	20/1		BREWHOUSE TANK CONTROLS	12	6
7	12	FANS	20/1		1.000	1.000	A	0.600	0.600	20/1		BOILER MOD AND CONTROLS	12	8
9	12	EXTERIOR LIGHTING	20/1	TC	1.200	1.200	B	0.800	0.800	20/1		BREWHOUSE RECEPPTS	12	10
11	12	EXISTING EQUIP	20/1		1.000	1.000	A	0.800	0.800	20/1		BREWHOUSE RECEPPTS	12	12
13	12	EXISTING EQUIP	20/1		1.000	1.000	B	0.800	0.800	20/1		BREWHOUSE RECEPPTS	12	14
15	12	EXISTING EQUIP	20/1		1.000	1.000	C	0.800	0.800	20/1		BREWHOUSE RECEPPTS	12	16
17	12	EXISTING EQUIP	20/1		1.000	1.000	A	0.800	0.800	20/1		BREWHOUSE RECEPPTS	12	18
19	12	EXISTING EQUIP	20/1		1.000	1.000	B	0.800	0.800	20/1		BREWHOUSE RECEPPTS	12	20
21	12	UNIT HEATER	20/1		1.000	1.000	C	0.800	0.800	20/1		WORK AREA RECEPPTS	12	22
23	12	UNIT HEATER	20/1		1.000	1.000	A	0.800	0.800	20/1		EXTERIOR RECEPPTS	12	24
25	10	ELECTRIC HEATER	20/2		1.500	1.500	B	0.800	0.800	20/1		EXTERIOR RECEPPTS	12	26
27	10	---	---		1.500	1.500	C	1.000	1.000	20/1		LAB RECEPPTS	12	28
29	12	BOILER PUMP	20/1		1.800	1.800	A	1.000	1.000	20/1		LAB RECEPPTS	12	30
31	10	MALT MILL EQP#14	30/3		2.000	2.000	A	0.600	0.600	20/1		LAB/TOILET RECEPPTS	12	32
33	10	---	---		2.000	2.000	B	0.600	0.600	20/2		COLD RM WALK-IN EVAP	12	34
35	10	---	---		2.000	2.000	C	0.600	0.600	---		---	12	36
37	10	KEG WASHER EQP#12	30/3		2.000	2.000	A	0.600	0.600	20/2		COLD RM WALK-IN EVAP	12	38
39	10	---	---		2.000	2.000	B	0.600	0.600	---		---	12	40
41	10	---	---		2.000	2.000	C	0.600	0.600	20/1		WALK-IN COOLER	12	42
43	10	FORK LIFT CHARGER EQP#13	30/3		2.500	2.500	A	3.000	3.000	40/3		COLD RM WALK-IN COND	6	44
45	10	---	---		2.500	2.500	B	3.000	3.000	---		---	6	46
47	10	---	---		2.500	2.500	C	3.000	3.000	---		---	6	48
49	12	COLD RM RECEP	20/1		0.800	0.800	A	1.200	1.200	20/3		EXHAUST FAN EF-4	12	50
51	12	WATER HEATER CONTROLS	20/1		0.600	0.600	B	1.200	1.200	---		---	12	52
53	12	FAN CONTROL POWER	20/1	LO	0.600	0.600	C	1.200	1.200	---		---	12	54
55	12	BREWHOUSE LIGHTING	20/1	LC1	1.000	1.000	A	0.000	0.000	20/1		SPARE	12	56
57	12	SPARE	20/1		0.000	0.000	B	0.000	0.000	20/1		SPARE	12	58
59	12	SPARE	20/1		0.000	0.000	C	0.000	0.000	20/1		SPARE	12	60

Actual Load Panel Summary			N.E.C. Load Panel Summary			Breaker Options (If Used):		
Phase A:	22.9 KVA		Phase A:	22.9 KVA	190.8 AMPS	TC - WIRE THRU TIME CLOCK		
Phase B:	22.7 KVA		Phase B:	22.7 KVA	189.2 AMPS	LO - LOCK-ON DEVICE		
Phase C:	22.6 KVA		Phase C:	22.6 KVA	188.3 AMPS	LC1 - WIRE THRU LIGHTING CONTACTOR		
Total:	68.2 KVA		Total:	68.2 KVA	189.3 AMPS			

Panel ID: P2		Voltage: 208 / 120		Panel Type: NQOD	
Location: FURNACE RM		Phase: 3		Type Encl.: NEMA 1	
Mounting: SURFACE		Wire: 4		AIC Rating: 22,000	
Main Type: 400A MLO		Main Size: 400 Amps			

All phases to be balanced to within 7% using actual connected loads.

CKT NO.	WIRE SIZE	BRANCH CIRCUIT DESCRIPTION	CKT BKR SIZE	CKT BKR OPTION	N.E.C. LOAD (KVA)	ACTUAL LOAD (KVA)	PHASE	ACTUAL LOAD (KVA)	N.E.C. LOAD (KVA)	CKT BKR SIZE	CKT BKR OPTION	BRANCH CIRCUIT DESCRIPTION	WIRE SIZE	CKT NO.
1	12	TRACK LIGHTING	20/1	LC2	1.800	0.800	A	2.500	2.500	30/3		RTU-1	10	2
3	12	TRACK LIGHTING	20/1	LC2	2.400	0.800	B	2.500	2.500	---		---	10	4
5	12	TRACK LIGHTING	20/1	LC2	2.400	0.800	C	2.500	2.500	---		---	10	6
7	12	TRACK LIGHTING	20/1	LC2	2.400	0.800	A	2.500	2.500	30/3		RTU-2	10	8
9	12	TRACK LIGHTING	20/1	LC2	1.800	0.800	B	2.500	2.500	---		---	10	10
11	12	TRACK LIGHTING	20/1	LC2	1.800	0.800	C	2.500	2.500	---		---	10	12
13	12	BAR LIGHTING	20/1		0.182	0.182	A	2.500	2.500	30/3		RTU-3	10	14
15	12	TASTING RM RECEP	20/1		0.540	0.540	B	2.500	2.500	---		---	10	16
17	12	DINING RECEP	20/1		0.540	0.540	C	2.500	2.500	---		---	10	18
19	12	ICE MACHINE	20/1		1.800	1.800	A	3.500	3.500	40/2		HP-1	8	20
21	12	BAR EQUIP RECEP	20/1		1.500	1.500	B	3.500	3.500	---		---	8	22
23	12	BAR EQUIP RECEP	20/1		1.500	1.500	C	1.500	1.500	20/1		F-1	12	24
25	12	BAR EQUIP RECEP	20/1		1.500	1.500	A	3.500	3.500	40/2		HP-2	8	26
27	12	BAR EQUIP RECEP	20/1		1.500	1.500	B	3.500	3.500	---		---	8	28
29	12	POS RECEP	20/1		1.000	1.000	C	1.500	1.500	20/1		F-2	12	30
31	12	BACK-BAR RECEP	20/1		1.500	1.500	A	0.800	0.800	20/1		WALK-IN COOLER	12	32
33	12	BACK-BAR RECEP	20/1		1.500	1.500	B	0.800	0.800	20/2		WALK-IN COOLER EVAP	12	34
35	12	PANTRY RECEP	20/1		1.000	1.000	C	0.800	0.800	---		---	12	36
37	12	PANTRY RECEP	20/1		1.000	1.000	A	2.000	2.000	30/2		WALK-IN COOLER COND.	10	38
39	12	KITCHEN RECEP	20/1		1.000	1.000	B	2.000	2.000	---		---	10	40
41	12	KITCHEN RECEP	20/1		1.000	1.000	C	0.000	0.000	20/1		SPARE	8	42
43	12	KITCHEN RECEP	20/1		1.000	1.000	A	4.500	4.500	50/3		CONVECTION OVEN	6	44
45	12	KITCHEN RECEP	20/1		1.000	1.000	B	4.500	4.500	---		---	6	46
47	12	KITCHEN RECEP	20/1		1.000	1.000	C	4.500	4.500	---		---	6	48
49	12	DISHWASHING RECEP	20/1		1.500	1.500	A	1.200	1.200	LC2	20/1	OFFICE/TOILET RM LTG	12	50
51	12	OFFICE FOYER RECEP	20/1		1.500	1.500	B	0.000	0.000	20/1		SPARE	12	52
53	12	EXISTING EQUIP	20/1		1.000	1.000	C	0.000	0.000	20/1		SPARE	12	54
55	12	EXISTING EQUIP	20/1		1.000	1.000	A	0.000	0.000	20/1		SPARE	12	56
57	12	EXISTING EQUIP	20/1		1.000	1.000	B	0.000	0.000	20/1		SPARE	12	58
59	12	EXISTING EQUIP	20/1		1.000	1.000	C	0.000	0.000	20/1		SPARE	12	60

Actual Load Panel Summary			N.E.C. Load Panel Summary			Breaker Options (If Used):		
Phase A:	33.7 KVA		Phase A:	36.5 KVA	304.0 AMPS	LC2 - WIRE THRU LIGHTING CONTACTOR		
Phase B:	32.7 KVA		Phase B:	35.5 KVA	296.2 AMPS			
Phase C:	25.2 KVA		Phase C:	28.0 KVA	233.7 AMPS			
Total:	91.7 KVA		Total:	100.1 KVA	277.7 AMPS			

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PROJECT NUMBER: 130398
DESIGN BY: JSE