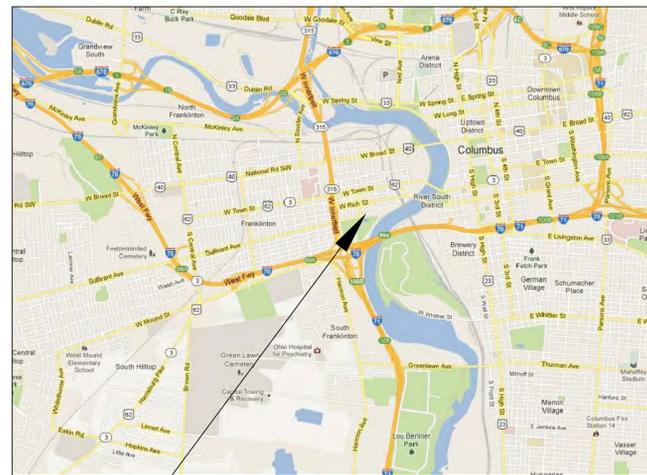


DEMOLITION OF SUNSHINE TERRACE

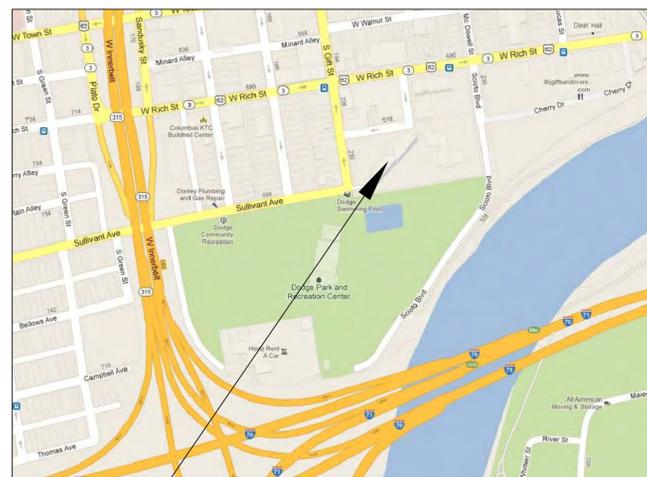
272 South Gift Street
Columbus, Ohio 43215

VICINITY MAP



PROJECT SITE

LOCATION MAP



PROJECT SITE



PREPARED FOR

COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA):
880 EAST ELEVENTH AVENUE
COLUMBUS, OHIO 43211

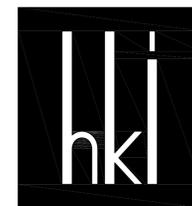
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DARRELL GAMMELL, VICE CHAIRMAN
JAMIE ROBERSON, COMMISSIONER
JAMES L. ERVIN, JR, COMMISSIONER

CMHA EXECUTIVE STAFF

CHARLES HILLMAN, PRESIDENT & C.E.O
TRACEY RUDY, CHIEF OPERATING OFFICER

PREPARED BY



HKI ASSOCIATES, INC.

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PROJECT NAME
 CMHA DEMOLITION OF
 SUNSHINE TERRACE
 272 SOUTH GIFT STREET
 COLUMBUS, OHIO 43215

OWNER
 COLUMBUS METROPOLITAN
 HOUSING AUTHORITY (CMHA)
 800 EAST ELEVENTH AVENUE
 COLUMBUS, OHIO 43211

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DATE: PROJECT STATUS
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 DESIGN DEVELOPMENT
 5-23-2013 CONSTRUCTION DOCUMENTS
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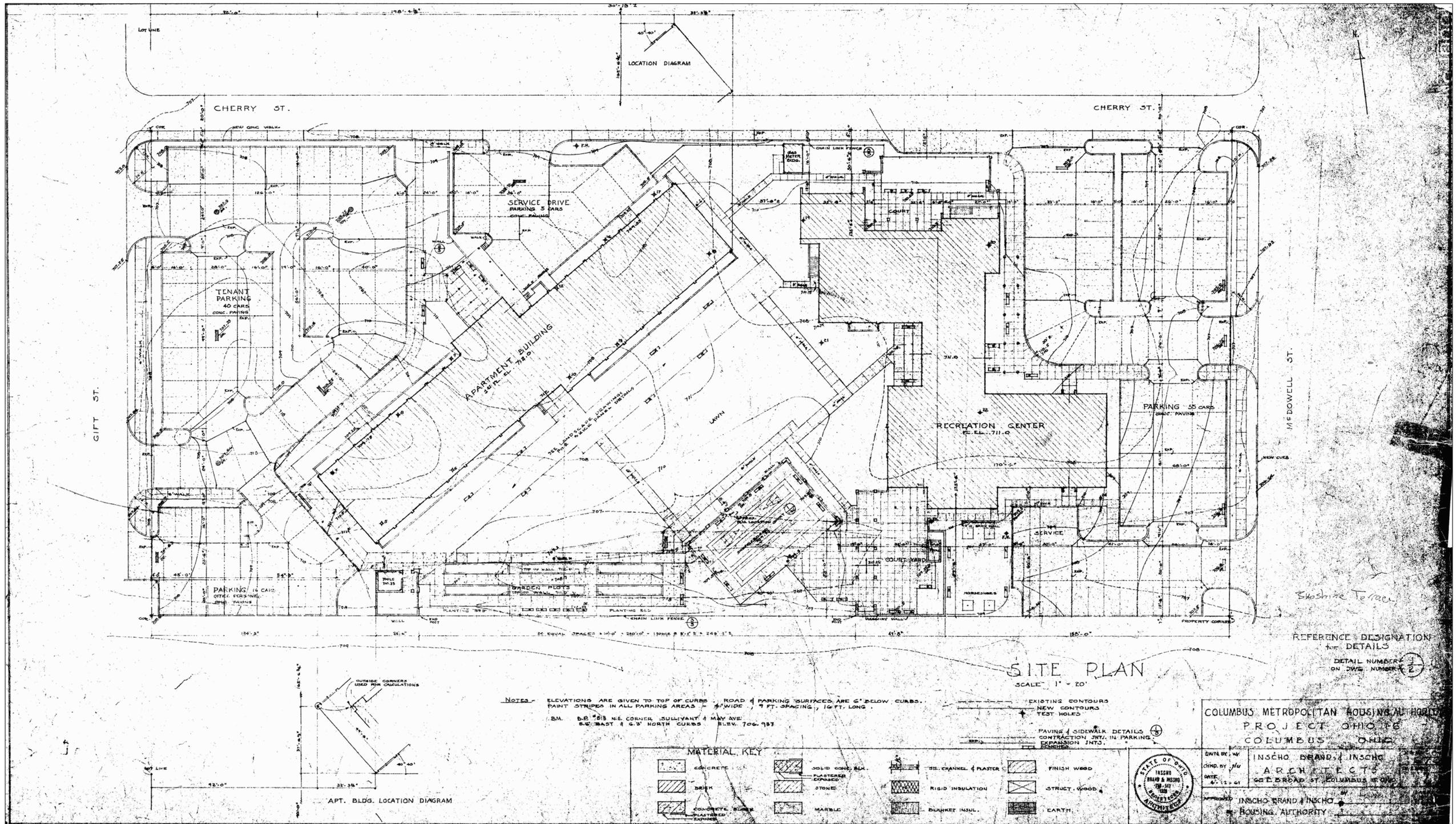
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REVISION NUMBER

KEY PLAN

SHEET NAME
 SITE PLAN

SHEET NUMBER
 REF 1.0



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PROJECT NAME
 CMHA DEMOLITION OF
 SUNSHINE TERRACE
 272 SOUTH GIFT STREET
 COLUMBUS, OHIO 43215

OWNER
 COLUMBUS METROPOLITAN
 HOUSING AUTHORITY (CMHA)
 800 EAST ELEVENTH AVENUE
 COLUMBUS, OHIO 43211

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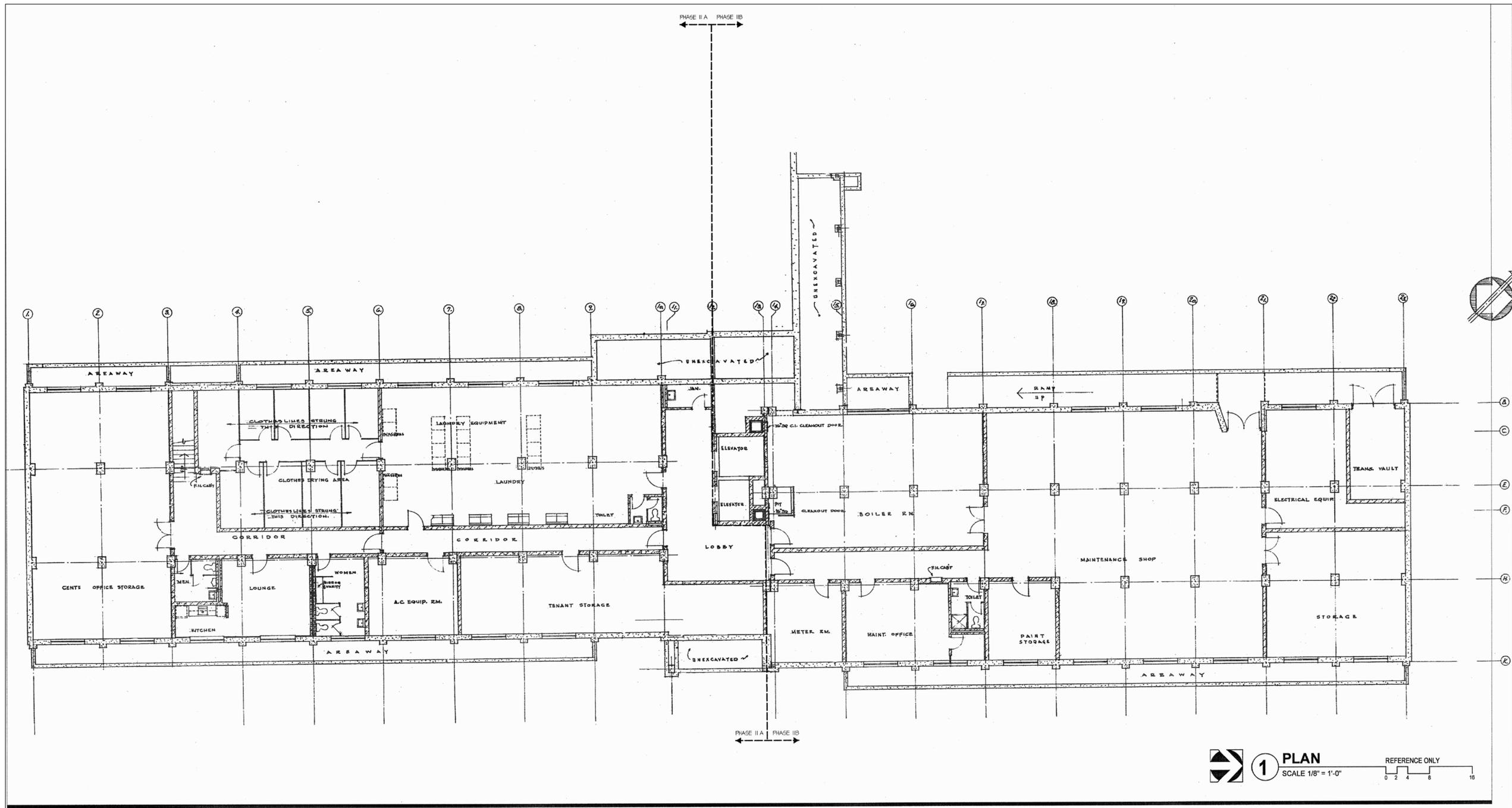
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1 PLAN
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 REFERENCE ONLY

DATE: _____

PROJECT STATUS

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- PROGRAMMING
- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS
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REVISION NUMBER

KEY PLAN

SHEET NAME
 BASEMENT
 FLOOR PLAN

SHEET NUMBER
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PROJECT NAME
 CMHA DEMOLITION OF
 SUNSHINE TERRACE
 272 SOUTH GIFT STREET
 COLUMBUS, OHIO 43215

OWNER
 COLUMBUS METROPOLITAN
 HOUSING AUTHORITY (CMHA)
 880 EAST ELEVENTH AVENUE
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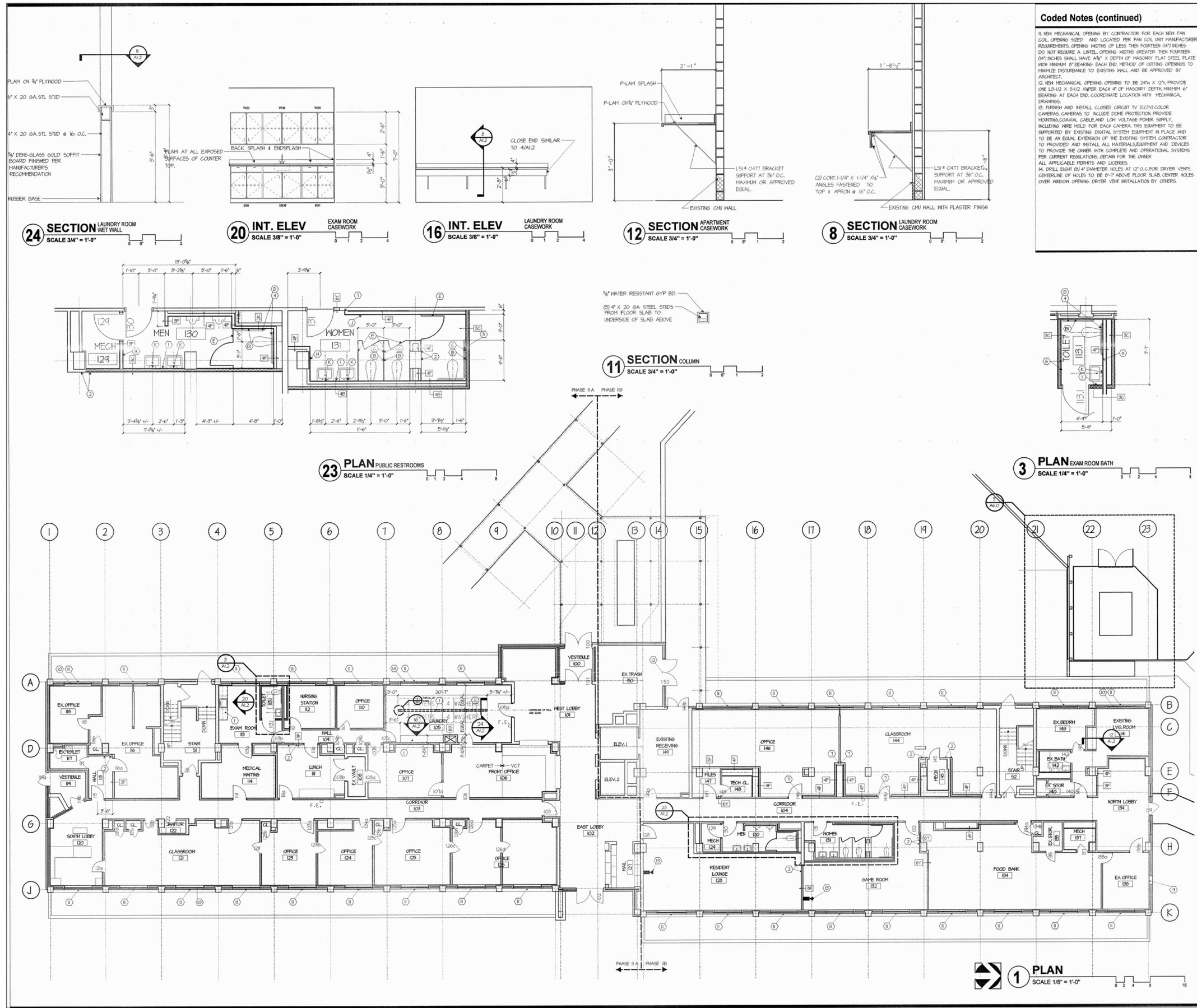
KEY PLAN

SHEET NAME
 FIRST FLOOR
 PLAN

SHEET NUMBER
 REF 1.2

Coded Notes (continued)

11. NEW MECHANICAL OPENING BY CONTRACTOR FOR EACH NEW FAN COIL OPENING (SIZE) AND LOCATED PER FAN COIL UNIT MANUFACTURER'S REQUIREMENTS, OPENING WIDTHS OF LESS THAN FOURTEEN (14") INCHES DO NOT REQUIRE A LINTEL. OPENING WIDTHS GREATER THAN FOURTEEN (14") INCHES SHALL HAVE AN "X" DEPTH OF MASONRY FLAT STEEL PLATE WITH MINIMUM 8" BEARING EACH END. METHOD OF FITTING OPENINGS TO MINIMIZE DISTURBANCE TO EXISTING WALL AND BE APPROVED BY ARCHITECT.
 12. NEW MECHANICAL OPENING, OPENING TO BE 24" X 12", PROVIDE ONE 1/2" X 3/4" X 3/4" X 3/4" MASONRY DEPTH MINIMUM 6" BEARING AT EACH END. COORDINATE LOCATION WITH MECHANICAL DRAWINGS.
 13. FURNISH AND INSTALL CLOSED CIRCUIT TV (CCTV) COLOR CAMERA. CAMERAS TO INCLUDE DOME PROTECTION. PROVIDE MOUNTING CANAL, CABLE AND LOW VOLTAGE POWER SUPPLY INCLUDING WIRE MOLD FOR EACH CAMERA. THIS EQUIPMENT TO BE SUPPORTED BY EXISTING DIGITAL SYSTEM EQUIPMENT IN PLACE AND TO BE AN EQUAL EXTENSION OF THE EXISTING SYSTEM. CONTRACTOR TO PROVIDE AND INSTALL ALL MATERIALS, EQUIPMENT AND DEVICES TO PROVIDE THE OWNER WITH COMPLETE AND OPERATIONAL SYSTEMS PER CURRENT REGULATIONS. OBTAIN FOR THE OWNER ALL APPLICABLE PERMITS AND LICENSES.
 14. DRILL EIGHT (8) 4" DIAMETER HOLES AT 12" O.C. FOR DRYER VENTS. CENTERLINE OF HOLES TO BE 8" ABOVE FLOOR SLAB. CENTER HOLES OVER WINDOW OPENING. DRYER VENT INSTALLATION BY OTHERS.



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PROJECT NAME
CMHA DEMOLITION OF SUNSHINE TERRACE
 272 SOUTH GIFT STREET
 COLUMBUS, OHIO 43215

OWNER
COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA)
 880 EAST ELEVENTH AVENUE
 COLUMBUS, OHIO 43211

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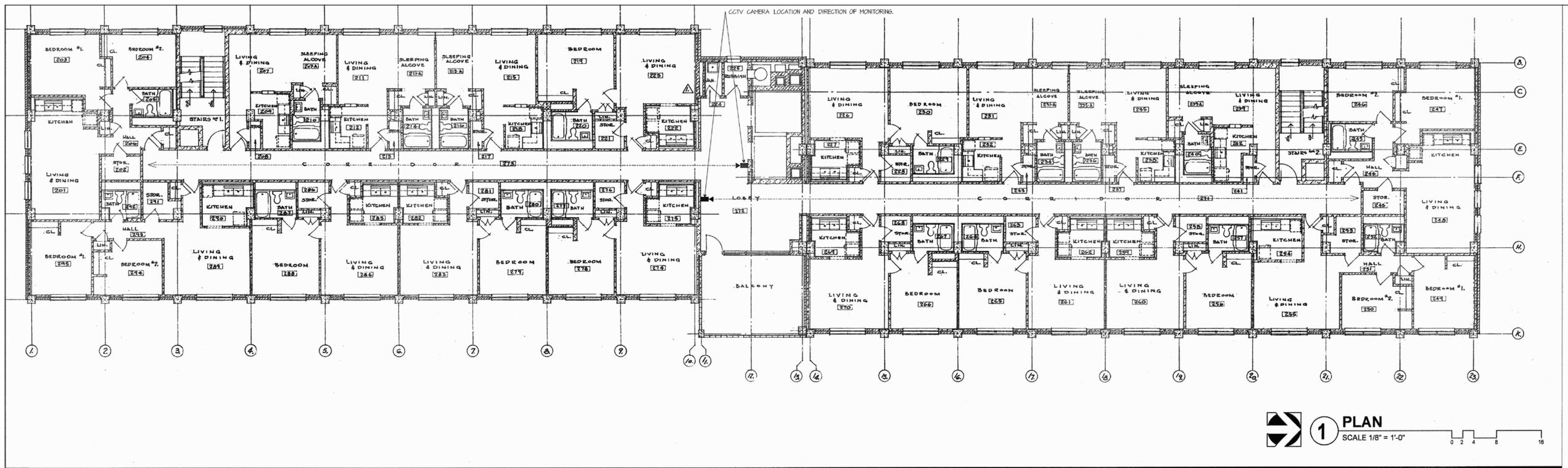
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1 PLAN
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ISSUE DATE: 5-23-13

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KEY PLAN

SHEET NAME
 FLOORS 2-11

SHEET NUMBER
 REF 1.3

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PROJECT NAME
CMHA DEMOLITION OF SUNSHINE TERRACE
 272 SOUTH GIFT STREET
 COLUMBUS, OHIO 43215
OWNER
COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA)
 800 EAST ELEVENTH AVENUE
 COLUMBUS, OHIO 43211

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DATE: _____ **PROJECT STATUS**
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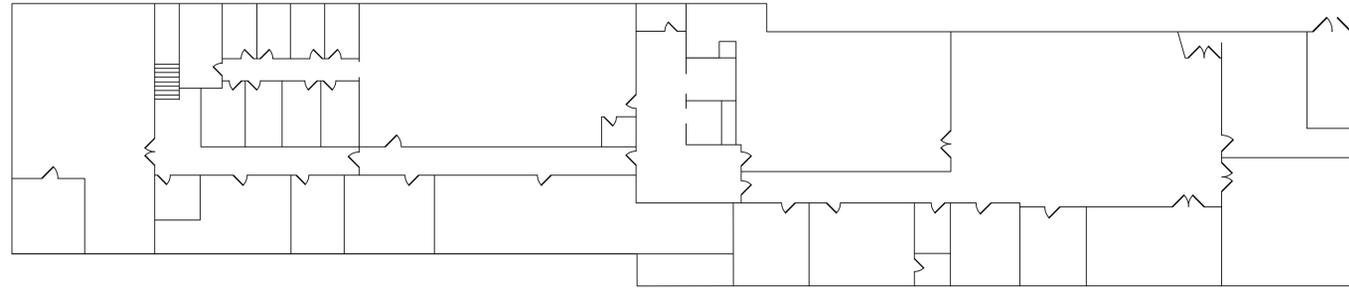
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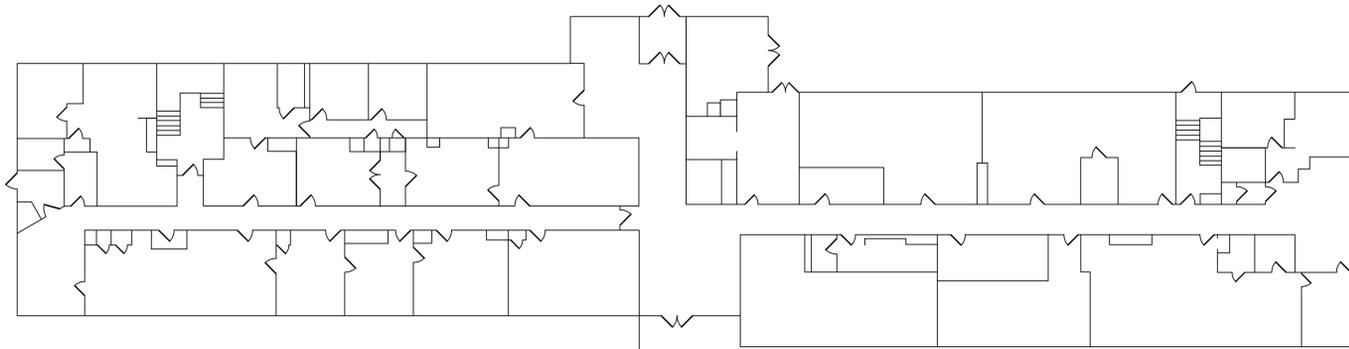
KEY PLAN

SHEET NAME
 BUILDING EXTERIOR

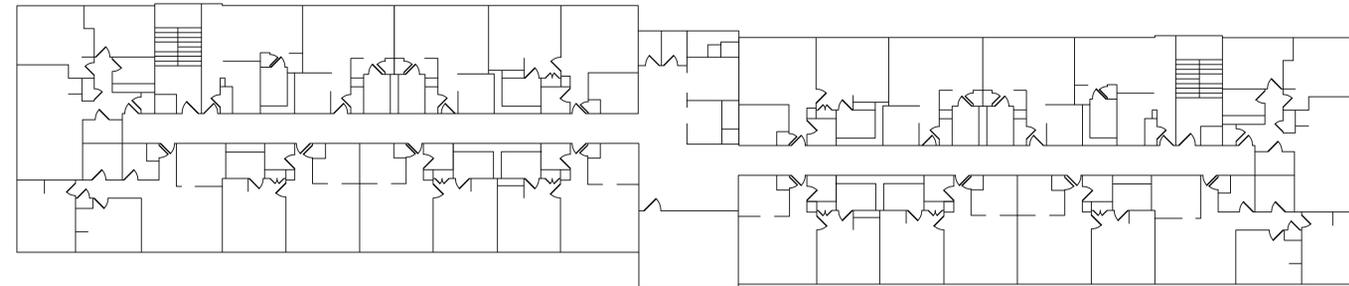
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 REF 1.4



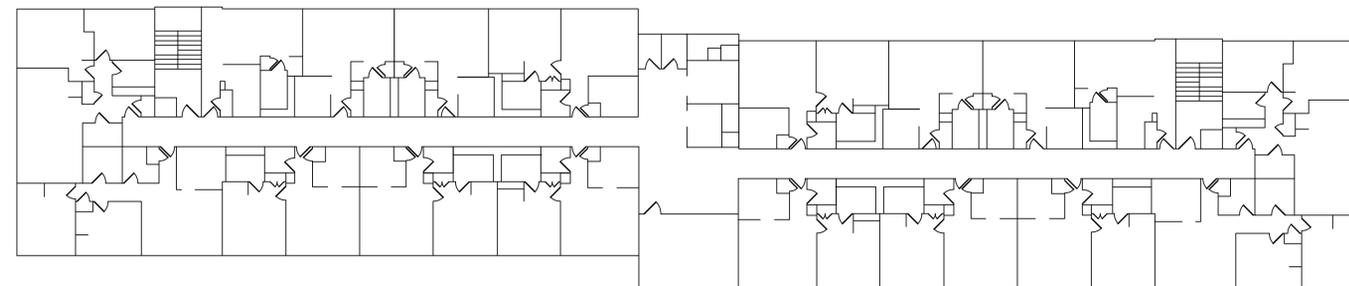
HAZARDOUS MATERIAL ABATEMENT PLAN - BASEMENT
SCALE: NOT TO SCALE



HAZARDOUS MATERIAL ABATEMENT PLAN - FIRST FLOOR
SCALE: NOT TO SCALE



HAZARDOUS MATERIAL ABATEMENT PLAN - FLOORS 2 THROUGH 8
SCALE: NOT TO SCALE



HAZARDOUS MATERIAL ABATEMENT PLAN - FLOORS 9 THROUGH 11
SCALE: NOT TO SCALE

ASBESTOS CONTAINING MATERIALS:

THE ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF THE FOLLOWING TOTAL APPROXIMATE QUANTITIES OF ASBESTOS CONTAINING MATERIALS. SPECIFIC LOCATIONS ARE NOT DEPICTED ON THE DRAWING(S).

ACM	General Location	Total Approximate Quantity
Floor Tile & Mastic (1)	Throughout Floors 9 through 11; and Basement Storage Rooms	39,650 square feet
Pipe Fittings (2)	Throughout the Building	3,785 fittings
Linoleum, Paper Backing & Adhesive	Floors 2 through 11 Restrooms	4,500 square feet
Exterior Window Sill Caulking System (3)	Throughout the Building	505 window systems

- (1) THE CORRIDORS AND SELECT ROOMS WITHIN THE BUILDING TYPICALLY CONTAIN TWO (2) LAYERS OF FLOOR TILE AND MASTIC. THE INTENT OF REMOVING THE FLOOR TILE AND MASTIC IS TO MEET THE CITY'S MINIMUM RECYCLING REQUIREMENTS.
- (2) INTERIOR DEMOLITION WILL BE NEEDED TO ACCESS THIS MATERIAL. THE CONTRACTOR AT A MINIMUM SHALL COMPLETE ONE (1) HOLE/PENETRATION THROUGH EACH CEILING, WALL, CHASE AND SOFFIT IN ALL ROOMS TO CONFIRM ASBESTOS CONTAINING PIPE FITTINGS ON FIBERGLASS LINES ARE PRESENT. ONCE CONFIRMED, THE CONTRACTOR WILL PERFORM ALL NECESSARY INTERIOR DEMOLITION TO ACCESS THE ACM. THE CONTRACTOR MAY USE MECHANICAL EQUIPMENT AND/OR HAND OPERATED TOOLS TO COMPLETE THESE HOLES/PENETRATIONS.
- (3) TOTAL NUMBER OF WINDOW SYSTEMS TO BE REMOVED FROM THE ENTIRE BUILDING. MATERIAL CONSISTS OF APPROXIMATELY 8 LINEAR INCHES OF SILL CAULKING PER EACH WINDOW SYSTEM.

THE ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF THE FOLLOWING TOTAL APPROXIMATE QUANTITIES OF ASBESTOS CONTAINING MATERIALS PER FLOOR:

- BASEMENT: 135 PIPE FITTINGS; 1,250 SQUARE FEET OF FLOOR TILE AND MASTIC
- FIRST FLOOR: 330 PIPE FITTINGS
- TYPICAL FOR FLOORS 2 THROUGH 8: 330 PIPE FITTINGS; 450 SQUARE FEET OF LINOLEUM, PAPER BACKING & ADHESIVE
- TYPICAL FOR FLOORS 9 THROUGH 11: 12,800 SQUARE FEET OF FLOOR TILE AND MASTIC; 330 PIPE FITTINGS; 450 SQUARE FEET OF LINOLEUM, PAPER BACKING & ADHESIVE
- PENTHOUSE AREAS: 20 PIPE FITTINGS
- THROUGHOUT BUILDING: 505 EXTERIOR WINDOW SILL CAULKING SYSTEMS

GENERAL NOTES:

1. ALL QUANTITIES AND LOCATIONS ARE ESTIMATES. THE ABATEMENT CONTRACTOR MUST VERIFY FIELD CONDITIONS AND SUBMIT EXCEPTIONS TO THE SPECIFICATION PRIOR TO 72 HOURS BEFORE BIDS ARE DUE. IF NO OBJECTIONS ARE MADE PRIOR TO SUBMITTAL OF BID, CONTRACTOR ASSUMES RESPONSIBILITY FOR VARIANCE IN TYPE, AMOUNT AND LOCATION OF MATERIAL.
2. THE ABATEMENT CONTRACTOR SHALL REFERENCE THE DEMOLITION PLANS FOR LOCATIONS OF WORK AREAS.
3. THE ABATEMENT CONTRACTOR SHALL DECONTAMINATE ALL BUILDING MATERIALS, WHICH BECOME CONTAMINATED OR ARE DISTURBED FROM ASBESTOS AND OTHER HAZARDOUS MATERIAL REMOVAL.
4. THE OWNER, ARCHITECT AND CONSULTANT HAVE THE RIGHT TO CONTROL LOCATION OF ALL CONTRACTOR'S SUPPLIES AND STORAGE.
5. THE ABATEMENT CONTRACTOR SHALL COORDINATE ON SITE WORK WITH OWNER, ARCHITECT AND CONSULTANT TO FACILITATE THE PROMPT COMPLETION OF ALL ASPECTS OF THE ABATEMENT/DEMOLITION PROJECT.
6. THE ABATEMENT CONTRACTOR IS RESPONSIBLE FOR MOVING OWNER'S EQUIPMENT AND OR MATERIALS LEFT IN THE WORK AREAS AS NECESSARY TO COMPLETE ABATEMENT WORK. THIS INCLUDES ALL CABINETS, SHELVING UNITS, INTERIOR WALLS, DECORATIVE MOLDINGS, ETC., IF NEEDED.
7. THE ABATEMENT CONTRACTOR IS TO ADHERE TO THE OSHA STANDARD 29 CFR 1926.62 LEAD EXPOSURE IN CONSTRUCTION WHEN PERFORMING SELECTIVE DEMOLITION WORK PRACTICES IMPACTING OR DISTURBING ANY BUILDING MATERIALS. CONTRACTOR MUST CONDUCT DAILY EXPOSURE MONITORING FOR LEAD-IN-THE-AIR AND COMPLY WITH ALL APPLICABLE REGULATIONS.
8. SPECIAL CARE SHOULD BE TAKEN WHEN WORKING NEAR ELECTRIC, WATER, STEAM, AND GAS SUPPLY LINES.
9. THE ABATEMENT CONTRACTOR IS RESPONSIBLE FOR FOLLOWING AND ADHERING TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE SET FORTH BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (USEPA), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND THE OHIO DEPARTMENT OF HEALTH (ODH).
10. THE ABATEMENT CONTRACTOR WILL BE REQUIRED TO COLLECT DAILY OSHA PERSONAL MONITORING DURING ASBESTOS ABATEMENT WORK PRACTICES. PHASE CONTRAST MICROSCOPY (PCM) SAMPLES ARE TO BE ANALYZED AND POSTED ON-SITE WITHIN 24 HOURS OF COLLECTION.
11. THE ABATEMENT CONTRACTOR SHALL PROVIDE A SUFFICIENT NUMBER OF CERTIFIED WORKERS AND SUPERVISORS TO ACCOMPLISH THE SPECIFIED WORK WITHIN THE TIMEFRAME SET FORTH BY THE PROJECT SCHEDULE.
12. THE ABATEMENT CONTRACTOR WILL REMOVE AND PROPERLY DISPOSE OF ALL MERCURY CONTAINING FLUORESCENT BULBS, THERMOSTATS, AND PRESSURE GAUGES; AND ALL BALLASTS (NON-PCB AND PCB CONTAINING) THROUGHOUT THE BUILDING.
13. THE ABATEMENT CONTRACTOR SHALL PERFORM ANY AND ALL SELECTIVE DEMOLITION REQUIRED TO ACCESS AND REMOVE HAZARDOUS MATERIALS. THE ABATEMENT CONTRACTOR AT A MINIMUM SHALL COMPLETE ONE (1) HOLE/PENETRATION THROUGH EACH CEILING, WALL, AND SOFFIT IN ROOMS/AREAS SPECIFIED ON THE DRAWINGS TO CONFIRM ASBESTOS CONTAINING PIPE FITTINGS ON FIBERGLASS LINES IS PRESENT. ONCE CONFIRMED, THE ABATEMENT CONTRACTOR WILL PERFORM ALL NECESSARY INTERIOR DEMOLITION TO ACCESS THE ACM. THE ABATEMENT CONTRACTOR MAY USE MECHANICAL EQUIPMENT AND/OR HAND OPERATED TOOLS TO COMPLETE THESE HOLES/PENETRATIONS.
14. APPROXIMATELY 14,500 SQUARE FEET OF ASSUMED ASBESTOS CONTAINING ROOFING MATERIALS AND 103,300 SQUARE FEET OF ASSUMED ASBESTOS CONTAINING FLOOR TILE (SOME MASTIC) WILL REMAIN IN THE BUILDING DURING DEMOLITION ACTIVITIES. CATEGORY 1 ASBESTOS CONTAINING MATERIALS WHICH ARE INTACT MAY BE LEFT IN PLACE DURING ROUTINE DEMOLITION ACTIVITIES AS LONG AS THE MATERIAL REMAINS INTACT AND IS NOT SANDED, GROUND, CUT OR ABRADED. ADDITIONALLY, THE MATERIALS MAY NOT BE ABANDONED ON-SITE OR RECYCLED. THIS MATERIAL MUST BE LISTED ON THE OHIO EPA NOTIFICATION AS ACM TO REMAIN.



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PROJECT NAME
DEMOLITION OF SUNSHINE TERRACE

OWNER
CITY OF COLUMBUS
90 WEST BROAD ST.
ROOM NO. 425
COLUMBUS, OHIO 43205

DESIGN ARCHITECT
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DATE: 5-23-2013
PROJECT STATUS:
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ISSUE DATE 05-23-13

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KEY PLAN

SHEET NAME
HAZARDOUS MATERIALS
ABATEMENT PLAN

SHEET NUMBER
HM-1

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PROJECT NAME
CMHA DEMOLITION OF SUNSHINE TERRACE
 372 SOUTH GIFT STREET
 COLUMBUS, OHIO 43215

OWNER
COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA)
 880 EAST ELEVENTH AVENUE
 COLUMBUS, OHIO 43211

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DATE:	PROJECT STATUS
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	<input type="radio"/> PROGRAMMING
	<input type="radio"/> SCHEMATIC DESIGN
	<input type="radio"/> DESIGN DEVELOPMENT
5-23-2013	<input checked="" type="radio"/> CONSTRUCTION DOCUMENTS
	<input type="radio"/> REVISION
	<input type="radio"/> NOT FOR CONSTRUCTION

PM	PA	CAD
KO	KO	EEA

ISSUE DATE
 5-23-13

REVISION NUMBER

KEY PLAN

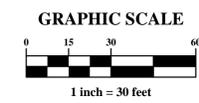
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EXISTING CONDITIONS PLAN

SHEET NUMBER

C-01

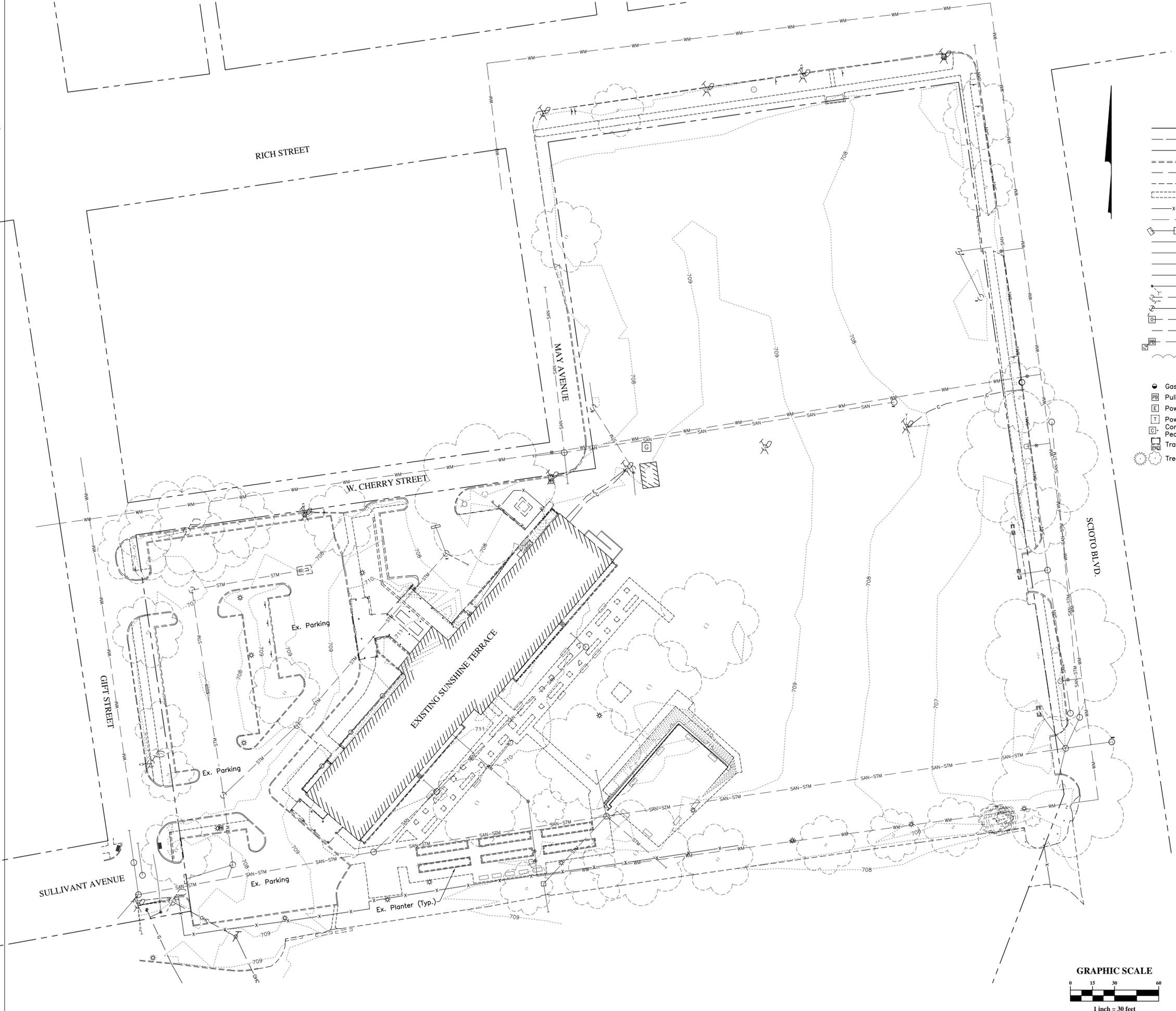
LEGEND EXISTING

	Right-of-Way
	Easement
	Ditch Centerline
	Concrete Curb
	Edge of Pavement
	Edge of Shoulder
	Sidewalk
	Fence
	Water
	Storm
	Sanitary
	Overhead Lighting
	Underground Lighting
	Underground Duct Bank
	Overhead Electric
	Electric
	Overhead Communications
	Communications
	Natural Gas
	Traffic Conduit
	Edge of Trees/Brush
	Light Pole
	Gas Marker
	Pull Box
	Power Fixture
	Power Transformer
	Communications Pedestal
	Traffic Control Pad
	Manhole
	Fire Hydrant
	Water Valve
	Storm Inlet
	Signal Pole
	Sign
	Flag Pole
	Tree



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 Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers • Surveyors • Planners • Scientists
 5500 New Albany Road Columbus, OH 43054
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 emht.com

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 5 Xref: 20131270-05-TITLE, 20131270-05-REFR-E, Concept, Legend, CS-REFR-E, CS-REFR-N



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CMHA DEMOLITION OF SUNSHINE TERRACE
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 COLUMBUS, OHIO 43215

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COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA)
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CODED NOTES

- Adjust or reconstruct storm sewer structures to finished grade. Slope adjacent areas to drain to structures.
- Grade break line
- Provide Dandy Bag inlet protection at inlets located within the construction entrance area.

KEY PLAN

SHEET NAME
GRADING AND SEDIMENT & EROSION CONTROL PLAN

SHEET NUMBER
C1.1

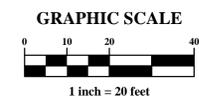
LEGEND EXISTING

	Right-of-Way
	Easement
	Ditch Centerline
	Concrete Curb
	Edge of Pavement
	Edge of Shoulder
	Sidewalk
	Fence
	Water
	Storm Sanitary
	Overhead Lighting
	Underground Lighting
	Underground Duct Bank
	Overhead Electric
	Electric
	Overhead Communications
	Communications
	Natural Gas
	Traffic Conduit
	Edge of Trees/Brush

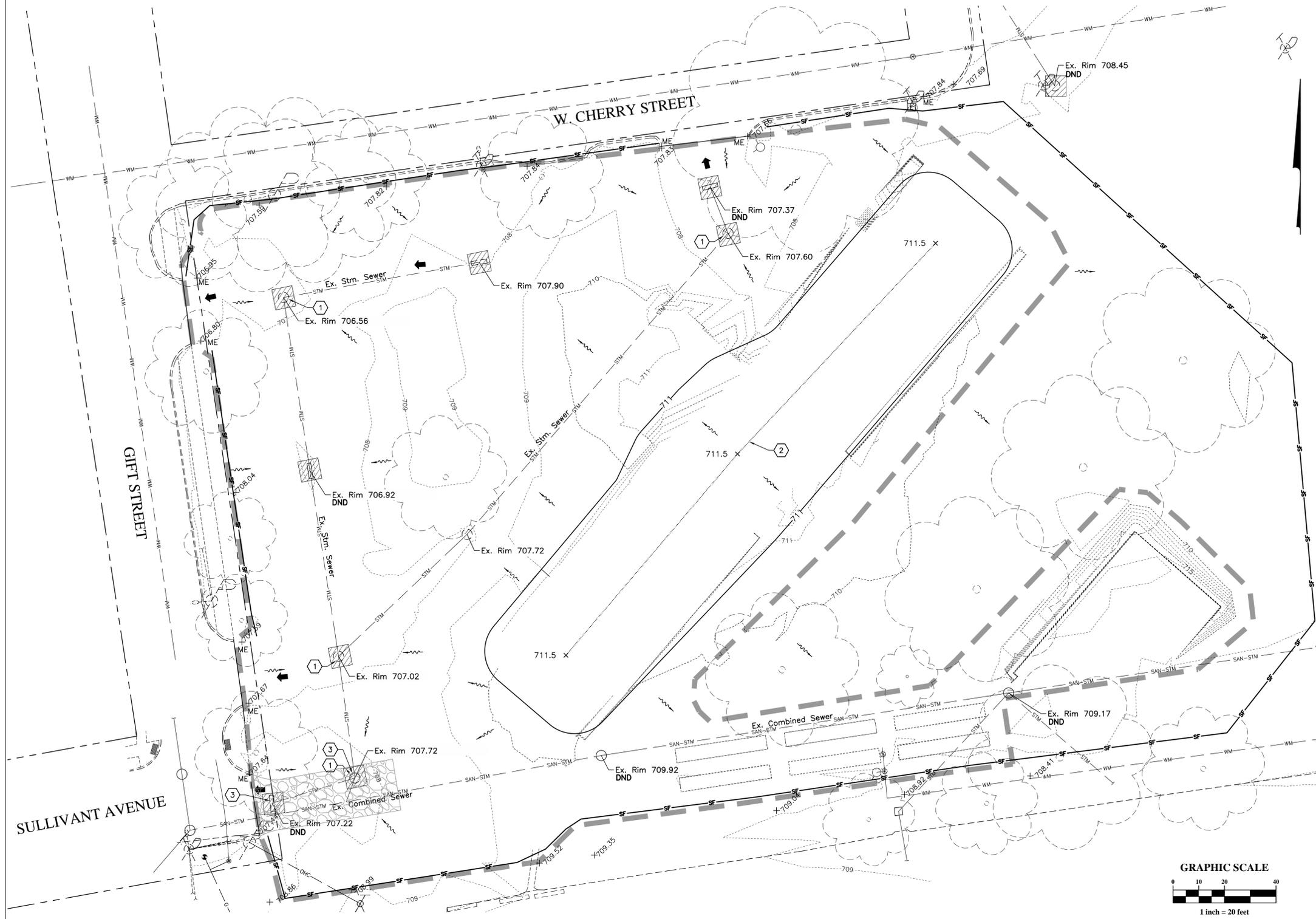
	Gas Marker		Light Pole
	Manhole		Fire Hydrant
	Water Valve		Storm Inlet
	Signal Pole		Sign
	Flag Pole		

GRADING LEGEND

	Existing Spot Elevation
	Proposed Spot Elevation
	Match Existing
	Flow Arrow
	Flood Route
	Drop Inlet Protection
	Proposed Contour
	Sediment (Silt) Fence
	Limits Of Grading and Seeding
	DND Do Not Disturb



- GENERAL NOTES**
- Provide Silt Fence per Detail at grading/seeding limits.
 - Provide 4 inches of topsoil per CMSC Item 653 and seed per Item 659 Class 1 Lawn Mixture on all areas disturbed by construction/demolition activities.
 - Refer to tree removal plans for limits of tree removal and limits of clearing and grubbing.
 - Provide temporary erosion control per Sheet C1.2 prior to beginning clearing and demolition activities. Provide erosion control per Sheet C1.2 as directed.
 - Stabilized site shall be defined a minimum 95% grass established. No sediment and erosion control devices shall be removed until site is stabilized. Refer to notes on Sheet C1.2.
 - Provide minimum 2'-6" cover on all storm sewers.
 - Support utilities exposed during excavation.
 - Protect existing pavement, utilities and all other site features to remain. Replace any damage to the satisfaction of the Owner at no additional cost.
 - Export all excess soils offsite in accordance with local codes.



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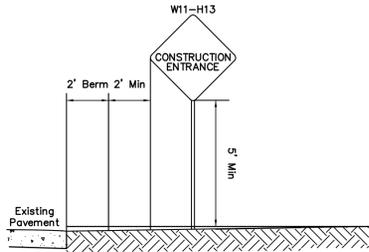
General Notes

- The height of a silt fence shall not exceed 16-inches (higher fences may impound volumes of water sufficient to cause failure of the structure).
- The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum of a 6 inch overlap, and securely sealed.
- Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches).
- A trench shall be excavated approximately 4 inches wide and 6 inches deep along the line of posts and upslope from the barrier.
- The standard strength filter fabric shall be stapled or wired to the fence, and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 16 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- The trench shall be backfilled and soil compacted over the filter fabric.
- Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

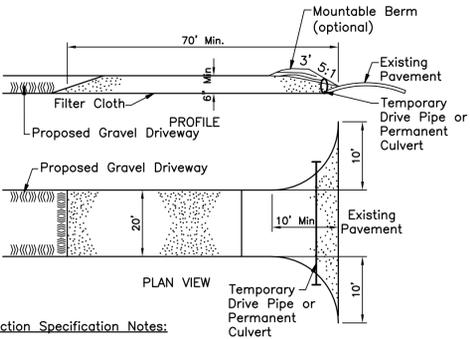
Maintenance Notes

- Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier is still necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.

A SEDIMENT (SILT) FENCE



Note:
Signs to be installed 250'± in advance of entrance.

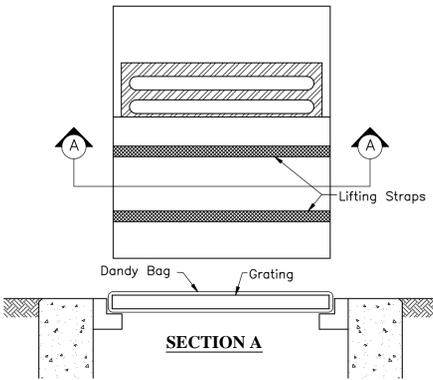
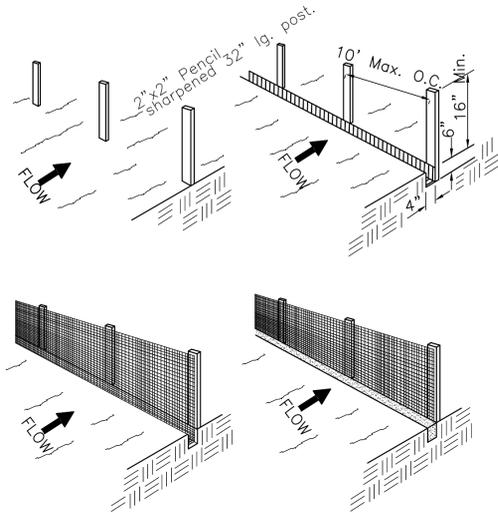


Construction Specification Notes:

- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
- Length - Seventy (70) foot minimum.
- Thickness - Not less than six (6) inches.
- Width - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
- Filter Cloth - will be placed over the entire area prior to placing of stone.
- Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted. Cost of pipe shall be included in the price bid for the Stabilized Construction Entrance.
- Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
- Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right-of-ways. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device. The Contractor's bid shall include costs associated with manning and operating the wheel wash station.
- Periodic inspection and needed maintenance shall be provided after each rain.

B STABILIZED CONSTRUCTION ENTRANCE

(No Scale)



Installation:

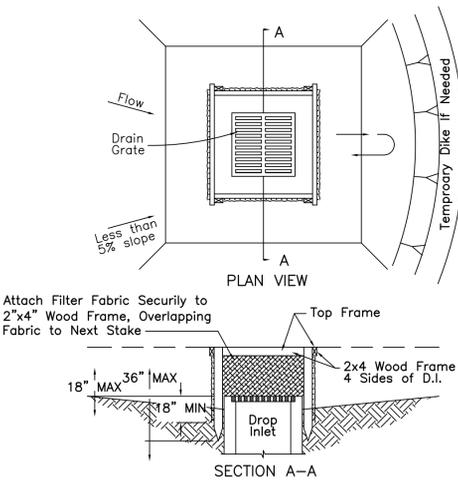
Stand grate on end. Place Dandy Bag over grate. Roll grate over so that open end is up. Pull up slack. Tuck flap in. Be sure end of grate is completely covered by flap or Dandy Bag will not fit properly. Holding handles, carefully place Dandy Bag with grate inserted into catch basin frame so that red dot on the top of the Dandy Bag is visible.

Maintenance:

With a stiff bristle broom or square point shovel, remove silt & other debris from surface after each event.

C DANDY BAG INLET PROTECTION

(No Scale)



D DROP INLET PROTECTION

(No Scale)

SEDIMENT AND EROSION CONTROL NOTES

The Contractor shall provide Sediment and Erosion Controls and a Stormwater Pollution Prevention Plan (SWPPP) per the Ohio Department of Transportation (ODOT) Supplemental Specification SS-832.

INSPECTIONS:

The Contractor shall provide qualified personnel to conduct site inspections ensuring proper functionality of the erosion and sedimentation controls. All erosion and sedimentation controls are to be inspected once per every seven calendar days or within 24 hours of a 1/2" storm event or greater. Records of the site inspections shall be kept and made available to jurisdictional agencies if requested.

CONTRACTORS RESPONSIBILITIES:

Details have been provided on the plans in an effort to help the Contractor provide erosion and sedimentation control. The details shown on the plan shall be considered a minimum. Additional or alternate details may be found in the O.D.N.R. Manual "Rainwater and Land Development." The Contractor shall be solely responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance and inspection in compliance with the NPDES General Permit for Storm Discharges Associated with Construction Activity.

The Contractor shall provide a schedule of operations to the Owner. The schedule should include a sequence of the placement of the sedimentation and erosion control measures that provides for continual protection of the site throughout the earth moving activities.

Prior to Construction/Demolition Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer, Owner or the Ohio EPA.

The Contractor shall place inlet protection for the sedimentation control immediately after pavement demolition.

It may become necessary to remove portions of sedimentation controls during construction to facilitate the grading operations in certain areas. However, the controls shall be replaced upon completion of grading or during any inclement weather.

The Contractor shall be responsible to ensure that off-site tracking of sediments by vehicles and equipment is minimized. All such off-site sediment shall be cleaned up a minimum of twice daily.

The Contractor shall be responsible to ensure that no solid or liquid waste is discharged into storm water runoff. Untreated sediment-laden runoff shall not flow off of site without being directed through a control practice. Concrete trucks will not be allowed to wash out or discharge surplus concrete into or along-side rivers, streams, or creeks or into natural or man-made channels or swales leading thereto. Concrete wash water and surplus concrete shall be confined to approved areas; after solidifying, these waste materials shall be removed from the site.

MAINTENANCE: It is the Contractor's responsibility to maintain the sedimentation and erosion control features on this project. Any sediment or debris which has reduced the efficiency of a control shall be removed immediately. Should a structure or feature become damaged, the contractor shall repair or replace at no additional cost to the Owner.

CONSTRUCTION SEQUENCE

- Construct a stabilized construction entrance.
- Identify the limits of disturbance and install perimeter Sediment Fence.
- Commence with demolition and grading activities.
- Permanently stabilize all disturbed areas with permanent seeding.
- Remove the perimeter sediment fence and Dandy Bag inlet protection and construction entrance.
- Remove the temporary sediment trap riser pipe and accumulated sediment within the trap.
- Permanently stabilize all disturbed areas resulting from the removal of the temporary sediment controls.

SEEDING

TEMPORARY SEEDING: Any area which will be left dormant (undisturbed) for more than 14 days shall be seeded within 7 days of terminated work. Disturbed areas within 50 feet of a stream, first order or larger, shall be stabilized within 2 days of inactivity. Temporary seeding consists of seedbed preparation, application of seed, fertilizer, mulch and water.

PERMANENT SEEDING: See Grading Plan Sheet C1.1

The Contractor shall thoroughly water all permanently seeded areas at time of installation and as needed until project acceptance by owner.

TEMPORARY SEEDING			
SEEDING DATES	SPECIES	LB/1000 SQ/FT	PER ACRE
March 1 to November 1	Annual Ryegrass	0.7	30 lb
November 1 to March 1	Cereal Rye 30lbs per acre and mulch or dormant seeding with nurse crop		

NOTE: Other approved seed species may be substituted.

FERTILIZER/MULCH/WATER (For Temporary and Permanent Seeding)		RATE
Fertilizer	12-12-12	6 lb/1000 sq. ft.
Straw Mulch		2 tons/acre
Water		300 G/1000 sq. ft.



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CMHA DEMOLITION OF SUNSHINE TERRACE
372 SOUTH GIFF STREET
COLUMBUS, OHIO 43215

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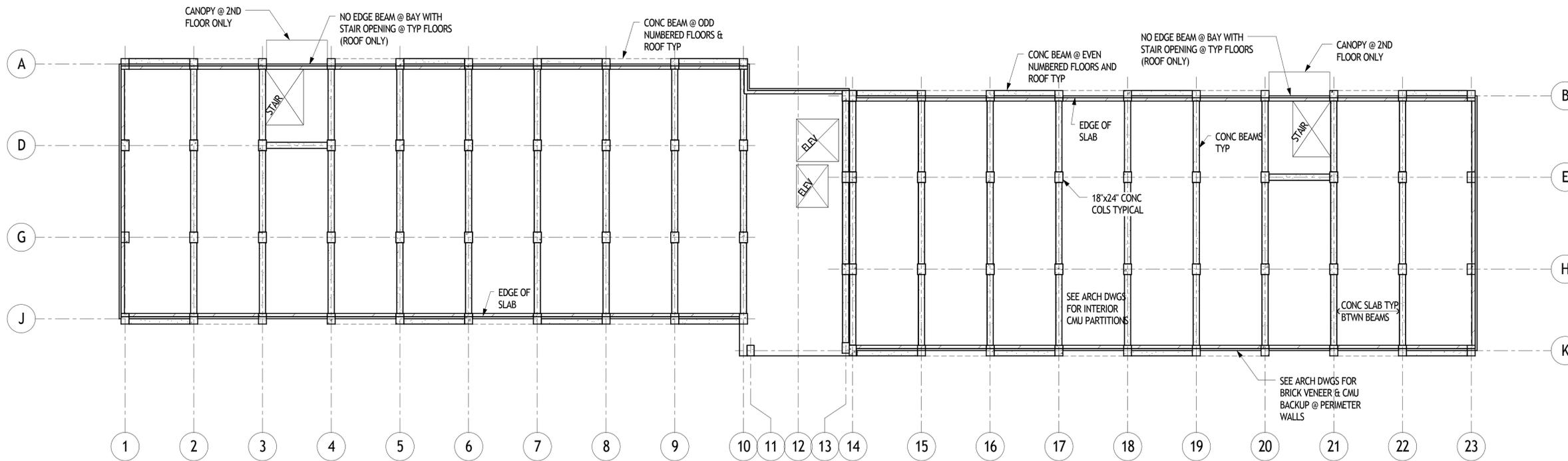
KEY PLAN

SHEET NAME
SEDIMENT & EROSION CONTROL DETAILS

SHEET NUMBER

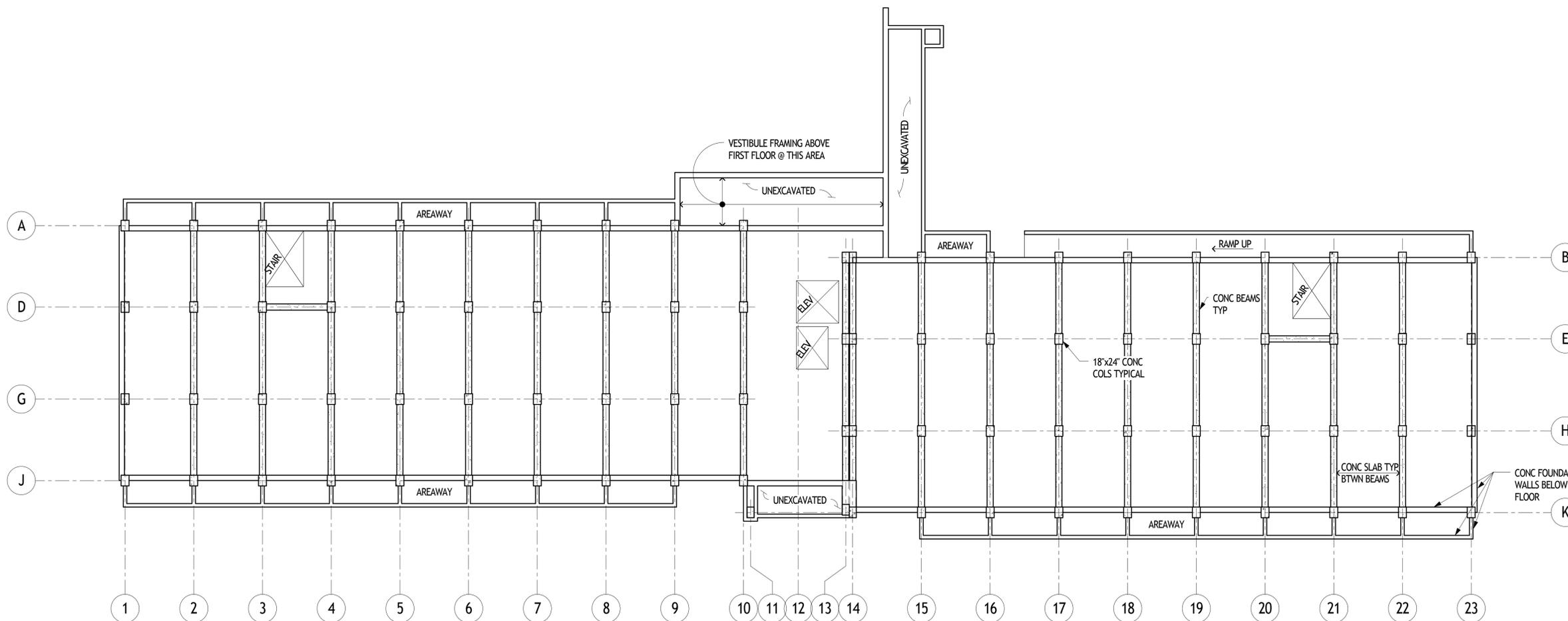
C1.2





2ND FLOOR THRU ROOF CONCRETE BEAMS AND CONCRETE SLABS

3/32" = 1'-0"



1ST FLOOR FRAMING, CONCRETE SLABS AND BEAMS w/ FOUNDATION WALLS BELOW

3/32" = 1'-0"



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 STATE OF OHIO
 REGISTERED PROFESSIONAL ENGINEER
 ROBERT A. BAUMANN
 E-49337

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KEY PLAN

SHEET NAME
 STRUCTURAL PLANS

SHEET NUMBER
 S1.0



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KEY PLAN

SHEET NAME
 MEP SITE
 DEMOLITION
 DRAWING

SHEET NUMBER
ME.100

- PLAN NOTES**
- 1.- REMOVE ELECTRIC METER AND POLE. COORDINATE WITH UTILITIES.
 - 2.- REMOVE POLE, DROP, AND AERIAL CONDUCTORS.
 - 3.- OVERHEAD COMMUNICATION LINES TO BE REMOVED. COORDINATE WITH UTILITIES.
 - 4.- SEE DRAWINGS FOR MEDIUM VOLTAGE TRANSFORMER VAULT.
 - 5.- REMOVE CHILLER, CHILLER PAD, AND ALL ASSOCIATED APPURTENANCES.
 - 6.- REMOVE EXISTING GAS SERVICE, PIPING AND ALL ASSOCIATED APPURTENANCES.
 - 7.- REMOVE EXISTING REZNOR UNIT AND ALL ASSOCIATED DUCTWORK, PIPING AND ACCESSORIES IN THEIR ENTIRETY. AIR HANDLER LOCATED IN APPROXIMATE LOCATION SHOWN ON 11TH FLOOR ROOF.



MECHANICAL DEMO PLAN NOTES

- 1.- REMOVE EXISTING 8" LP STEAM UP THROUGH FLOOR.
- 2.- REMOVE EXISTING TANKS, FLUE, WATER HEATERS, BOILERS, PUMPS, PADS, PIPING, AND ALL ASSOCIATED APPURTENANCES.
- 3.- REMOVE EXISTING PIPING, FANS, HANGERS, VALVES, AND ALL ASSOCIATED APPURTENANCES.
- 4.- REMOVE EXISTING GENERATOR FLUES, PIPING, AND ALL ASSOCIATED APPURTENANCES.
- 5.- REMOVE F.D.C. AND ALL ASSOCIATED APPURTENANCES.
- 6.- REMOVE EXISTING 20HP, 200V, 3Ø FIRE PUMP, PAD, PIPING, AND ALL ASSOCIATED APPURTENANCES.
- 7.- REMOVE EXISTING FIRE PROTECTION PIPING, STANDPIPES, CABINETS, AND ALL ASSOCIATED APPURTENANCES ON EACH FLOOR.
- 8.- REMOVE EXISTING PLUMBING FIXTURES, CARRIERS, TRIM, PIPING, VALVES, AND ALL ASSOCIATED APPURTENANCES.

PLUMBING DEMO NOTES

- 5.- REMOVE F.D.C. AND ALL ASSOCIATED APPURTENANCES.
- 6.- REMOVE EXISTING 20HP, 200V, 3Ø FIRE PUMP, PAD, PIPING, AND ALL ASSOCIATED APPURTENANCES.
- 7.- REMOVE EXISTING FIRE PROTECTION PIPING, STANDPIPES, CABINETS, AND ALL ASSOCIATED APPURTENANCES ON EACH FLOOR.
- 8.- REMOVE EXISTING PLUMBING FIXTURES, CARRIERS, TRIM, PIPING, VALVES, AND ALL ASSOCIATED APPURTENANCES.

ELECTRICAL GENERAL NOTES

- A.- ALL ELECTRICAL ITEMS SHOWN ARE FROM EXISTING ELECTRICAL DRAWINGS. ALL ITEMS IN BUILDING (SHOWN OR NOT, AND EXISTING TO REMAIN) ARE TO BE DEMOLISHED AS PART OF THIS PROJECT.
- B.- DISPOSE OF ALL MATERIALS (FUEL TANKS, GENERATORS, ETC) PROPERLY.
- C.- ALL ELECTRICAL GENERAL NOTES APPLY TO ALL SHEETS.

MECHANICAL GENERAL NOTES

- A.- REMOVE ALL HVAC EQUIPMENT, PADS, DUCTWORK, PIPING AND ALL ASSOCIATED EQUIPMENT AND ACCESSORIES IN THEIR ENTIRETY FROM THE BUILDING.
- B.- REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION FOR SITE UTILITIES. REFER TO SPECIFICATIONS FOR SAMPLE PHOTOGRAPHS AND REFERENCE DRAWINGS ME.200-204.
- C.- THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. THE CONTRACTOR SHALL VERIFY QUANTITIES, SIZES, AND LOCATIONS OF ALL EQUIPMENT AND SERVICES PRIOR TO ANY CONSTRUCTION. ERRORS AND OMISSIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
- D.- ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH STATE & LOCAL CODES AND REQUIREMENTS.
- E.- COORDINATE CLOSELY WITH OTHER EXISTING UTILITIES.
- F.- CONTRACTOR SHALL COORDINATE WITH THE OWNER HVAC ITEMS AND/OR MATERIALS THAT ARE TO BE SALVAGED AND STORED PRIOR TO PROCEEDING WITH DEMOLITION.



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PROJECT NAME
CMHA DEMOLITION OF SUNSHINE TERRACE
272 SOUTH GETT STREET
COLUMBUS, OHIO 43215

OWNER
COLUMBUS METROPOLITAN HOUSING AUTHORITY (CMHA)
880 EAST ELEVENTH AVENUE
COLUMBUS, OHIO 43211

DESIGN ARCHITECT
HKI ASSOCIATES, INC.
2929 NORTH HIGH STREET
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CIVIL ENGINEER
EVAN, MECHWART, HAMBLETON & TILTON (EMH&T)
5500 NEW ALBANY ROAD
COLUMBUS, OHIO 43054
P. 614.775.4500 F. 614.775.4800

ENVIRONMENTAL ENGINEER
LAWHON & ASSOCIATES, INC.
1441 KING AVENUE
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SHELLEY METZ BAUMANN HAWK
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DYNAMIX ENGINEERING, LTD.
855 GRANDVIEW AVENUE, THIRD FLOOR
COLUMBUS, OHIO 43215
P. 614.443-1178 F. 614.443.1594

DATE:

PROJECT STATUS	
PLANNING	<input type="radio"/>
PROGRAMMING	<input type="radio"/>
SCHEMATIC DESIGN	<input type="radio"/>
DESIGN DEVELOPMENT	<input type="radio"/>
5-23-2013 CONSTRUCTION DOCUMENTS	<input checked="" type="radio"/>
REVISION	<input type="radio"/>
NOT FOR CONSTRUCTION	<input type="radio"/>

PM	PA	CAD
KO	KO	EEA

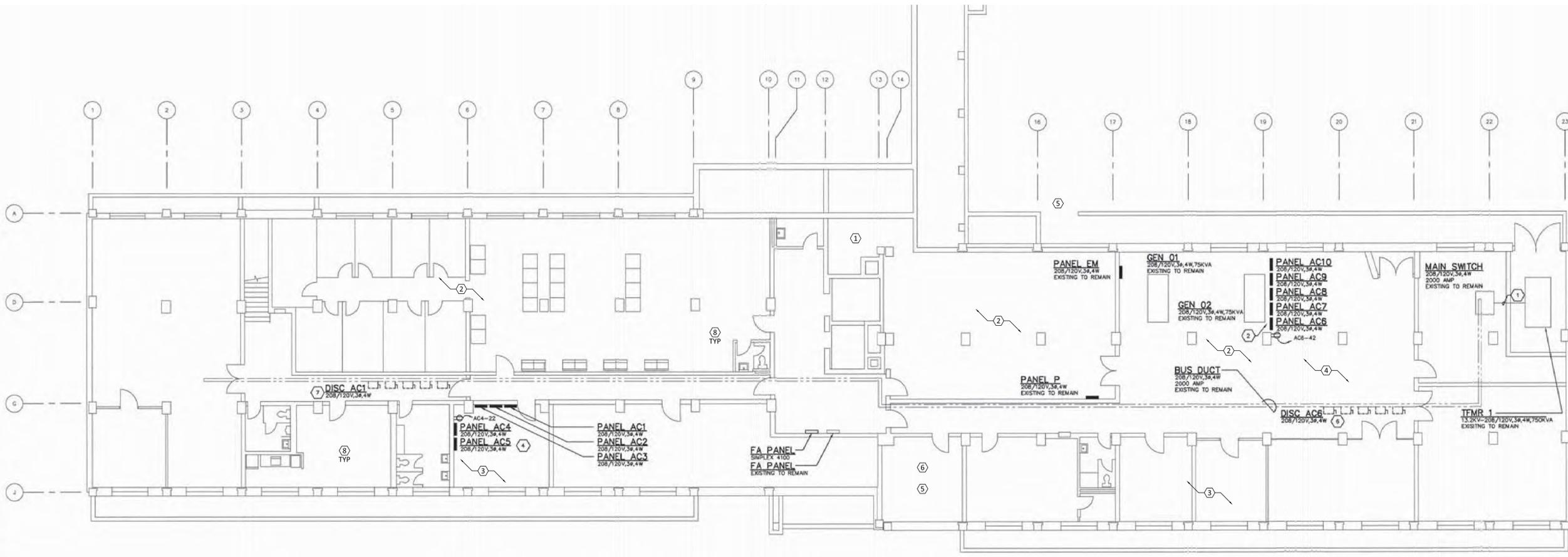
ISSUE DATE: 5-23-13

REVISION NUMBER

KEY PLAN

SHEET NAME
MEP REFERENCE
DRAWING GROUND
FLOOR

SHEET NUMBER
ME.200



BASEMENT ELECTRICAL PLAN

These Record Drawings have been prepared based on information provided by the installing contractor. The Engineer has not verified the accuracy of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

MECHANICAL DEMO PLAN NOTES

1. REMOVE EXISTING CHILLER AND ASSOCIATED PADS, PIPING AND ACCESSORIES IN THEIR ENTIRETY. CONTRACTOR SHALL RECLAIM AND PROPERLY DISPOSE OF ALL REFRIGERANT FROM SYSTEM PRIOR TO DEMOLITION.
2. REMOVE EXISTING FAN COILS, DUCTWORK, PIPING, AND ALL ASSOCIATED APPURTENANCES.
3. REMOVE EXISTING EXHAUST FANS, DUCTWORK, AND ALL ASSOCIATED APPURTENANCES.
4. REMOVE EXISTING LOUVERS, DUCTWORK, DAMPERS, AND ALL ASSOCIATED APPURTENANCES.

PLUMBING DEMO NOTES

5. REMOVE EXISTING FIRE PROTECTION PIPING, STANDPIPES, CABINETS, AND ALL ASSOCIATED APPURTENANCES ON EACH FLOOR.
6. REMOVE EXISTING PLUMBING FIXTURES, CARRIERS, TRIM, PIPING, VALVES, AND ALL ASSOCIATED APPURTENANCES.

ELECTRICAL GENERAL NOTES

- A. ALL ELECTRICAL ITEMS SHOWN ARE FROM EXISTING ELECTRICAL DRAWINGS. ALL ITEMS IN BUILDING (SHOWN OR NOT, AND EXISTING TO REMAIN) ARE TO BE DEMOLISHED AS PART OF THIS PROJECT.
- B. DISPOSE OF ALL MATERIALS (FUEL TANKS, GENERATORS, ETC) PROPERLY.
- C. ALL ELECTRICAL GENERAL NOTES APPLY TO ALL SHEETS.

MECHANICAL GENERAL NOTES

- A. REMOVE ALL HVAC EQUIPMENT, PADS, DUCTWORK, PIPING AND ALL ASSOCIATED EQUIPMENT AND ACCESSORIES IN THEIR ENTIRETY FROM THE BUILDING.
- B. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION FOR SITE UTILITIES. REFER TO SPECIFICATIONS FOR SAMPLE PHOTOGRAPHS AND REFERENCE DRAWINGS ME.200-204.
- C. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. THE CONTRACTOR SHALL VERIFY QUANTITIES, SIZES, AND LOCATIONS OF ALL EQUIPMENT AND SERVICES PRIOR TO ANY CONSTRUCTION. ERRORS AND OMISSIONS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF THE ENGINEER.
- D. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH STATE & LOCAL CODES AND REQUIREMENTS.
- E. COORDINATE CLOSELY WITH OTHER EXISTING UTILITIES.
- F. CONTRACTOR SHALL COORDINATE WITH THE OWNER HVAC ITEMS AND/OR MATERIALS THAT ARE TO BE SALVAGED AND STORED PRIOR TO PROCEEDING WITH DEMOLITION.



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272 SOUTH GIFT STREET
COLUMBUS, OHIO 43215

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PM PA CAD
KO KO EEA

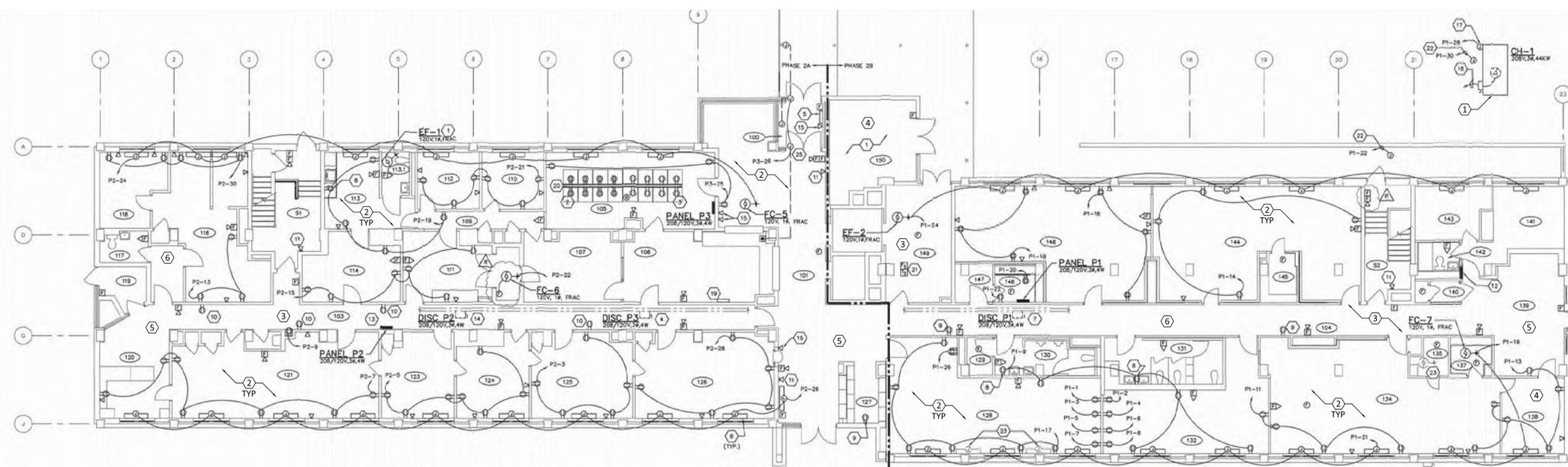
ISSUE DATE
5-23-13

REVISION NUMBER

KEY PLAN

SHEET NAME
MEP REFERENCE
DRAWING 1st
FLOOR

SHEET NUMBER
ME.201



FIRST FLOOR POWER PLAN

NOTE:
THE APPLICATION FOR PERMIT & ALL ASSOCIATED DRAWINGS, CALCULATIONS & FEES MUST BE SUBMITTED TO THE CITY BY THE FIRE ALARM SUBCONTRACTOR AT LEAST ONE WEEK PRIOR TO THE FIRST ROUGH-IN INSPECTION FOR THIS PROJECT. OTHERWISE, THE PROJECT WILL BE

These Revised Drawings have been prepared based on information provided by the

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- REVISION
- NOT FOR CONSTRUCTION

PM PA CAD
 KO KO EEA

ISSUE DATE: 5-23-13

REVISION NUMBER

KEY PLAN

SHEET NAME
 MEP REFERENCE
 DRAWING TYP
 FLOORS 2+

SHEET NUMBER
ME.202

MECHANICAL DEMO PLAN NOTES

1. REMOVE EXISTING THRU WALL AIR CONDITIONING UNIT AND ALL ASSOCIATED APPURTENANCES.
2. REMOVE EXISTING VERTICAL HEATING HOT WATER FAN COIL UNIT, PIPING, AND ALL ASSOCIATED APPURTENANCES.
3. REMOVE EXISTING EXHAUST FANS ON ROOF, ALL DUCTWORK ON ROOF AND DOWN THRU BUILDING, AND ALL ASSOCIATED APPURTENANCES.

PLUMBING DEMO NOTES

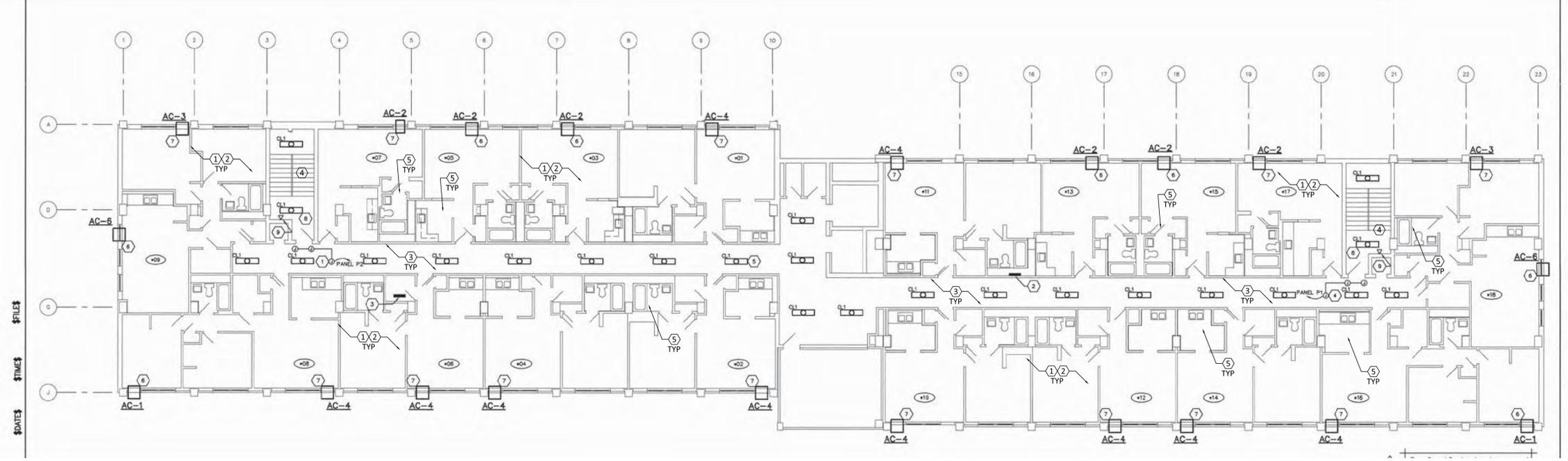
4. REMOVE EXISTING FIRE PROTECTION PIPING, STANDPIPES, CABINETS, AND ALL ASSOCIATED APPURTENANCES ON EACH FLOOR.
5. REMOVE EXISTING PLUMBING FIXTURES, CARRIERS, TRIM, PIPING, VALVES, AND ALL ASSOCIATED APPURTENANCES.

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